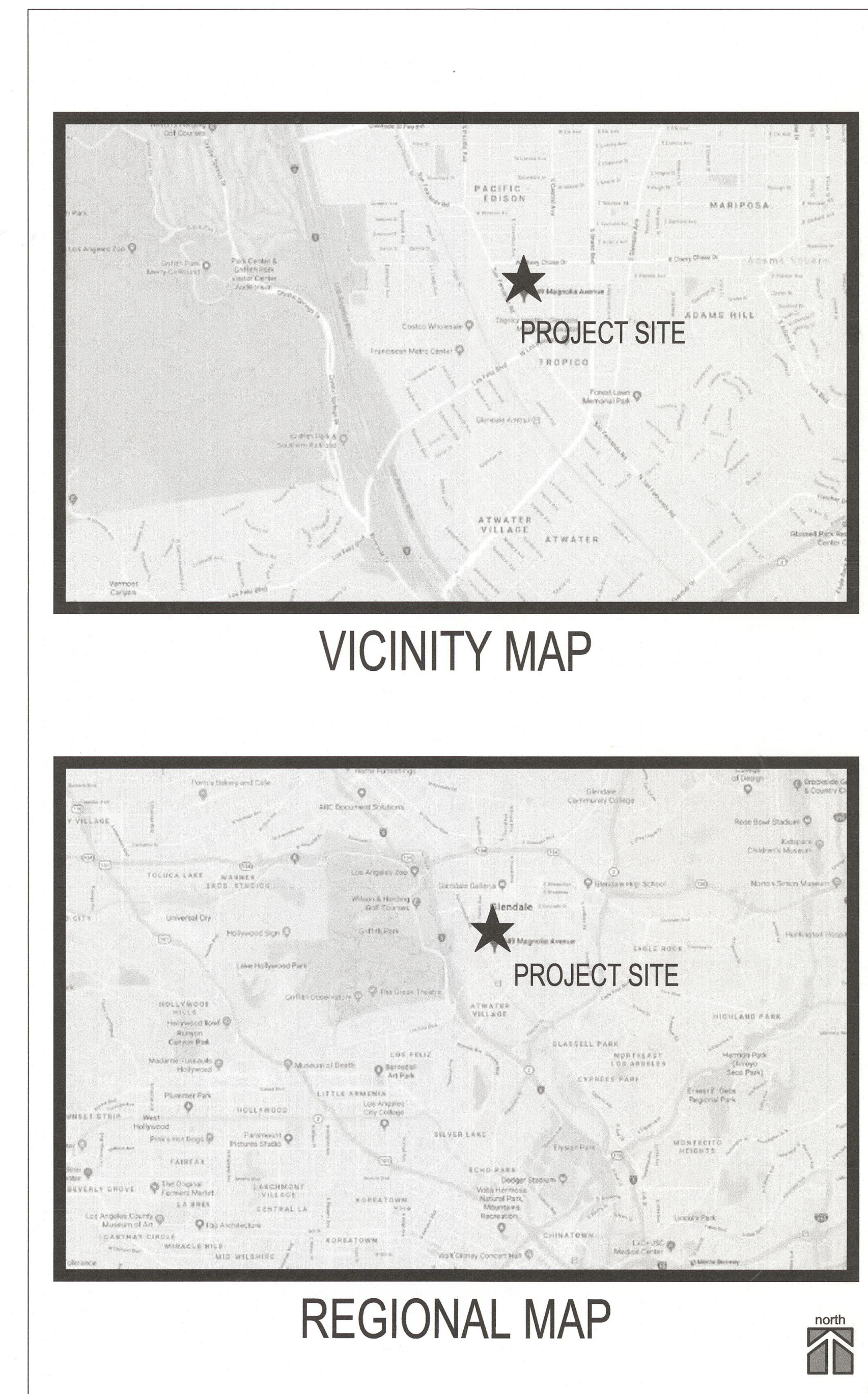


GUSD FASO YARD IMPROVEMENTS

349 MAGNOLIA AVENUE, GLENDALE, CA 91204

GLENDALE UNIFIED SCHOOL DISTRICT



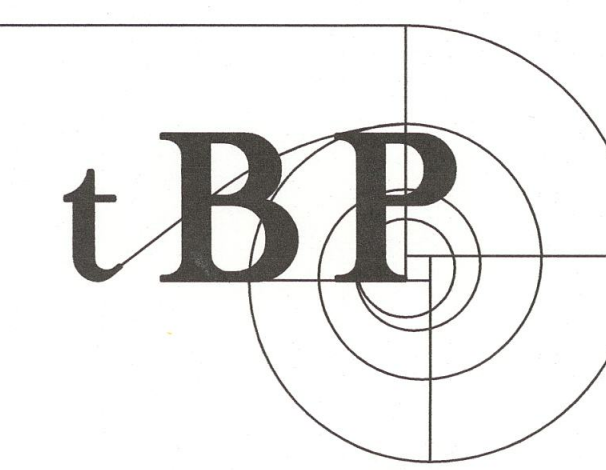
tBP /Architecture

4611 Teller Avenue - Newport Beach - California - 92660

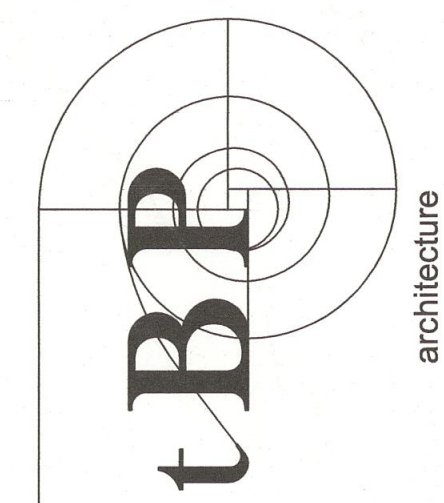
<http://www.tbparchitecture.com>

ph: 949.673.0300 - fx: 949.732.3895

Handwritten signature in red ink.



Architecture
Planning
Interiors



architecture
planning
interiors



tBP/Architecture
4611 Teller Avenue
Newport Beach, CA 92660
ph: 949.673.0300 fx: 949.732.3895

architect

consultant

**GUSD FASO YARD
IMPROVEMENTS**
GLENDALE UNIFIED SCHOOL DISTRICT
349 MAGNOLIA AVENUE
GLENDALE, CA 91204

owner

tBP project number : 20886.00

file name:

drawn by: checked by:

date: May 20, 2018

Rev. date: description:

drawing title:

COVER SHEET

drawing no.:

T-1

drawing of

THIS DRAWING AND THE DESIGN, DEPICTIONS, IDEAS AND OTHER INFORMATION CONTAINED HEREON CONSTITUTE UNPUBLISHED WORK OF tBP/ARCHITECTURE AND SHALL REMAIN THE PROPERTY OF tBP/ARCHITECTURE IN PERPETUITY. NO PART THEREOF SHALL BE REPRODUCED, DISCLOSED, DISTRIBUTED, SOLD, PUBLISHED OR OTHERWISE USED IN ANY WAY WITHOUT THE ADVANCED EXPRESS WRITTEN CONSENT OF tBP/ARCHITECTURE.

ABBREVIATIONS

Table of abbreviations for architectural and engineering symbols, including terms like AND, ANGLE, AT, CENTERLINE, DIAMETER OR ROUND NUMBER, etc.

SUMMARY OF WORK

THIS PROJECT CONSISTS OF THE CONSTRUCTION OF (1) (N) 6'-0" HIGH CMU WALL FRONTING PALMER AVENUE, MODIFY A PORTION OF (E) PARKING AND LANDSCAPE LAYOUTS IN PROXIMITY OF (N) WALL.

SHEET INDEX

Table listing drawing categories: GENERAL (NO. OF DRAWINGS - 3), CIVIL DRAWINGS (NO. OF DRAWINGS - 8), LANDSCAPE DRAWINGS (NO. OF DRAWINGS - 3), ARCHITECTURAL DRAWINGS (NO. OF DRAWINGS - 2).

GENERAL NOTES

- 1. ALL WORK TO CONFORM TO 2016 EDITION TITLE 24, CALIFORNIA CODE OF REGULATIONS (CCR)
2. CONTRACTOR IS TO FIELD VERIFY THE EXISTING CONDITIONS AND INFORM THE ARCHITECT OF ANY DISCREPANCIES.
3. ALL OPEN STORAGE OF INDUSTRIAL MATERIALS SUCH AS LUMBER, GRAVEL, SCRAP METAL, SCRAP STORAGE, AND WELDING OPERATIONS SHALL BE LOCATED ALONG THE WESTERLY LINE OF THE PROPERTY ADJOINING THE INDUSTRIAL ZONE PROPERTY.

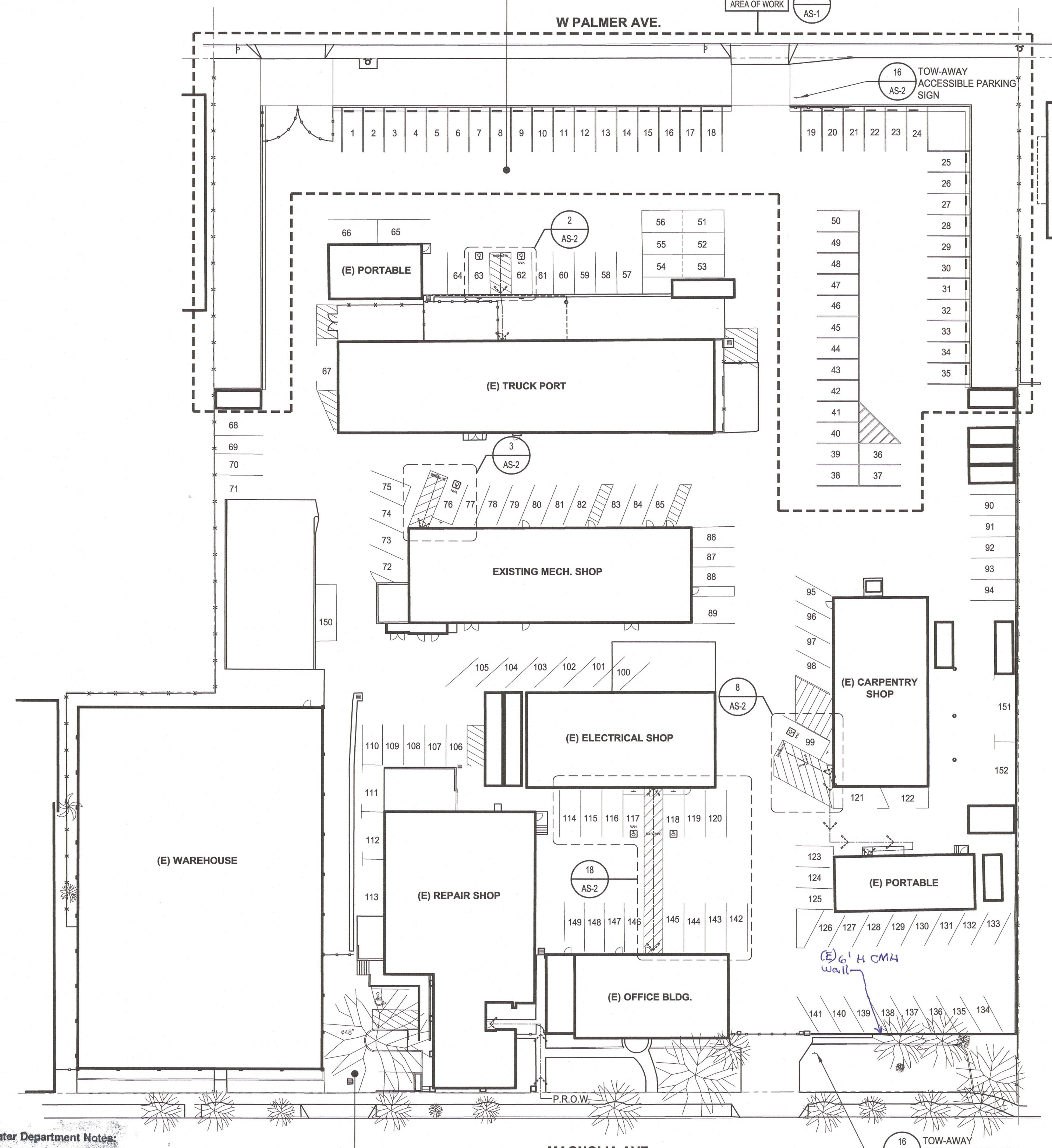
PROJECT DIRECTORY

OWNER: GLENDALE UNIFIED SCHOOL DISTRICT, 349 MAGNOLIA AVENUE, GLENDALE, CA 91204
ARCHITECT: IBP/ARCHITECTURE, 4611 TELLER AVENUE, NEWPORT BEACH, CA 92660
CIVIL ENGINEER: POOCOCC DESIGN SOLUTIONS, 14451 CHAMBERS ROAD, SUITE 210, TUSTIN, CA 92780
LANDSCAPE ARCHITECT: SILVER BAR STUDIO, P.O. BOX 5008-373, MARIPOSA, CA 95338

PARKING TABULATION

Table with 2 columns: Description and Count. Rows include TOTAL NUMBER OF PARKING SPACE (155), NUMBER OF REQUIRED ACCESSIBLE PARKING SPACE (7), and NUMBER OF ACCESSIBLE PARKING SPACES PROVIDED (7).

LOT B
TOTAL # OF PARKING SPACES = 152
OF REQUIRED ACCESSIBLE SPACES = 6
OF PROVIDED ACCESSIBLE SPACES = 6
OF PROVIDED VAN ACCESSIBLE SPACES = 4



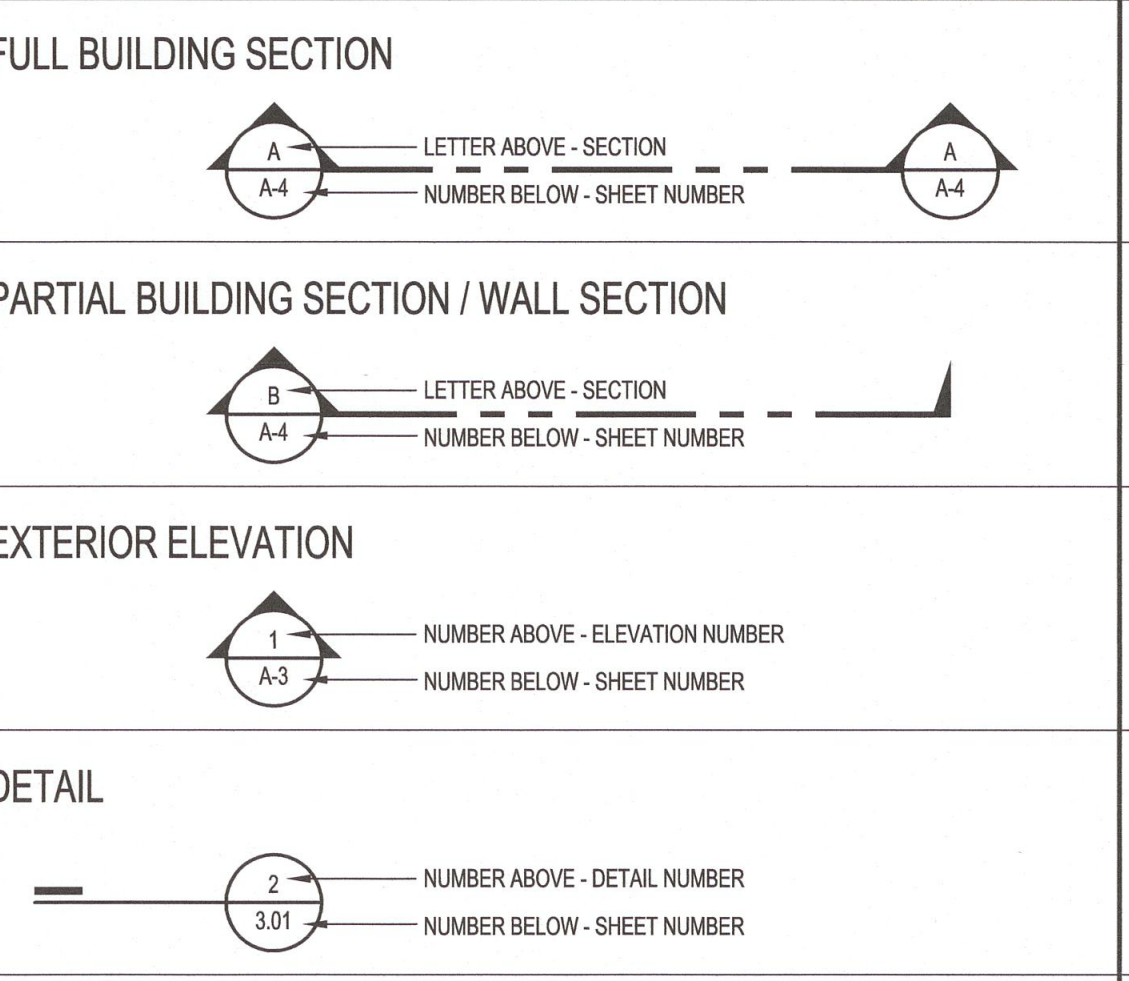
GWP Water Department Notes:
1. Backflow prevention (BFP) devices are required for each separate irrigation and fire service connections from the City of Glendale. A BFP device may be required if multiple service lines are required for domestic service. Please refer to the GWP Cross-Connection Control Program and Glendale Municipal Code (Chapter 13.32) to determine the type of device required.
2. Any water service or fireline connection when no longer needed by the customer must be permanently abandoned (disconnected at water main and water meter removed) by the GWP Water Department following payment of the necessary fee.
3. The applicant must check with the Fire Department to determine if existing fire flow is adequate.

City of Glendale Planning Division
The approval is only for new site development.
APPROVED JAN 24 2019
No other approvals are granted. Any construction or land use contradictory to the G.M.C. is not approved by this permit.
By: Director of Planning

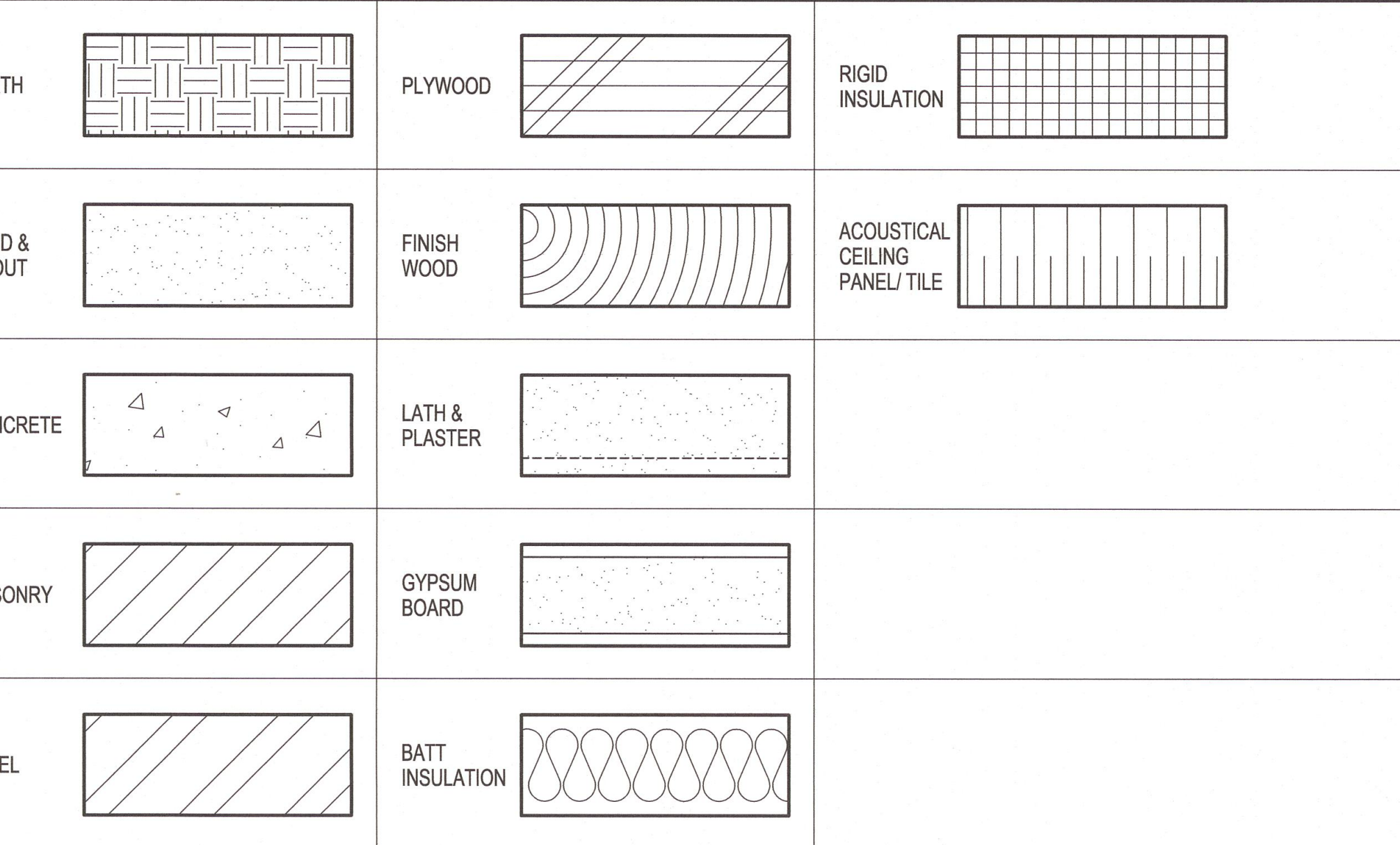
APPROVED
DATE: 1-24-2019
SIGNED: [Signature]
CITY OF GLENDALE
Water & Power, Electrical Services

OVERALL SITE PLAN
SCALE: 1"=30'-0"

REFERENCE SYMBOLS



MATERIAL SYMBOLS



APPLICABLE CODES

- APPLICABLE CODES AS OF JANUARY 1, 2017:
2016 BUILDING STANDARDS ADMINISTRATIVE CODE, PART 1, TITLE 24 C.C.R.
2016 CALIFORNIA BUILDING CODE (C.B.C.), PART 2, TITLE 24 C.C.R.
2015 INTERNATIONAL BUILDING CODE VOL. 1-2 AND 2013 CALIFORNIA AMENDMENTS)
2016 CALIFORNIA ELECTRICAL CODE (C.E.C.), PART 3, TITLE 24 C.C.R.
2015 NATIONAL ELECTRICAL CODE AND 2013 CALIFORNIA AMENDMENTS)
2016 CALIFORNIA MECHANICAL CODE (C.M.C.), PART 4, TITLE 24 C.C.R.
2015 UNIFORM MECHANICAL CODE AND 2013 CALIFORNIA AMENDMENTS)
2016 CALIFORNIA PLUMBING CODE (C.P.C.), PART 5, TITLE 24 C.C.R.
2015 UNIFORM PLUMBING CODE AND 2013 CALIFORNIA AMENDMENTS)
2016 CALIFORNIA ENERGY CODE (C.E.C.), PART 6, TITLE 24 C.C.R.
2016 CALIFORNIA FIRE CODE (C.F.C.), PART 9, TITLE 24 C.C.R.
2015 INTERNATIONAL FIRE CODE AND 2013 CALIFORNIA AMENDMENTS)
2016 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN), PART 11, TITLE 24 C.C.R.
2016 CALIFORNIA REFERENCED STANDARDS, PART 12, TITLE 24 C.C.R.
2007 ASME A17.1-(w/ A17.1a/CSA 844a-08 ADDENDA) SAFETY CODE FOR ELEVATORS AND ESCALATORS)
TITLE 19 C.C.R., PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS

SITE PLAN LEGEND

PATH OF TRAVEL
DESIGN PROFESSIONAL IN GENERAL RESPONSIBLE CHARGE STATEMENT: THE POT IDENTIFIED IN THESE CONSTRUCTION DOCUMENTS IS COMPLIANT WITH THE CURRENT APPLICABLE CALIFORNIA BUILDING CODE ACCESSIBILITY PROVISIONS FOR THE PATH OF TRAVEL REQUIREMENTS FOR ALTERATIONS, ADDITIONS AND STRUCTURAL REPAIRS. AS PART OF THE DESIGN OF THIS PROJECT, THE POT WAS EXAMINED AND ANY ELEMENTS, COMPONENTS OR PORTIONS OF THE POT THAT WERE DETERMINED TO BE NONCOMPLIANT 1) HAVE BEEN IDENTIFIED AND 2) THE CORRECTIVE WORK NECESSARY TO BRING THEM INTO COMPLIANCE HAS BEEN INCLUDED WITHIN THE SCOPE OF THIS PROJECT'S WORK THROUGH DETAILS, DRAWINGS AND SPECIFICATIONS INCORPORATED INTO THESE CONSTRUCTION DOCUMENTS. ANY NONCOMPLIANT ELEMENTS, COMPONENTS OR PORTIONS OF THE POT THAT WILL NOT BE CORRECTED BY THIS PROJECT (BASED ON VALUATION THRESHOLD LIMITATIONS OR A FINDING OF UNREASONABLE HARSHNESS ARE SO INDICATED IN THESE CONSTRUCTION DOCUMENTS. ARCHITECT HAS VERIFIED P.O.T. IS BARRIER FREE.
DURING CONSTRUCTION, IF POT ITEMS WITHIN THE SCOPE OF THE PROJECT REPRESENTED AS CODE COMPLIANT ARE FOUND TO BE NONCONFORMING BEYOND REASONABLE CONSTRUCTION TOLERANCES, THEY SHALL BE BROUGHT INTO COMPLIANCE WITH THE CBC AS PART OF THIS PROJECT BY MEANS OF A CONSTRUCTION CHANGE DOCUMENT.
PATH OF TRAVEL (P.O.T.) AS VERIFIED BY ARCHITECT IS:
- A COMMON BARRIER FREE ACCESSIBLE ROUTE AT LEAST 48" WIDE WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2" BEVELED AT 1:2 MAXIMUM SLOPE, EXCEPT THAT LEVEL CHANGES DO NOT EXCEED 1/4" VERTICAL.
- THE PATH SURFACE IS SLIP RESISTANT, STABLE, FIRM AND SMOOTH.
- PASSING SPACES AT LEAST 60X96" ARE LOCATED NOT MORE THAN 200' APART.
- CONTINUOUS GRADIENTS HAVE 8% LEVEL AREAS NOT MORE THAN 400' APART.
- CROSS-SLOPE DOES NOT EXCEED 2%.
- SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5%, UNLESS OTHERWISE INDICATED AS A RAMP.
- MAINTAIN POT FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM, PROTRUDING OBJECTS GREATER THAN 4", PROJECTION FROM WALL OR EDGE AND 27" ABOVE FINISH GRADE.

IBP/ARCHITECTURE logo and contact information: 4611 Teller Avenue, Newport Beach, CA 92660, ph: 949.673.0300, fx: 949.732.3995

GUSD FASO YARD IMPROVEMENTS
GLENDALE UNIFIED SCHOOL DISTRICT
349 MAGNOLIA AVENUE
GLENDALE, CA 91204
owner

Project information: IBP project number: 20986.00, file name, drawn by, checked by, date: May 20, 2018, Rev. date, description, drawing title: INDEX SHEET, drawing no.: T-2

June 28, 2018

Glendale Unified School District
223 North Jackson Street
Glendale, CA 91206

RE: 333 WEST MAGNOLIA AVENUE
USE VARIANCE CASE NO. PVAR 1804134
(Glendale Unified School District Facilities Yard)

Dear Applicant:

The Planning Commission of the City of Glendale, at its meeting held on July 18, 2018, conducted a public hearing on Use Variance Case No. PVAR 1804134, requesting to modify three conditions of approval from an existing Use Variance (Case No. 538-U) approved on December 18, 1956 for the Glendale Unified School District Facilities Yard located at 333 West Magnolia Avenue, in the "R-2250" - (Medium Density Residential) Zone, described as Portion of Lots 17 and 18, Watts Subdivision of a part of the Rancho San Rafael, in the City of Glendale, County of Los Angeles.

After thorough consideration of the statements contained in the application, the plans submitted therewith, the report by the Community Development Department staff thereon, and the statements made at the public hearing with respect to this application, the Planning Commission **APPROVED WITH CONDITIONS** your application for a Use Variance Case No. PVAR 1804134.

APPLICANT'S PROPOSAL
Use Variance

Request to modify three conditions of approval from an existing Use Variance (Case No. 538-U).

- (1) To allow the masonry wall height to exceed 5.5 feet along the easterly and westerly property lines outside the street front setback along Palmer Avenue.
- (2) To allow the masonry wall height to exceed 5.5 feet along the easterly and westerly boundary lines southerly to the setback line of Magnolia Avenue.
- (3) To extend the hours of operation from 5:00 am to 11:30 pm (currently conditioned from 7:00am to 6:00pm).

CONDITIONS OF APPROVAL

APPROVAL of this Use Variance shall be subject to the following conditions:

1. That the development shall be in substantial accord with the plans submitted with the application and presented at the hearing except for any modifications as may be required to meet specific Code standards or other conditions stipulated herein to the satisfaction of the Director of Community Development.
2. That the premises shall be maintained in a clean and orderly condition, free of weeds, trash and graffiti.
3. That the development comply with all Building and Safety and Fire Department codes.
4. That controlled access be provided at driveways to the parking lot.
5. That the facilities shall not be rented, leased or otherwise occupied for purposes not specified in this application.
6. That the use of the premises be limited to operations involving only school district personnel and equipment;
7. That any expansion or modification of the facility or use which intensifies the use shall require a new use variance application. Expansion shall constitute adding floor area, increased hours of operation, changes to the use or operation, or any physical change as determined by the Director of Community Development.
8. That access to the premises shall be made available upon request to all City of Glendale authorized staff (i.e. Planning and Neighborhood Services Division, Building and Safety Division, Fire Department, Police Department, etc.) for the purpose of verifying compliance with all laws and the conditions of this approval.
9. That all open storage of industrial materials such as lumber, gravel, scrap metal, scrap storage, and welding operations shall be located along the westerly line of the property adjoining the industrial zoned property.
10. That sufficient measures be enforced to effectively eliminate interior and exterior loitering, parking congestion, disturbing noise, disturbing light, loud conversation and criminal activities. Lights shall be directed down and away from residential uses.
11. That the hours of operation for the school district yard shall be from 5:30 a.m. to 11:00 p.m. weekdays and on Saturdays from 8:00 a.m. to 5 p.m.. No work shall occur on Sundays. No noise from any shop on the premises shall occur prior to 7am or after 6pm. Emergency activities may occur at other hours.

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333 WEST MAGNOLIA AVENUE
USE VARIANCE CASE NO. PVAR 1804134
(Glendale Unified School District Facilities Yard)

ENVIRONMENTAL DETERMINATION

The project is exempt from CEQA review as a Class 1 "Existing Facilities" exemption pursuant to State CEQA Guidelines Section 15301 because the project involves minor modifications to an existing use.

A motion adopted by the Planning Commission is attached.

If you have any questions or need additional information on filing an appeal please contact the undersigned, in the Community Development Department at (818) 548.3210.

Sincerely,
Philip Lanzafame
Director of Community Development

Brad Collin
Senior Planner

BC:sm

CC: City Clerk (K.Cruz); Police Dept. (A.Jenkins/Z.Avila); City Attorney's Dept. (G. van Muiden/Y.Neutan); Fire Prevention Engineering Section-(J.Halper); Traffic & Transportation Section (P.Casnova); General Manager for Glendale Water and Power (S.Zum); Glendale Water & Power-Water Section (G. Tom'S. Boghosian/R.Takid); Glendale Water & Power-Electric Section (B. Ortiz/E.Olsen/ M.Navarete/M.Kouassi); Parks, Recreation and Community Services Dept. (T. Aleksanian); Neighborhood Services Division (R.Sada/J.Jouharani); Integrated Waste Management Admin. (D. Hartwell); Maintenance Services Section Admin. (D. Hardgrove); Street and Field Services Admin.; Engineering and Environmental Management (C.Chew/R. Villaluna); and case planner-Brad Collin.

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333 WEST MAGNOLIA AVENUE
USE VARIANCE CASE NO. PVAR 1804134
(Glendale Unified School District Facilities Yard)

12. That the maintenance and storage yard be confined to the areas northerly of the existing setback line of the building as it relates to the Magnolia Avenue frontage

13. That an ornamental wall at least 6 feet and no higher than 7 feet, in height, exclusive of driveway entrances be erected 20 feet back from the Palmer Avenue frontage and the area between the wall and the front property line be suitably landscaped and maintained;

14. That an ornamental masonry wall at least 6 feet and no higher than 7 feet, in height, be erected along the easterly and westerly lines of the property under construction and where adjoining residential property fronting on Palmer Avenue that said wall be no closer than 20 feet from the east and west boundaries of the school property to a depth of not less than 140 feet measured southerly from the southerly line of Palmer Avenue; and that the wall be offset in a manner acceptable to the Community Development Director, including the extension of said wall along said easterly and westerly boundary lines southerly to the setback line of Magnolia Street established by the existing school building now in place fronting on Magnolia Avenue; that the area between the side line of the privately owned properties fronting on Palmer Avenue and the position of the proposed wall be suitably landscaped and planted to the satisfaction of the Community Development Director.

15. That a parking plan shall be provided showing all areas of parking, striping including loading zones, and landscaping. This shall show the protective planting strip not less than 20 feet in width along the easterly and westerly lines of the property in question and that the area to be devoted to suitable type and cover of a sufficient height to screen off the development and use, the type and character of materials to be approved by the Community Development Director. Trees shall be mature enough to grow and provide adequate buffer such that they are greater than 15 gallon box trees.

16. That cars that arrive to the site early in the morning between 5:30am and 8:00am and in the evening between 6:00 p.m. to 11:30 p.m. shall not park adjacent to the western boundary.

17. That signs shall be placed on the walls facing the parking lot to discourage noise and loitering prior to 7:00 a.m. and after 6:00 p.m.

NOTE

Ayes: Lee, Shahbazian, Astorian
Noes: None
Abstain: None
Absent: Manoukian, Satoorian

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333 WEST MAGNOLIA AVENUE
USE VARIANCE CASE NO. PVAR 1804134
(Glendale Unified School District Facilities Yard)

MOTION

Moved by Planning Commissioner Lee, seconded by Planning Commissioner Shahbazian, that upon review and consideration of all materials and exhibits of current record relative to Variance Case No. PVAR 1804134, located at 333 West Magnolia Avenue, and after having conducted a public hearing on said matter, that the Planning Commission hereby **APPROVED WITH CONDITIONS**, the Variance PVAR 1804134 in accord with the findings and conditions set forth below:

Pursuant to Section 30.43.030 of the Glendale Municipal Code, a Variance may be granted by the reviewing authority only if the following findings of fact can be made:

- A. The strict application of the provisions of the ordinance would result in practical difficulties or unnecessary hardship inconsistent with the general purposes and intent of the ordinance because it would not allow for reasonable use and occupancy of the property previously occupied by a school. The original school site was acquired in 1914 and as a result of the change in character of the San Fernando Road area this facility could no longer be operated economically and was since abandoned. The subject facilities yard was approved for a Use Variance on December 18, 1956 with conditions. The subject property serves as a base of operations for the school district's Facilities and Support Operations, Planning and Development, and Nutritional services departments and has done so for over 62 years. The change from a school to a facilities yard for the same school district is a logical transition. The applicant is requesting to modify three of the existing fourteen conditions that were part of the Use Variance approval from 1956. The applicant is proposing to increase the wall height from five-feet, six inches to over five feet. This applies to side yards along Palmer Avenue and Magnolia Avenue. The increase in wall height will provide a better buffer between the school district yard and its operations and the nearby residential neighbors. In addition, the applicant is requesting to expand the hours of operation at the site from 7:00 a.m. to 6:00 p.m. to 5:00 a.m. to 11:30 p.m. in order to better serve the schools within the district. No other changes to the use of the property are proposed.
- B. There are exceptional circumstances or conditions applicable to the property involved that do not apply generally to other property in the same zone or neighborhood because the original use of the property back in 1914 was for a school site where the buildings on site were designed and utilized for that specific use. The school district was in need of a facility yard to house the various operations and functions essential to run the various schools in Glendale such as the Facilities and Support Operations as well as the Nutritional Services departments. The school buildings were modified in such a way to accommodate the various district departments, as previously mentioned. On December 18, 1956, a Use Variance was approved with conditions to allow the school district to use the property as their facility yard. The yard is also a base for the school district's operations and planning functions. The request to modify the hours of operation is because, the school has found that in order to provide better service

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APPEAL PERIOD

The applicant's attention is called to the fact that this grant is not a permit or license and that any permits and licenses required by law must be obtained from the proper City and public agency.

Under the provisions of the Glendale Municipal Code, Title 30, Chapter 30.82, any person affected by the above decision has the right to appeal said decision to the City Council if it is believed that the decision is in error or that procedural errors have occurred, or if there is substantial new evidence which could not have been reasonably presented. It is strongly advised that appeals be filed early during the appeal period and in person so that imperfections/incompleteness may be corrected before the appeal period expires. Any appeal must be filed on the prescribed forms within fifteen (15) days following the actual date of the decision. Information regarding appeals and appeal forms will be provided by the Permit Services Center (PSC) or the Community Development Department (CDD) upon request and must be filed with the prescribed fee prior to expiration of the 15-day period, on or before **AUGUST 2, 2018**, at the Permit Services Center (PSC), 633 East Broadway, Room 101, Monday thru Friday 7:00 a.m. to 12:00 p.m., or at the Community Development Department (CDD), 633 East Broadway, Room 103, Monday thru Friday 12:00 p.m. to 5 p.m.

APPEAL FORMS available on-line: <http://www.glendale.ca.gov/appeals>

GMC CHAPTER 30.41 PROVIDES FOR

TERMINATION

Every right or privilege authorized by a Use Variance shall terminate two (2) years after the granting of such, unless the exercise of such right or privilege has commenced in good faith prior to such time, except as otherwise provided for.

CESSATION

A Use Variance may be terminated by the review authority upon any interruption or cessation of the use permitted by the Use Variance for one year or more in the continuous exercise in good faith of such right and privilege.

EXTENSION

Permits granted by such right or privilege may be requested one time and extended for up to a maximum of one (1) additional year upon receipt of a written request from the applicant and demonstration that a reasonable effort to act on such right and privilege has commenced within the two (2) years of the approval date. In granting such extension the applicable review authority shall make a written finding that neighborhood conditions have not substantially changed since the granting of the Use Permit.

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333 WEST MAGNOLIA AVENUE
USE VARIANCE CASE NO. PVAR 1804134
(Glendale Unified School District Facilities Yard)

to the schools within the district (without impacting the students), they need to expand their hours of operation to allow employees to arrive at the property earlier and leave later. The operations that are currently on the property are proposed to remain.

C. The granting of the variance would not be materially detrimental to the public welfare or injurious to the property or improvements in such zone or neighborhood in which the property is located because the existing school district facility yard has been in operation for over 62 years. The applicant is requesting to modify three conditions of approval from the 1956 Use Variance. The first is to expand their hours of operation to allow their employees to arrive at the site earlier and be able to work later. The current condition of approval established hours of operation from 7:00 a.m. to 6:00 p.m. While the applicant is requesting the hours of operation be 5:00 a.m. to 11:30 p.m., staff believes that the hours should be 5:30 a.m. to 11:00 p.m. in order to be more compatible with the residential neighbors. A condition has been added to reflect staff recommendation. The purpose of the additional time is to allow the employees to arrive earlier, since the majority of the work being done at the site typically takes place between the hours of 6:30 a.m. and 3:00 p.m. It should be noted that the Glendale Police Department has not received any complaints relating to the noise complaints or disturbances dating back to January 1, 2013 till current time.

The applicant is also requesting to modify the two conditions of approval specific to the allowed wall height near the side yards of Palmer Avenue and Magnolia. The condition of approval, from 1956, stated that the maximum wall height would be five feet, six inches; However, the applicant is requesting that the walls be allowed to exceed five feet six inches, to provide a better buffer between the facility yard the nearby residential neighbors.

D. The granting of the variance would not be contrary to the objectives of the ordinance in that only modifications to the existing conditions of approval as granted in the 1956 Use Variance are being exercised. The expansion in the hours of operation will allow the yard to provide better service to the schools within the district. In addition, the allowance of the wall height to exceed five feet, six inches, will provide a better buffer between the school yard and the neighboring residential uses. Further, landscaping is required to be placed in between the walls and the property lines adjacent to the residential uses. Denying modification to the conditions of approval would limit the current day operation needs of the site and the schools of the district. Existing and additional conditions are included to minimize any impacts to surrounding properties.

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TRANSFERABILITY

This authorization runs with the land or the use for which it was intended for and approved. In the event the property is to be sold, leased, rented or occupied by any person or corporation other than yourself, it is incumbent that you advise them regarding the conditions and/or limitations of this grant.

VIOLATIONS OF THESE CONDITIONS

Violations of conditions required by this determination may constitute a misdemeanor or infraction under section 1.20.010 of the Glendale Municipal Code (GMC) and/or a violation of other local, State or Federal laws or regulations. Unless a specific penalty is provided, any person convicted of a misdemeanor shall be punished by a fine not to exceed one thousand dollars (\$1,000.00), or imprisonment for a term not to exceed six (6) months, or by both fine and imprisonment. Infractions are punishable by a fine not exceeding the sum of five hundred dollars (\$500.00) for each violation. Violations of conditions required by this determination may be grounds for a revocation.

REVOCACTION

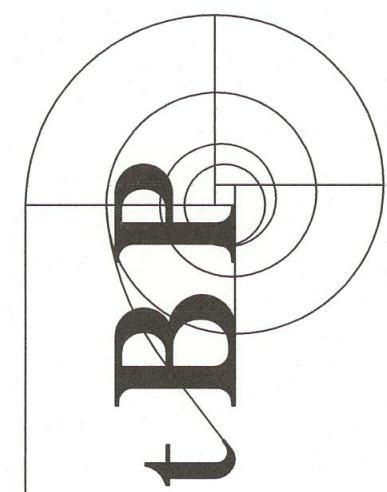
Section 30.64.020 – Revocation – The Community Development Department shall have continuing jurisdiction over Use Variances. To consider the revocation, the Director of Community Development shall hold a public hearing after giving notice by the same procedure as for consideration of a Use Variance at least ten (10) days' notice by mail to the applicant or permittee.

NOTICE – subsequent contacts with this office

The applicant is further advised that all subsequent contacts with this office regarding this determination must be with the Case Planner first and then, the Hearing Officer who acted on this case. This would include clarification, verification of condition compliance and plans or building permit applications, etc., and shall be accomplished **By Appointment Only**, in order to assure that you receive service with a minimum amount of waiting. You should advise any consultant representing you of this requirement as well.

You may contact the case planner, Brad Collin, during normal business hours at (818) 548.3210 or via e-mail at bcollin@glendaleca.gov.

8



IBP Architecture
architecture
planning
interiors



IBP Architecture
4611 Teller Avenue
Newport Beach, CA 92660
ph: 949.673.0300 fx: 949.732.3895

architect

consultant

**GUSD FASO YARD
IMPROVEMENTS**
GLENDALE UNIFIED SCHOOL DISTRICT
349 MAGNOLIA AVENUE
GLENDALE, CA 91204

owner

IBP project number : 2098.00

file name:

drawn by: checked by:

date: May 20, 2018

Rev. date: description:

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drawing title:
**VARIANCE DECISION
LETTER**

drawing no.:

T-3

drawing of

GENERAL NOTES:

- 1. ALL WORK PERFORMED IN THIS CONTRACT SHALL CONFORM TO:
A. PROJECT SPECIFICATIONS.
B. ALL SHALL CONFORM TO THE LATEST EDITION AND SUPPLEMENTS OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (SSPWC) AND AMERICAN PUBLIC WORKS ASSOCIATION (APWA).
C. GLENDALE UNIFIED SCHOOL DISTRICT'S STANDARD PLANS AND SPECIFICATIONS.
D. 2016 CALIFORNIA BUILDING CODE
2. ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE WORK SPECIFIED ON THE DRAWINGS AND WITHIN THE VARIOUS NOTES SHOWN HEREIN.
3. THE EXISTING CONDITIONS SHOWN DIAGRAMMATICALLY ON THE PLANS ORIGINATED FROM AS BUILT DRAWINGS AND FIELD SURVEY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VISIT THE JOB SITE AND VERIFY THE EXACT EXISTING CONDITIONS UNLESS CONCEALED BEFORE SUBMITTING HIS BID. ANY DISCREPANCY SHALL BE REPORTED IMMEDIATELY TO THE OWNER USING THE PROPER REQUEST FOR INFORMATION FORMS PRIOR TO SUBMITTING HIS BID FOR PROPER ACTION.
4. THE CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES IN THE AREA OF WORK WHICH ARE NOT INCLUDED IN THIS CONSTRUCTION. ANY DAMAGE RESULTING FROM THIS WORK SHALL BE REPAIRED AND/OR REPLACED AT NO ADDITIONAL COST TO THE DISTRICT.

UNDERGROUND SERVICE ALERT:

- 5. BEFORE COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL OBTAIN AN UNDERGROUND SERVICE ALERT INQUIRY I.D. NUMBER BY CALLING 1-800-422-4133. TWO (2) WORKING DAYS SHALL BE ALLOWED AFTER THE I.D. NUMBER IS OBTAINED AND BEFORE THE EXCAVATION WORK IS STARTED THAT UTILITY OWNERS CAN BE NOTIFIED.

PROTECTION AND RESTORATION OF EXISTING IMPROVEMENTS:

- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF PUBLIC AND PRIVATE PROPERTY ADJACENT TO THE WORK PER SECTION 7-9 OF THE STANDARD SPECIFICATIONS.

REMOVALS:

- 7. EXISTING STRUCTURES AND SUBSTRUCTURES WHICH ARE INDICATED TO BE REMOVED IN THIS CONSTRUCTION DOCUMENTS SHALL BE TOTALLY REMOVED AND DISPOSED OF OFFSITE, UNLESS OTHERWISE INDICATED. EXISTING FACILITIES WHICH ARE DISCOVERED DURING CONSTRUCTION (INCLUDING WALLS, FOOTINGS AND FOUNDATIONS) SHALL BE REPORTED TO AND COORDINATED WITH THE OWNER AS TO THEIR REMOVAL. CONTRACTOR WILL NOTIFY THE DISTRICT IN WRITING PRIOR TO COMMENCING THE WORK.

- 8. ALL SITE PREPARATION AS INDICATED SHALL BE MADE UNDER THE CONTINUOUS INSPECTION OF THE INSPECTOR OF RECORD (IOR) AND OWNER AUTHORIZED REPRESENTATIVE (OAR). SECURE THE REQUIRED PERMIT FROM THE CALIFORNIA DIVISION OF INDUSTRIAL SAFETY FOR THE CONSTRUCTION OF TRENCHES, SHORING OR EXCAVATIONS WHICH ARE 5 FEET OR DEEPER OR WORK THAT MAY JEOPARDIZE THE WORKERS. SHORING CALCULATIONS SHALL BE PROVIDED AS REQUIRED FOR APPROVAL AND PERMITTING.

- 9. THE CONTRACTOR SHALL KEEP THE CONSTRUCTION AREA SUFFICIENTLY DAMPENED TO CONTROL DUST CAUSED BY WORK ACTIVITIES AS REQUIRED BY THE OWNER AND JURISDICTIONAL AGENCY.

- 10. ALL WORK IN THE PUBLIC RIGHT OF WAY REQUIRE APPROVAL BY THE JURISDICTIONAL AGENCY DEPARTMENT OF PUBLIC WORKS / TRAFFIC AND TRANSPORTATION DEPARTMENTS BEFORE CONSTRUCTION BEGINS. CONTRACTOR SHALL SECURE AND PAY FOR ANY PERMIT INCLUDING UTILITY CONNECTIONS REQUIRED PRIOR TO CONSTRUCTION.

- 11. ALL FILL OR BACKFILL SHALL BE COMPACTED TO AT LEAST 95% MDD (MAXIMUM DRY DENSITY) PER ASTM D-1557.

- 12. CONSTRUCTION STAKING AND ADJUSTMENTS FOR IMPROVEMENTS SHOWN ON THESE PLANS SHALL BE PERFORMED BY A LICENSED LAND SURVEYOR PAID FOR BY THE CONTRACTOR AND INCLUDED IN THE CONTRACT.

- 13. VOIDS RESULTING FROM REMOVAL WORK SHALL BE FILLED WITH SUITABLE MATERIALS COMPACTED TO 95% MAXIMUM DENSITY PER ASTM D-1557.

- 14. ALL GRADING AND CONSTRUCTION ACTIVITIES SHALL COMPLY WITH THE LOCAL GOVERNING AGENCY'S PUBLIC WORKS DEPARTMENT, THAT CONTROLS AND RESTRICT NOISE FROM THE USE OF CONSTRUCTION AND GRADING EQUIPMENT FROM THE HOURS OF 8:00PM TO 6:30AM., AND ON SUNDAYS AND HOLIDAYS (MORE RESTRICTIVE CONSTRUCTION ACTIVITY TIMES MAY GOVERN, AS REQUIRED BY THE DEPARTMENT OF REGIONAL PLANNING AND SHOULD BE SHOWN ON THE GRADING PLANS WHEN APPLICABLE.)

- 15. UPON COMPLETION OF PROJECT, CONTRACTOR SHALL REMOVE EXISTING CONSTRUCTION FENCING, APPURTENANCES AND OFFICE TRAILERS FROM THE SITE. PAVEMENT SHALL BE PATCHED AND REPAIRED TO MATCH ADJACENT PAVEMENT AND APPROVED BY THE INSPECTOR OF RECORD, CONSTRUCTION PROJECT MANAGER OR DISTRICT REPRESENTATIVE AS APPLICABLE.

- 16. ANY ADDITIONAL SURVEYS OR TESTING AS A RESULT OF CONTRACTOR ERROR OR MISINFORMATION WILL BE CHARGED TO THE CONTRACTOR.

- 17. CONSTRUCT STRAIGHT GRADES BETWEEN ELEVATIONS SHOWN ON PLAN UNLESS INTERRUPTED BY A GRADE CHANGE LINE. ANY DEVIATION FROM THE GRADING PLAN MUST HAVE PRIOR APPROVAL FROM THE ENGINEER.

- 18. GRADE LAWN, TURF, AND PLANTING AREA 1/2" MAX AT ACCESSIBLE PATH OF TRAVEL AND 2" MAX AT OTHER AREAS BELOW DESIGN GRADES INDICATED.

- 19. ADJUST TO GRADE EXISTING MANHOLE RIMS, VALVE BOXES AND ELECTRICAL VAULT LIDS TO DESIGN GRADES WITHIN THE IMPROVEMENT AREA. CONTRACTOR TO VERIFY LOCATION AND NUMBER OF MANHOLE RIMS, VALVE BOXES AND ELECTRICAL VAULT LIDS IN THE FIELD PRIOR TO BIDDING.

- 20. MAINTAIN A RECORD OF LOCATION OF UTILITY MARKERS ON THE AS-BUILT PLAN AND REINSTALL THEM AFTER PAVING. REPLACE BENT OR UNUSABLE MARKERS FOR ALL UTILITY LINES DISCOVERED WITHIN THE WORK AREA. INSTALL BRASS UTILITY MARKERS INDICATING DIRECTIONS OF LINES AT ALL CHANGES IN DIRECTIONS AFTER PAVING. INFORM THE SURVEYOR TO LOCATE AND RECORD ACTUAL LOCATIONS.

- 21. IF EXISTING UTILITIES ARE EXPOSED OR DETERMINED TO EXIST UNDER THE ROUGH GRADING SITE, CONTRACTOR SHALL PROVIDE A FLAGGED STAKE THAT INDICATES THEIR LOCATION, TYPE OF UTILITY, SIZE, PIPE MATERIAL AND DEPTH. STAKES SHALL BE INSTALLED NO LESS THAN 50' ON CENTER ON STRAIGHT LINES AND AT BENDS.

- 22. UNOCLOG, CLEAN AND FLUSH THE WORK AREA DRAINAGE SYSTEM AFTER PAVING AND IMMEDIATELY BEFORE A RAIN FORECAST.

- 23. ALL EXPORT OF MATERIAL FROM THE SITE MUST GO TO A PERMITTED SITE APPROVED BY THE JURISDICTIONAL AGENCY REPRESENTATIVE OR A LEGAL DUMPSITE. RECEIPTS FOR ACCEPTANCE OF EXCESS MATERIAL BY A DUMPSITE ARE REQUIRED AND MUST BE PROVIDED TO THE INSPECTOR OF RECORD UPON REQUEST.

- 24. APPROVED GRADING PLANS MUST BE IN THE POSSESSION OF A RESPONSIBLE PERSON AND AVAILABLE AT THE SITE AT ALL TIMES.

- 25. SITE BOUNDARIES, EASEMENTS, DRAINAGE DEVICES, RESTRICTED USE AREAS SHALL BE LOCATED PER CONSTRUCTION STAKING BY A LICENSED SURVEYOR. PRIOR TO GRADING, AS REQUESTED BY THE INSPECTOR OF RECORD, ALL PROPERTY LINES, EASEMENTS, AND RESTRICTED USE AREAS SHALL BE STAKED.

- 26. CONTRACTOR SHALL INSTALL TEMPORARY FENCING AROUND THE PERIMETER OF THE CONSTRUCTION SITE AND STAGING AREA. FENCING SHALL BE MINIMUM 6' TALL AND SHALL HAVE A DUST/VISION BARRIER ALONG THE FULL LENGTH. THE DUST/VISION BARRIER SHALL EXTEND THE LENGTH OF THE CONSTRUCTION SITE. THE FENCING SHALL BE ANCHORED TO THE SURFACE AND SHALL BE ABLE TO WITHSTAND A 200-POUND HORIZONTAL POINT LOAD IN ANY DIRECTION. WORK AREA AND STAGING AREA SHALL BE SECURE AT ALL TIMES.

- 27. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ADEQUATE DRAINAGE OF THE SITE, DURING INTERIM CONDITIONS OF CONSTRUCTION.

- 28. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE THE SCHOOL DISTRICT WITH A COMPLETE SET OF REPRODUCIBLE "AS-BUILT" DRAWINGS OF ALL WORK PERFORMED UNDER THIS CONTRACT, AS SHOWN WITHIN THESE CONSTRUCTION DRAWINGS. ALL FIELD CHANGES SHALL BE SHOWN IN DETAIL ON THE "AS-BUILT" DRAWINGS AND SHALL INCORPORATE AS A MINIMUM, NEW ELEVATIONS, GRADES AND ALIGNMENT OF UNDERGROUND FACILITIES WITH DIMENSIONAL TIES TO BUILDINGS OR OTHER VISIBLE IMPROVEMENTS.

- 29. THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY, AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS.

GENERAL NOTES (cont.):

- 30. THE PROPOSED GRADE IS THE FINAL GRADE AND NOT THE ROUGH GRADE. THE CONTRACTOR SHALL SUBTRACT THE THICKNESS OF THE PAVED SECTION AND/OR LANDSCAPE TOPSOIL SECTION TO ARRIVE AT THE ROUGH GRADE ELEVATION.

- 31. CALIFORNIA PUBLIC RESOURCES CODE (SECTION 5097.9B) AND HEALTH AND SAFETY CODE (SECTION 7050.5) ADDRESS THE DISCOVERY AND DISPOSITION OF HUMAN REMAINS. IN THE EVENT OF DISCOVERY OR RECOGNITION OF ANY HUMAN REMAINS IN ANY LOCATION OTHER THAN A DEDICATED CEMETERY, THE LAW REQUIRES THAT GRADING IMMEDIATELY STOP AND NO FURTHER EXCAVATION OF DISTURBANCE OF THE SITE, OR ANY NEARBY AREA WHERE HUMAN REMAINS MAY BE LOCATED, OCCUR UNTIL THE FOLLOWING MEASURES HAVE BEEN TAKEN:
A. THE CITY CORONER HAS BEEN INFORMED AND HAS DETERMINED THAT NO INVESTIGATION OF THE CAUSE OF DEATH IS REQUIRED AND,
B. IF THE REMAINS ARE OF NATIVE AMERICAN ORIGIN, THE DESCENDANTS FROM THE DECEASED NATIVE AMERICANS HAVE MADE A RECOMMENDATION FOR THE MEANS OF TREATING OR DISPOSING, WITH APPROPRIATE DIGNITY, OF THE HUMAN REMAINS AND ANY ASSOCIATED GRAVE GOODS.

- 32. UTILITIES TO BE VERIFIED IN FIELD TO ENSURE THE EXISTING SERVING FACILITIES TO REMAIN COORDINATE RELOCATION IF REQUIRED. REMOVE INTERFERING SECTIONS OF ALL ABANDONED EXISTING UTILITIES. UTILITY OWNERS OF THESE ABOVE-MENTIONED INTERFERING UTILITIES AND THE DISTRICT OR OWNER'S AUTHORIZED REPRESENTATIVE SHALL BE NOTIFIED IN ADVANCE PRIOR TO START OF CONSTRUCTION.

- 33. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ADEQUATE DRAINAGE OF THE SITE, DURING INTERIM CONDITIONS OF CONSTRUCTION.

- 34. THE CONTRACTOR SHALL OBTAIN AN O.S.H.A. PERMIT FROM THE CALIFORNIA DIVISION OF INDUSTRIAL SAFETY PRIOR TO THE CONSTRUCTION OF TRENCHES OR EXCAVATIONS WHICH ARE FIVE FEET OR DEEPER.

- 35. CONTRACTOR SHALL SECURE AND PAY FOR TEMPORARY POWER AND WATER TO BE USED FOR HIS / HER MEANS AND METHOD OF CONSTRUCTION.

- 36. "PATH OF TRAVEL (P.O.T.) AS INDICATED ON ARCHITECTURAL DRAWINGS IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2" BEVELED AT 1:2 MAXIMUM SLOPE, EXCEPT THAT LEVEL CHANGES DO NOT EXCEED 1/4" VERTICAL AND IS AT LEAST 48" WIDE. SURFACE IS SLIP RESISTANT, STABLE, FIRM, AND SMOOTH. CROSS-SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5% UNLESS OTHERWISE INDICATED. (POT) SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM (1133B.8.2) AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTING FROM WALL AND ABOVE 27" AND LESS THAN 80" (1133B.8.6). CONTRACTOR TO VERIFY THAT ALL BARRIERS IN THE PATH OF TRAVEL HAVE BEEN REMOVED OR WILL BE REMOVED UNDER THIS PROJECT, AND PATH OF TRAVEL COMPLIES WITH CBC 1133B.

- 37. ADJUST TO GRADE EXISTING MANHOLE RIMS, AND ELECTRICAL VAULT LIDS TO DESIGN GRADES WITHIN THE IMPROVEMENT AREA. CONTRACTOR TO VERIFY LOCATION AND NUMBER OF MANHOLE RIMS, VALVE BOXES AND ELECTRICAL VAULT LIDS IN THE FIELD PRIOR TO BIDDING.

- 38. REMOVE YARD BOXES WITHIN THE GRADING LIMITS AND INSTALL NEW ONES TO MATCH DESIGN GRADES. VERIFY LOCATION AND NUMBER OF YARD BOXES IN THE FIELD PRIOR TO BIDDING.

GEOTECHNICAL NOTES:

- 1. VOIDS CREATED BY THE REMOVAL OF MATERIALS OR UTILITIES, AND EXTENDING BELOW THE RECOMMENDED OVEREXCAVATION DEPTH, SHOULD BE IMMEDIATELY CALLED TO THE ATTENTION OF THE GEOTECHNICAL ENGINEER. NO FILL SHOULD BE PLACED UNLESS THE GEOTECHNICAL ENGINEER HAS OBSERVED THE UNDERLYING SOIL.

FILL MATERIAL:

- 2. ON-SITE MATERIAL AND APPROVED IMPORT MATERIALS MAY BE USED AS GENERAL FILL. ALL IMPORTED SOIL SHOULD BE NONEXPANSIVE. NONEXPANSIVE MATERIAL IS DEFINED AS BEING A COARSE GRAINED SOIL (ASTM D2487) AND HAVING AN EXPANSION INDEX OF 10 OR LESS (ASTM D4829). PROPOSED IMPORTED SOILS SHOULD BE EVALUATED BY THE GEOTECHNICAL ENGINEER BEFORE BEING USED, AND ON AN INTERMITTENT BASIS DURING PLACEMENT ON THE SITE.

- 3. ALL MATERIALS USED AS FILL SHOULD BE CLEANED OF ANY DEBRIS AND ROCKS LARGER THAN 6 INCHES IN DIAMETER. NO ROCKS LARGER THAN 3 INCHES IN DIAMETER SHOULD BE USED WITHIN THE UPPER 3 FEET OF FINISH GRADE. WHEN FILL MATERIAL INCLUDES ROCKS, THE ROCKS SHOULD BE PLACED IN A SUFFICIENT SOIL MATRIX TO ENSURE THAT VOIDS CAUSED BY NESTING OF THE ROCKS WILL NOT OCCUR AND THAT THE FILL CAN BE PROPERLY COMPACTED.

COMPACTION AND MOISTURE CONDITIONING:

- 4. FILL SHOULD BE THOROUGHLY MIXED FOR UNIFORMITY OF MOISTURE AND MATERIAL PRIOR TO COMPACTION PLACED AT 2 PERCENT OVER OPTIMUM MOISTURE CONTENT +/- 2% (BY ASTM D1557) IN LOOSE LIFTS NOT GREATER THAN 8 INCHES THICK AND COMPACTED TO A MINIMUM OF 90% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE ASTM D-1557, UNLESS OTHERWISE RECOMMENDED OR SPECIFIED BY THE GRADING ORDINANCE.

COMPACTION TESTING:

- 5. FIELD TESTS FOR MOISTURE CONTENT AND RELATIVE COMPACTION OF THE FILL SOILS SHALL BE PERFORMED BY THE GEOTECHNICAL CONSULTANT. LOCATION AND FREQUENCY OF TESTS SHALL BE AT THE CONSULTANT'S DISCRETION BASED ON FIELD CONDITIONS ENCOUNTERED. COMPACTION TEST LOCATIONS WILL NOT NECESSARILY BE SELECTED ON A RANDOM BASIS. TEST LOCATIONS SHALL BE SELECTED TO VERIFY ADEQUACY OF COMPACTION LEVELS IN AREAS THAT ARE JUDGED TO BE PRONE TO INADEQUATE COMPACTION. TESTS SHALL BE TAKEN AT INTERVALS NOT EXCEEDING 2 FEET IN VERTICAL RISE AND/OR 1,000 CUBIC YARDS OF COMPACTED FILL SOILS PLACED. THE CONTRACTOR SHALL COORDINATE WITH THE PROJECT SURVEYOR TO ASSURE THAT SUFFICIENT GRADE STAKES ARE ESTABLISHED SO THAT THE GEOTECHNICAL CONSULTANT CAN DETERMINE THE TEST LOCATIONS WITH SUFFICIENT ACCURACY. AT A MINIMUM, TWO GRADE STAKES WITHIN A HORIZONTAL DISTANCE OF 100 FEET AND VERTICALLY LESS THAN 5 FEET APART FROM POTENTIAL TEST LOCATIONS SHALL BE PROVIDED.

BEDDING AND BACKFILL MATERIAL:

- 6. BEDDING MATERIAL SHALL HAVE A SAND EQUIVALENT GREATER THAN 30 (SE >=30). THE BEDDING SHALL BE PLACED TO 1 FOOT OVER THE TOP OF THE CONDUIT AND DENSIFIED BY JETTING OR MECHANICAL COMPACTION TO A MINIMUM OF 90 PERCENT OF MAXIMUM DENSITY (ASTM D1557). DENSIFICATION BY JETTING SHALL ONLY BE PERMITTED WHERE TRENCH WALLS HAVE A SAND EQUIVALENT OF 15 OR GREATER (SE >=15). BACKFILL SHALL BE PLACED AND DENSIFIED TO A MINIMUM OF 90 PERCENT OF MAXIMUM DENSITY (ASTM D1557) FROM 1 FOOT ABOVE THE TOP OF THE CONDUIT TO THE SURFACE.

OBSERVATION AND COMPACTION TESTING:

- 7. DENSIFICATION OF BEDDING AROUND CONDUITS SHALL BE OBSERVED BY THE GEOTECHNICAL CONSULTANT. THE GEOTECHNICAL CONSULTANT SHALL TEST THE TRENCH BACKFILL FOR RELATIVE COMPACTION. AT LEAST ONE TEST SHOULD BE MADE FOR EVERY 250 FEET OF TRENCH AND 2 (VERTICAL) FEET OF FILL.

ABBREVIATIONS:

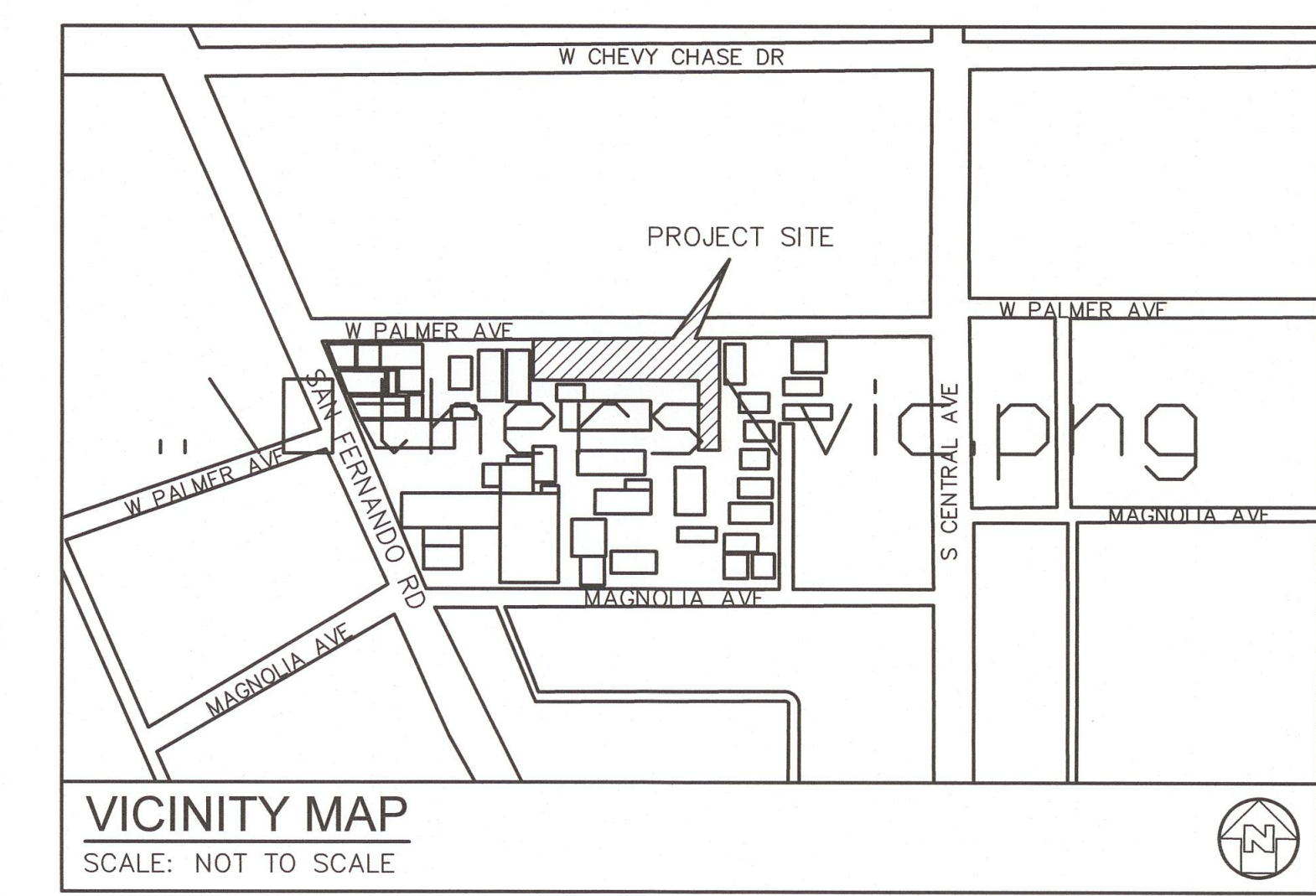
Table with 3 columns: Abbreviation, Description, Abbreviation, Description. Includes items like ASPHALT CONCRETE, AREA DRAIN, AMERICAN PUBLIC WORKS ASSOCIATION, ARCHITECTURAL, ASPHALT, BUILDING, BENCHMARK, BOTTOM OF SLOPE, BACK OF SIDEWALK, CRUSHED AGGREGATE BASE, CATCH BASIN, CURB FACE, CENTERLINE, CHAIN LINK FENCE, CLEAR, CLEANOUT, CONCRETE, CONSTRUCTION PROJECT MANAGER, DUCTILE IRON, DIAMETER, DRAWING(S), DRIVEWAY, EXPANSION, EAST, END OF CURVE, ELECTRICAL, ELEVATION, EXPANSION JOINT, EDGE OF PAVEMENT, EXISTING, FINISH FLOOR ELEVATION, FINISH GRADE, FIRE HYDRANT, FLOW LINE, FINISH SURFACE, FEET, FIRE WATER, GAS, GRADE BREAK, GAS METER, GAS VAULT, GAS VALVE, INVERT ELEVATION, INVERT, LENGTH, MEASURED, MAXIMUM, MAINTENANCE HOLE, MANHOLE, MINIMUM, NORTH, OWNER'S AUTHORIZED REPRESENTATIVE, PULL BOX, PORTLAND CEMENT CONCRETE, POST INDICATOR VALVE, PROPERTY LINE, POWER POLE, POLY VINYL CHLORIDE PIPE, PAVEMENT, RADIUS (GEOMETRY) OR RIDGE (GRADING) OR RECORD (SURVEY), REFERENCE, ROUGH GRADE, RIGHT OF WAY, STORM DRAIN, STANDARD PIPE DIMENSION RATIO, SANITARY SEWER MANHOLE, SLOPE, SOUTH, SEWER, STORM DRAIN MANHOLE, SPIKE, SANITARY SEWER, STATION, STANDARD(S), SPIKE & WASHER, SIDEWALK, TANGENT, TOP OF CONCRETE OR CURB, TOP OF CATCH BASIN, TOP OF CLEAN OUT, TOP OF GRATE, TELEPHONE MANHOLE, TOP OF WALL, TYPICAL, UNDERGROUND, VERIFY IN FIELD, VAULT VENTS, DOMESTIC WATER, WEST, WATER METER, WATER VALVE.

LEGEND:

Table with 2 columns: Description, Symbol. Includes items like CONCRETE PAVEMENT, REMOVAL CONCRETE PAVEMENT, AC PAVEMENT, REMOVAL AC PAVEMENT, BUILDING, LANDSCAPE, PROPERTY LINE, CENTER LINE, GRADE CHANGE, FINISHED GRADE CONTOUR, EXISTING GRADE CONTOUR, CHAIN LINK FENCE (CLF), FLOW LINE, RIDGE LINE, GRADE BREAK, STORM DRAIN LINE, STORM DRAIN MANHOLE, SEWER LINE, WATER LINE, SEWER MANHOLE, MANHOLE, STREET LIGHT, PULL BOX, WATER METER, WATER VALVE, FIRE HYDRANT, FIRE DEPARTMENT CONNECTION, POST INDICATOR VALVE, GAS LINE.

SURVEY NOTES:

SURVEYOR SALAZAR SURVEYING 1655 E. 6TH STREET, SUITE A44 CORONA, CA 92879 PH (951) 898-8328 FAX (951) 898-4732
NOTE DATE: 05/07/2018
BASIS OF BEARINGS THE BASIS OF BEARINGS FOR THIS PROJECT IS NORTH 89°51'00" EAST ALONG THE CENTERLINE OF PALMER AVENUE AS SHOWN ON RSB 118/121.
BENCHMARK CITY OF GLENDALE BENCHMARK 2597 ELEVATION 450.92 FEET *BRASS DISK IN E'LY CURB SAN FERNANDO RD @ ECR N-E'LY CORNER* YEAR 2015

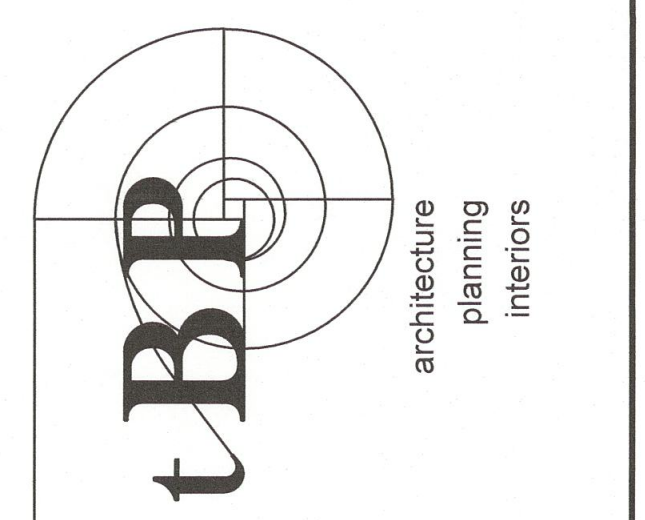
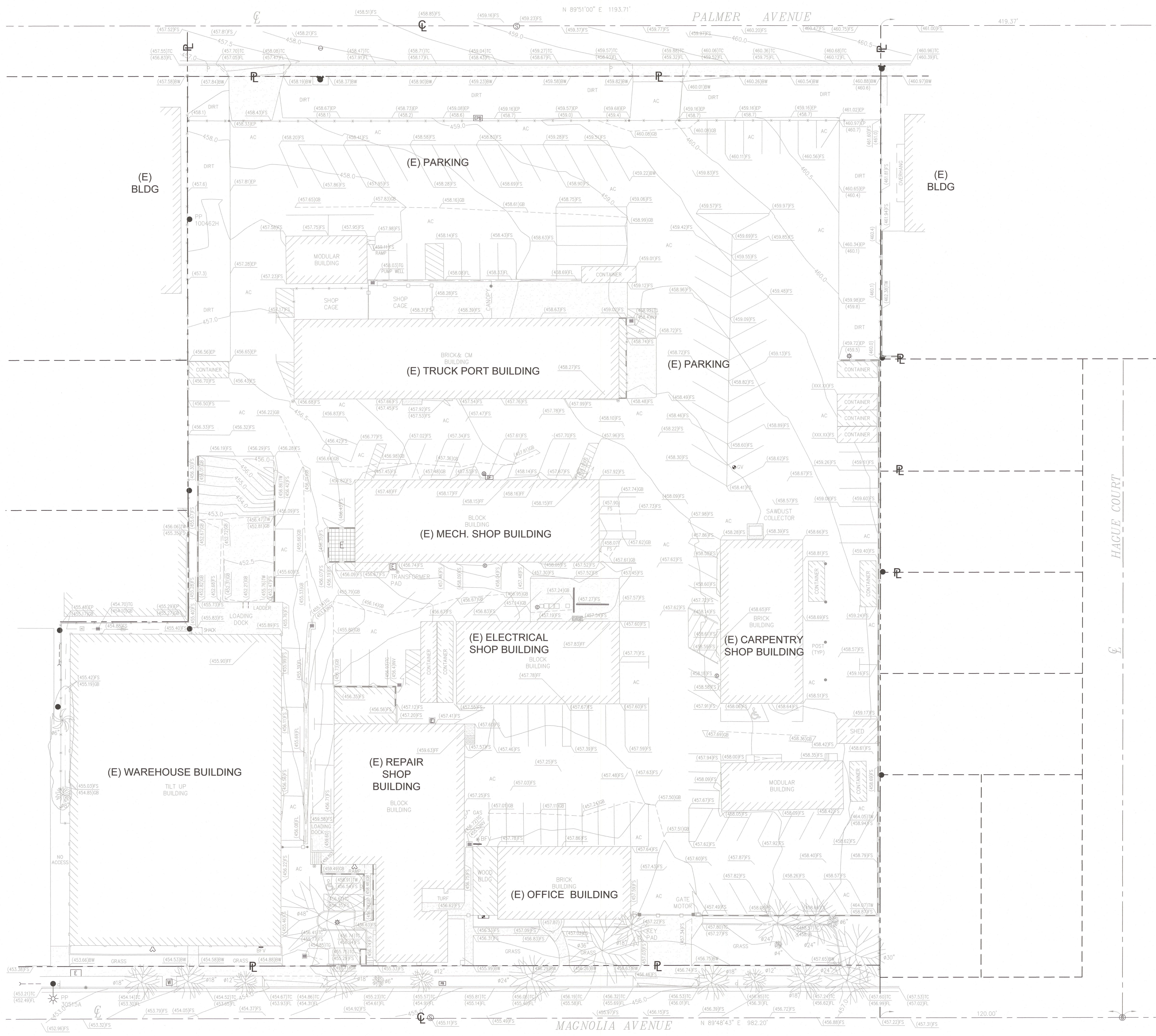


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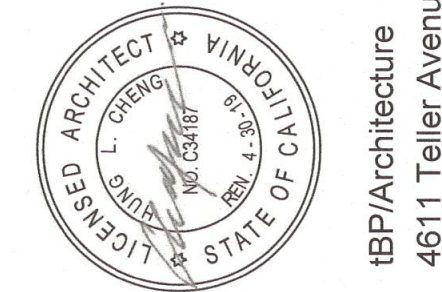
PROFESSIONAL SEAL
REGISTERED PROFESSIONAL ENGINEER
No. C-35979
Exp. 6/30/18
CIVIL
STATE OF CALIFORNIA
MCA ENGINEERS - INC.
1010 S Garfield Ave. Alhambra CA 91801
Tel. 323.759.6568 Fax. 323.729.6643
consultant

GUSD FASO YARD IMPROVEMENTS
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349 MAGNOLIA AVENUE
GLENDALE, CA 91204

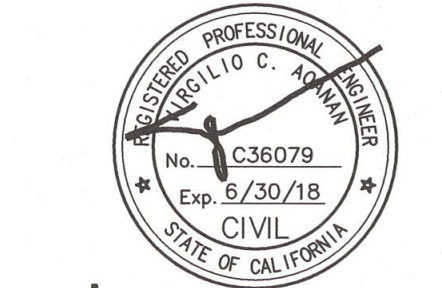
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date:
Rev. date: description:
drawing title: GENERAL NOTES, ABBREVIATIONS, AND LEGEND
drawing no.: C-1.0
drawing of



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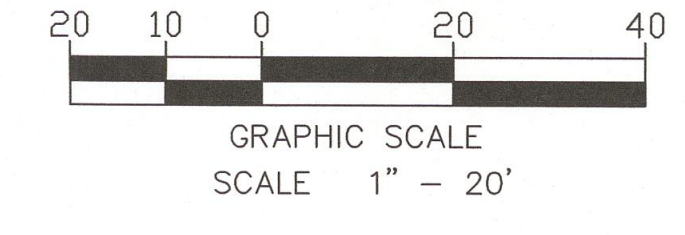
GLENDALE UNIFIED SCHOOL DISTRICT
349 MAGNOLIA AVENUE
GLENDALE, CA 91204

owner

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Rev. date:	description:



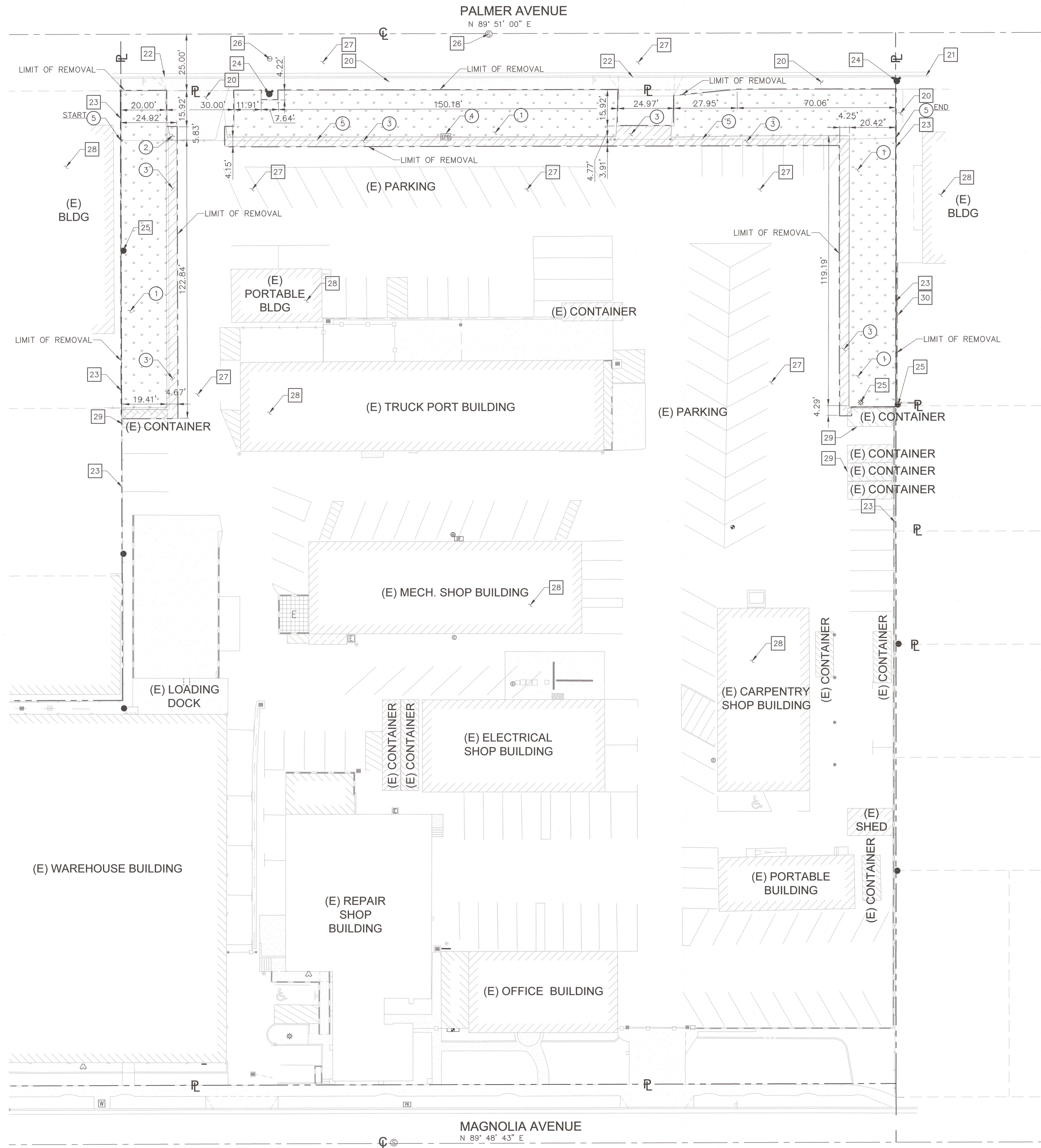
EXISTING CONDITION SITE PLAN



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**EXISTING CONDITION
SITE PLAN**

drawing no.:
C-1.1
drawing of



REMOVAL NOTE:

- ① REMOVE EXISTING TURF/ SHRUBS/ ROOTS/ PLANTER/ EXPOSED SUBGRADE AREA.
- ② REMOVE FULL DEPTH EXISTING CONCRETE PAVEMENT AND BASE MATERIAL.
- ③ REMOVE FULL DEPTH EXISTING AC PAVEMENT AND BASE MATERIAL.
- ④ REMOVE EXISTING ELECTRICAL YARD BOX PER ELECTRICAL DRAWINGS.
- ⑤ REMOVE EXISTING CHAINLINK FENCE IN ITS ENTIRETY.

PROTECT-IN-PLACE NOTES:

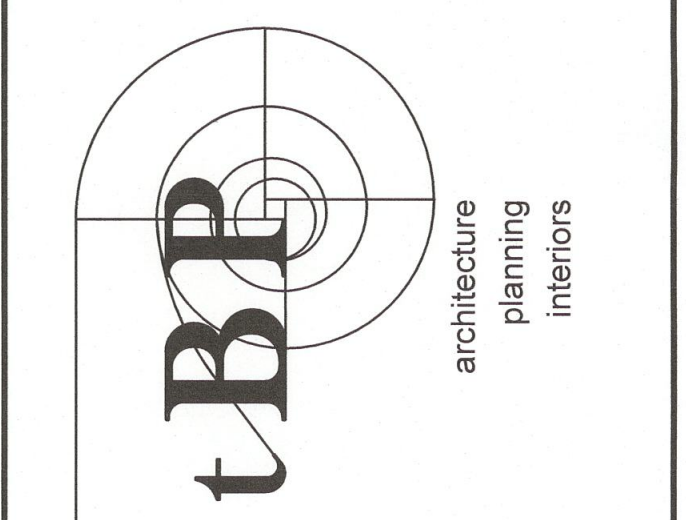
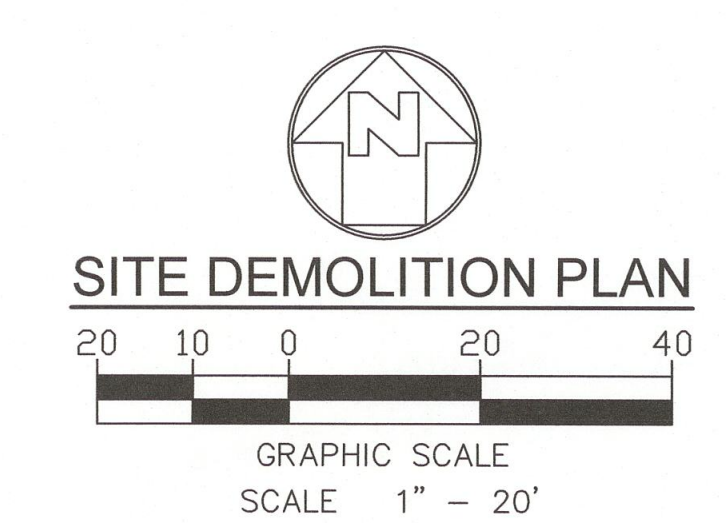
- 20 PROTECT IN PLACE EXISTING CONCRETE PAVEMENT.
- 21 PROTECT IN PLACE EXISTING CURB.
- 22 PROTECT IN PLACE EXISTING DRIVEWAY APPROACH.
- 23 PROTECT IN PLACE EXISTING CHAINLINK FENCE.
- 24 PROTECT IN PLACE FIRE HYDRANT. ADJUST TO NEW DESIGN GRADES AS REQUIRED.
- 25 PROTECT IN PLACE EXISTING STREET LIGHTS AND POWER POLES.
- 26 PROTECT IN PLACE EXISTING UTILITY PULL BOX, MANHOLE, WATER VALVE, AND CLEANOUTS. ADJUST TO NEW DESIGN GRADES AS REQUIRED.
- 27 PROTECT IN PLACE EXISTING AC PAVEMENT.
- 28 PROTECT IN PLACE EXISTING BUILDING.
- 29 PROTECT IN PLACE EXISTING CONTAINER.
- 30 PROTECT IN PLACE EXISTING WALL IN ITS ENTIRETY.

REMOVAL LEGEND:

- REMOVE EXISTING TURF/ SHRUBS/ ROOTS/ PLANTER/ EXPOSED SUBGRADE AREA.
- REMOVE EXISTING AC PAVEMENT
- REMOVE EXISTING CONCRETE PAVEMENT

SHEET NOTES:

1. FOR GENERAL NOTES, LEGENDS AND ABBREVIATIONS, SEE SHEET C-1.0.
2. SEE ARCHITECTURAL DRAWINGS FOR OTHER SITE RELATED DIMENSIONS NOT SHOWN ON THIS DRAWING.
3. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY AND SURFACE AND/OR UNDERGROUND UTILITIES IN CONFLICT WITH THE PROPOSED DEMOLITION AND DESIGN ITEMS. CONTRACTOR SHALL REPORT ANY DISCREPANCIES AND/OR CONSTRUCTION RELATED ISSUES TO THE OWNER OR DESIGN TEAM PRIOR TO THE COMMENCEMENT OF WORK.
4. CONTRACTOR TO VERIFY IN FIELD THE JOINING TO EXISTING ELEVATION AND THE CURRENT SITE CONDITION WITH THE DESIGN GRADES. CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE OWNER OR DESIGN TEAM PRIOR TO THE COMMENCEMENT OF WORK.



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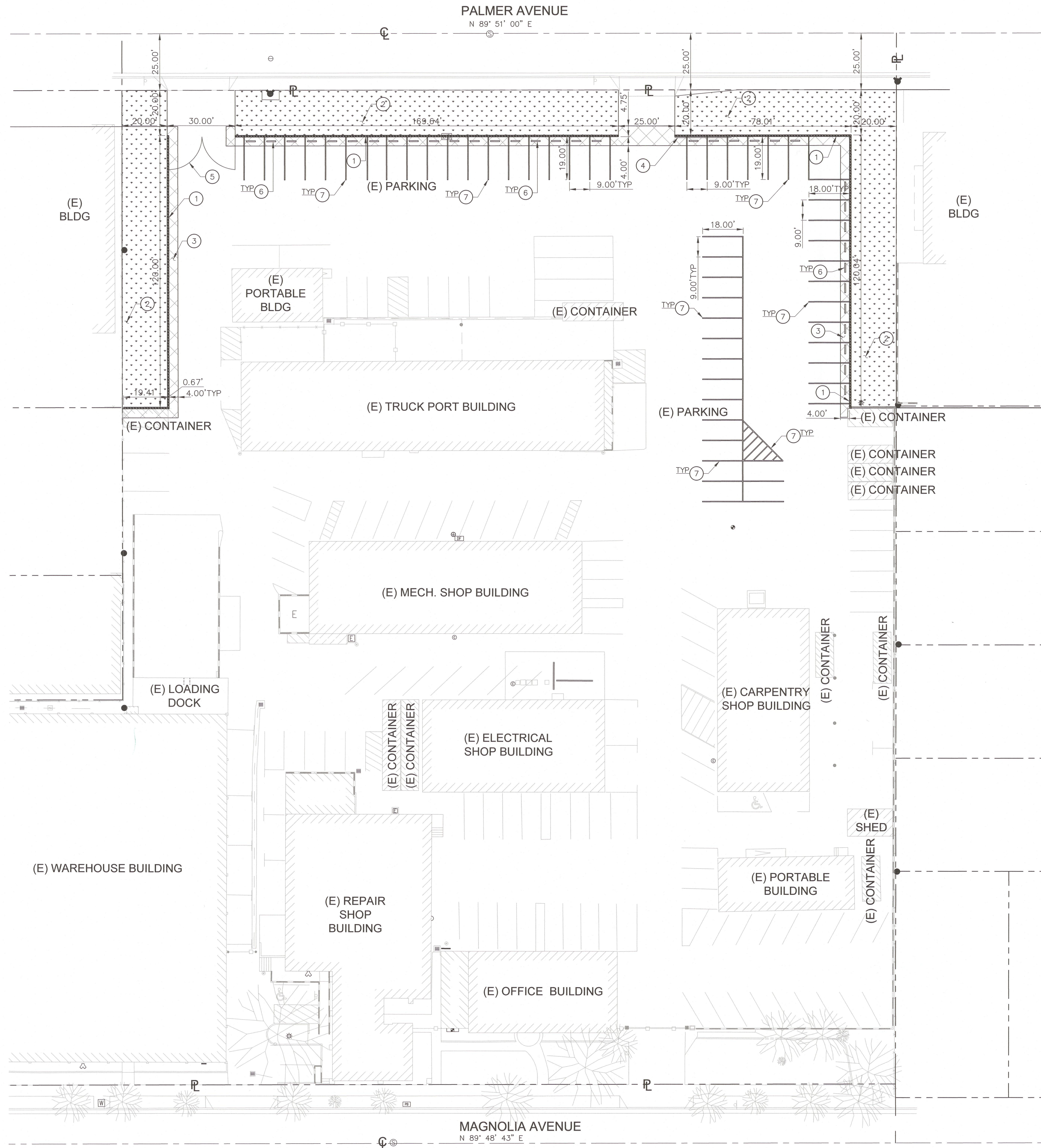
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SITE DEMOLITION PLAN

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- CONSTRUCTION NOTES:**
- ① CONSTRUCT NEW CMU WALL PER DETAIL 5 ON SHEET C-5.0.
 - ② CONSTRUCT NEW LANDSCAPE PER ARCHITECTURAL DRAWINGS.
 - ③ CONSTRUCT NEW AC PAVEMENT PER DETAIL 2 ON SHEET C-5.0.
 - ④ INSTALL ROLLING GATE PER ARCHITECTURAL DRAWINGS.
 - ⑤ INSTALL DOUBLE SWING GATE PER ARCHITECTURAL DRAWINGS.
 - ⑥ INSTALL CONCRETE WHEEL STOP PER ARCHITECTURAL DRAWINGS.
 - ⑦ CONSTRUCT STRIPPING PER ARCHITECTURAL DRAWINGS.

- LEGENDS:**
- CONSTRUCT PLANTER AREA
 - CONSTRUCT AC PAVEMENT
 - CONSTRUCT WALL

- SHEET NOTES:**
1. FOR GENERAL NOTES, LEGEND AND ABBREVIATIONS, SEE SHEETS C-1.0.
 2. REFER TO ARCHITECTURAL DRAWINGS FOR OTHER SITE DIMENSIONS AND IMPROVEMENTS NOT SHOWN ON THIS DRAWING.

City of Glendale Planning Division
The approval is only for

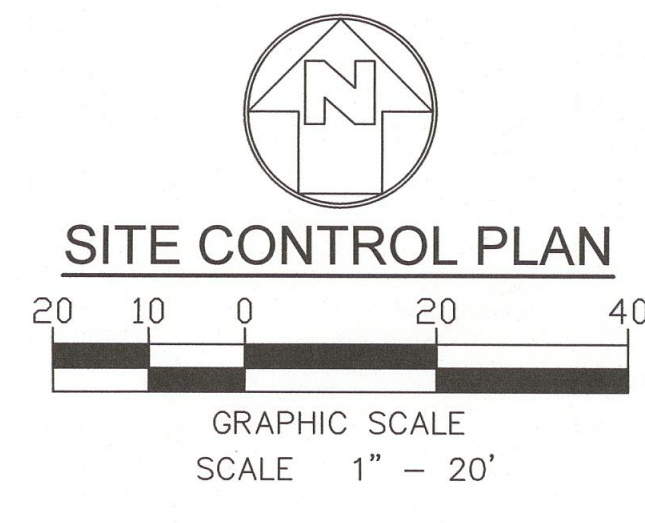
APPROVED
JAN 24 2019

No other approvals are granted.
Any construction or land use contradictory to
the G.M.C. is not approved by this permit.

By: _____
Director of Planning

CITY OF GLENDALE
DESIGN REVIEW BOARD
EXEMPT
JAN 24 2019

By: _____



tBP architecture
planning
interiors

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Newport Beach, CA 92660
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consultant

GUSD FASO YARD
IMPROVEMENTS

owner
GLENDALE UNIFIED SCHOOL DISTRICT
349 MAGNOLIA AVENUE
GLENDALE, CA 91204

tBP project number : _____

file name: _____

drawn by: _____ checked by: _____

date: _____

Rev. date: _____ description: _____

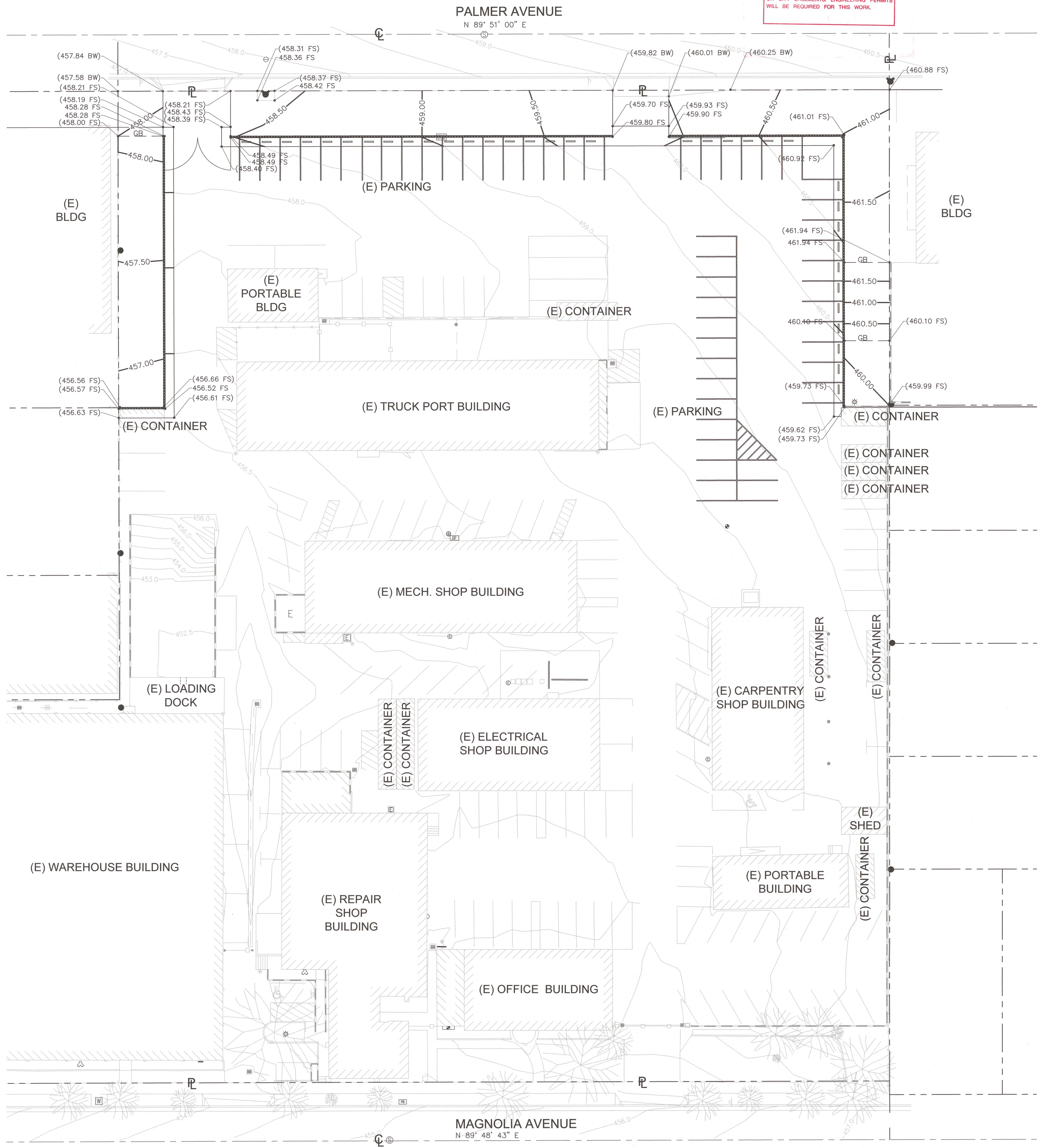
drawing title:
SITE CONTROL PLAN

drawing no.:
C-2.0

drawing of _____

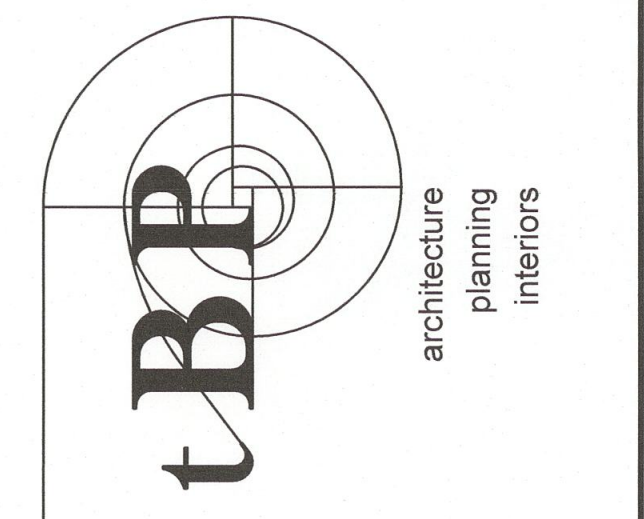
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PLANS NOT APPROVED
 FOR WORK WITHIN THE PUBLIC RIGHT-OF-WAY
 OR CITY EASEMENTS. ENGINEERING PERMITS
 WILL BE REQUIRED FOR THIS WORK.

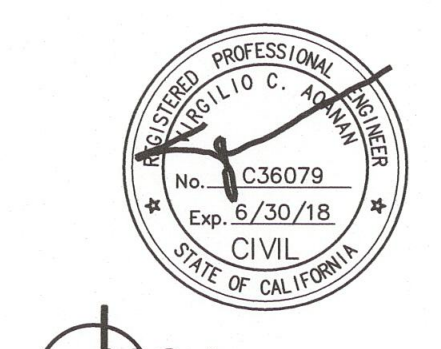


ESTIMATED EARTHWORK QUANTITY

- ESTIMATED CUT = 10 CY
 ESTIMATED FILL = 0 CY
 NET = 10 EXPORT (CY)
 No Change in line and fill
- NOTES:**
1. THE ESTIMATED QUANTITIES PROVIDED ABOVE ARE FOR REFERENCE ONLY TO BE USED FOR JURISDICTIONAL PLAN CHECKING AND PERMITTING PURPOSES ONLY.
 2. ESTIMATED EARTHWORK ABOVE IS BASED ON DESIGN FINISH GRADES TO EXISTING GRADES IN SURVEY. THE ESTIMATED EARTHWORK DOES NOT CONSIDER THE THICKNESS OF EACH PAVEMENT MATERIAL, FOUNDATION AND SLAB ON GRADE VOLUMES, THE REMOVAL OF ANY UNSUITABLE MATERIAL, AND THE REMOVAL OF EXISTING BASEMENTS, PITS, VAULTS, TOP SOIL OR VEGETATION.
 3. THE ESTIMATED EARTHWORK QUANTITIES DO NOT INCLUDE SHRINKAGE FACTORS DUE TO COMPACTION OR ANY OVER EXCAVATION QUANTITIES.
 4. THE CONTRACTOR SHALL CALCULATE HIS OWN EARTHWORK QUANTITIES NECESSARY FOR HIS BID AND WORK. VCA IS NOT RESPONSIBLE AND LIABLE FOR THE CONTRACTOR'S EARTHWORK CALCULATIONS.
 5. ESTIMATED EARTHWORK QUANTITIES ABOVE ASSUME THAT ALL ON-SITE MATERIALS ARE SUITABLE FOR BACKFILLING. HOWEVER, ACTUAL EXISTING ON-SITE MATERIALS AND IMPORTED MATERIALS MUST FIRST BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO INSTALLATION, REMOVAL, OR REPLACEMENT.
 6. FILL MATERIAL SHALL COMPLY WITH THE GEOTECHNICAL INVESTIGATION, AND BE APPROVED BY THE GEOTECHNICAL ENGINEER.



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 consultant

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 owner

tBP project number:	
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date:	
Rev. date:	description:

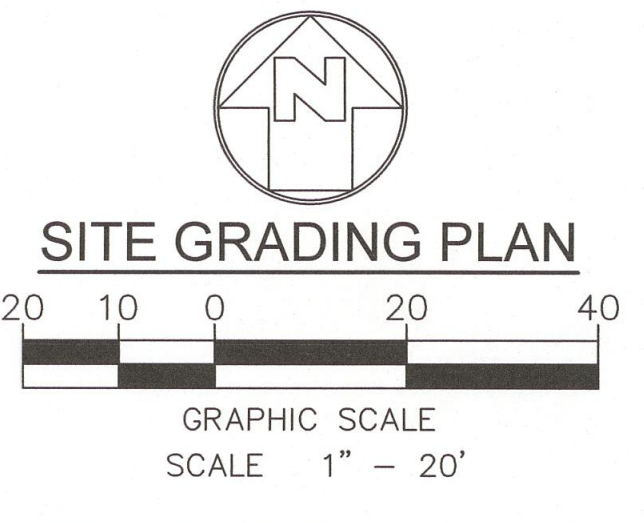
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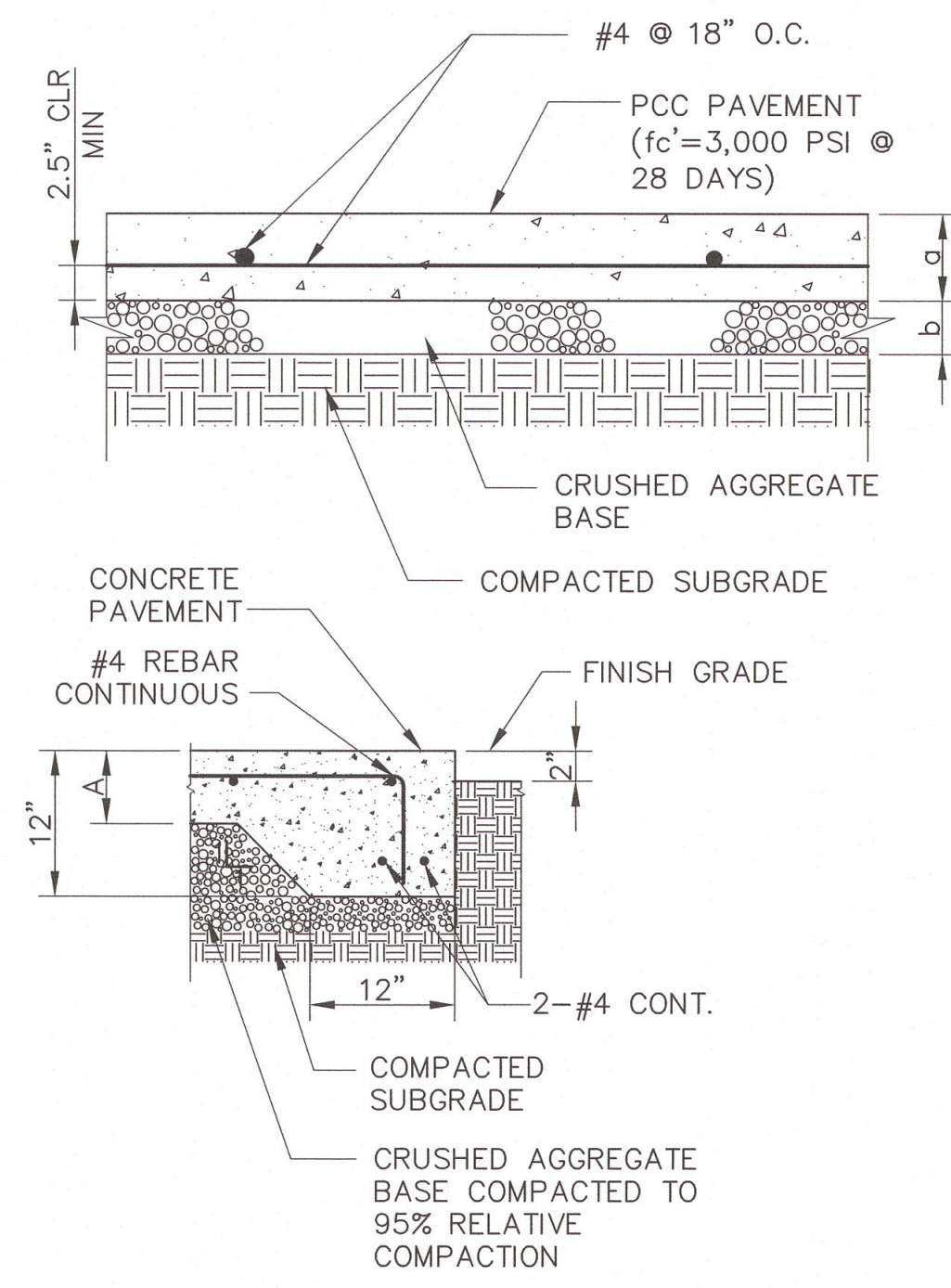
drawing title:
SITE GRADING PLAN

drawing no.:
C-3.0

drawing of

PROCESSED
 ENGINEERING DIVISION
 JAN 23 2019
 FOR RUCS / RESUBMITTAL



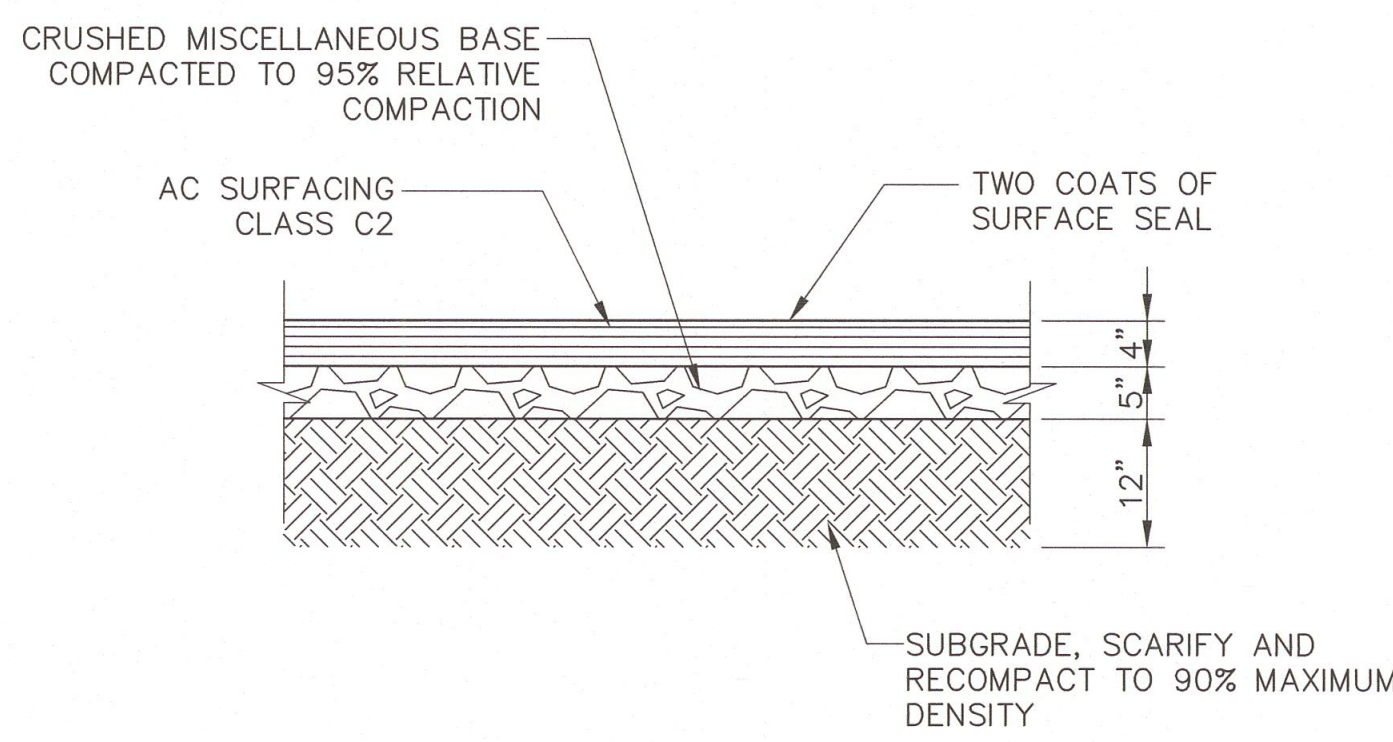


LOCATION	CONCRETE PAVEMENT THICKNESS "A"	CRUSHED AGGREGATE BASE THICKNESS "B"
NON TRAFFIC	4"	4"
TRAFFIC	6"	6"

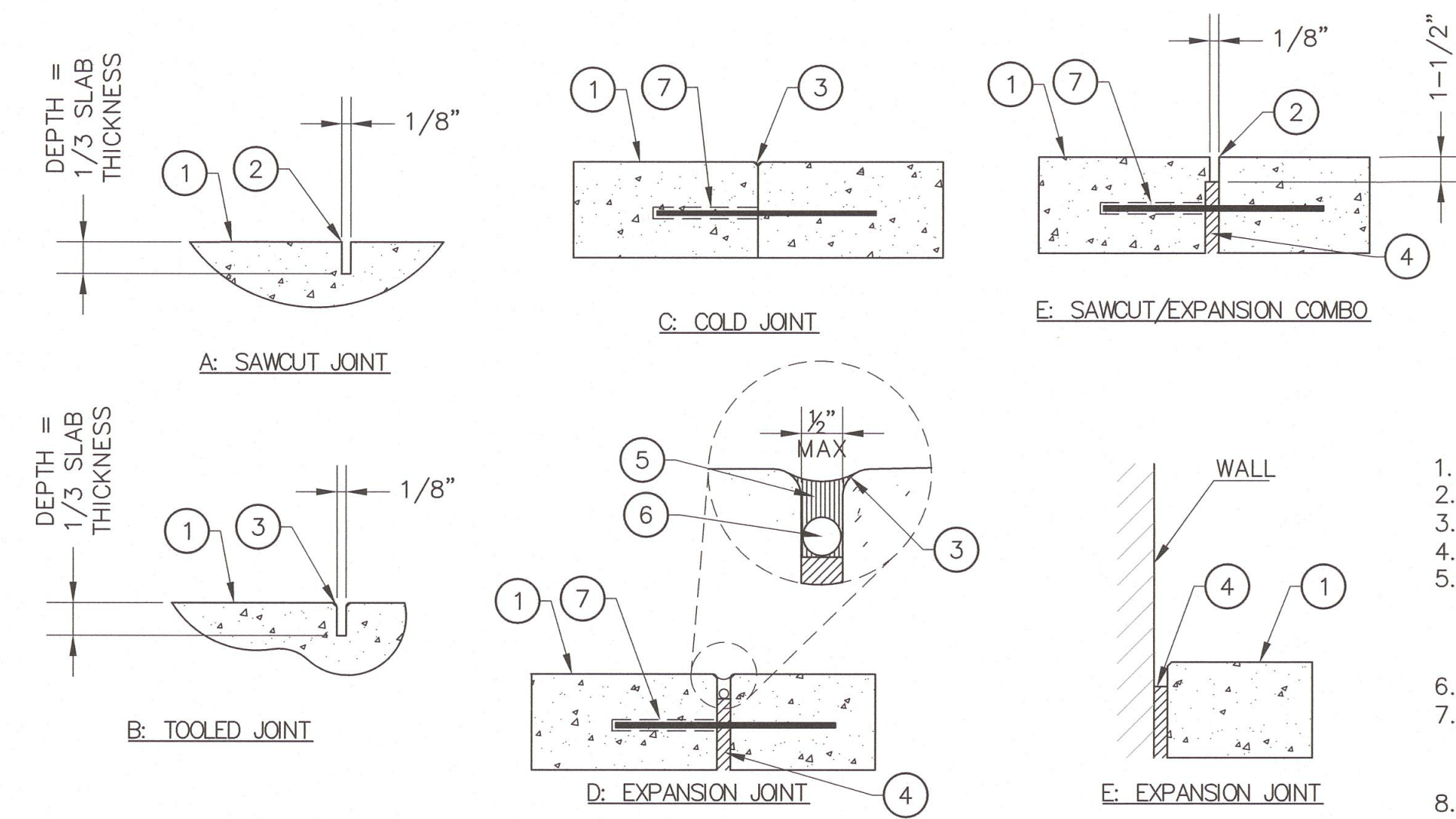
- NOTES:**
1. CONCRETE, $f_c=3000$ psi @ 28 DAYS, FOR TRAFFIC ONLY.
 2. REBARS, $f_y=60,000$ psi ASTM A615.
 3. FOR WPJ CONSTRUCTION JOINTS AND PATTERN, REFER TO ARCHITECTURAL DRAWINGS AND SPECIFICATIONS.
 4. PAVING SHALL HAVE A MEDIUM BROOM FINISH ON ALL SURFACES LESS THAN 6% AND A HEAVY BROOM FINISH ON ALL SURFACES GREATER THAN 6%.
 5. CONCRETE, $f_c=2500$ PSI @ 28 DAYS, FOR NON TRAFFIC.
 6. REFER TO DETAIL 3 FOR JOINT DETAIL.

EDGE OF RIGID PAVEMENT

LOCATION	ASPHALT CONCRETE		BASE COURSE	
	THICKNESS	THICKNESS	TYPE	GRADE
PARKING SPACE, AND OTHER AREAS	4"	5"	CMB	FINE

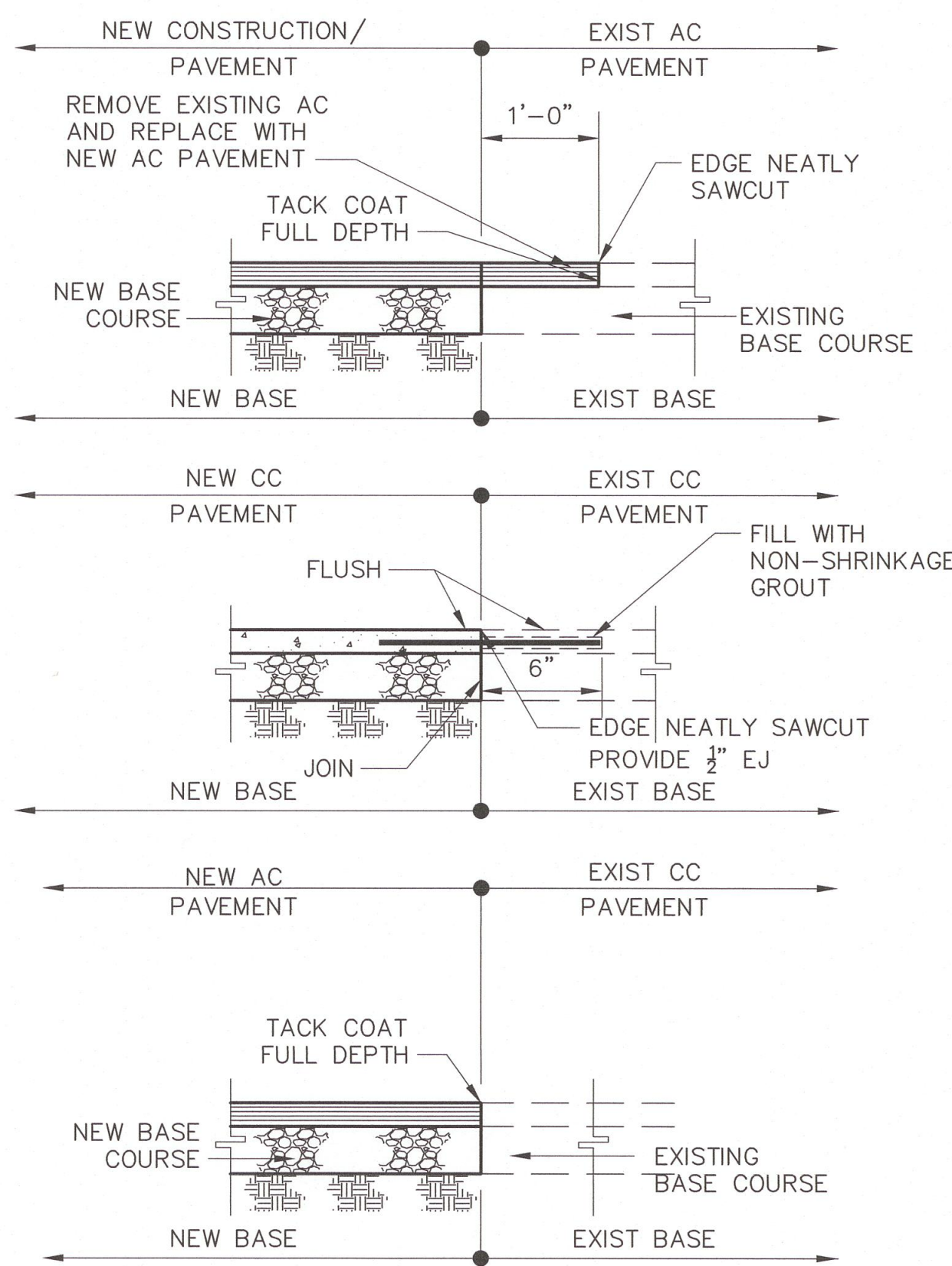


2 ASPHALT PAVEMENT SECTION
SCALE: NOT TO SCALE

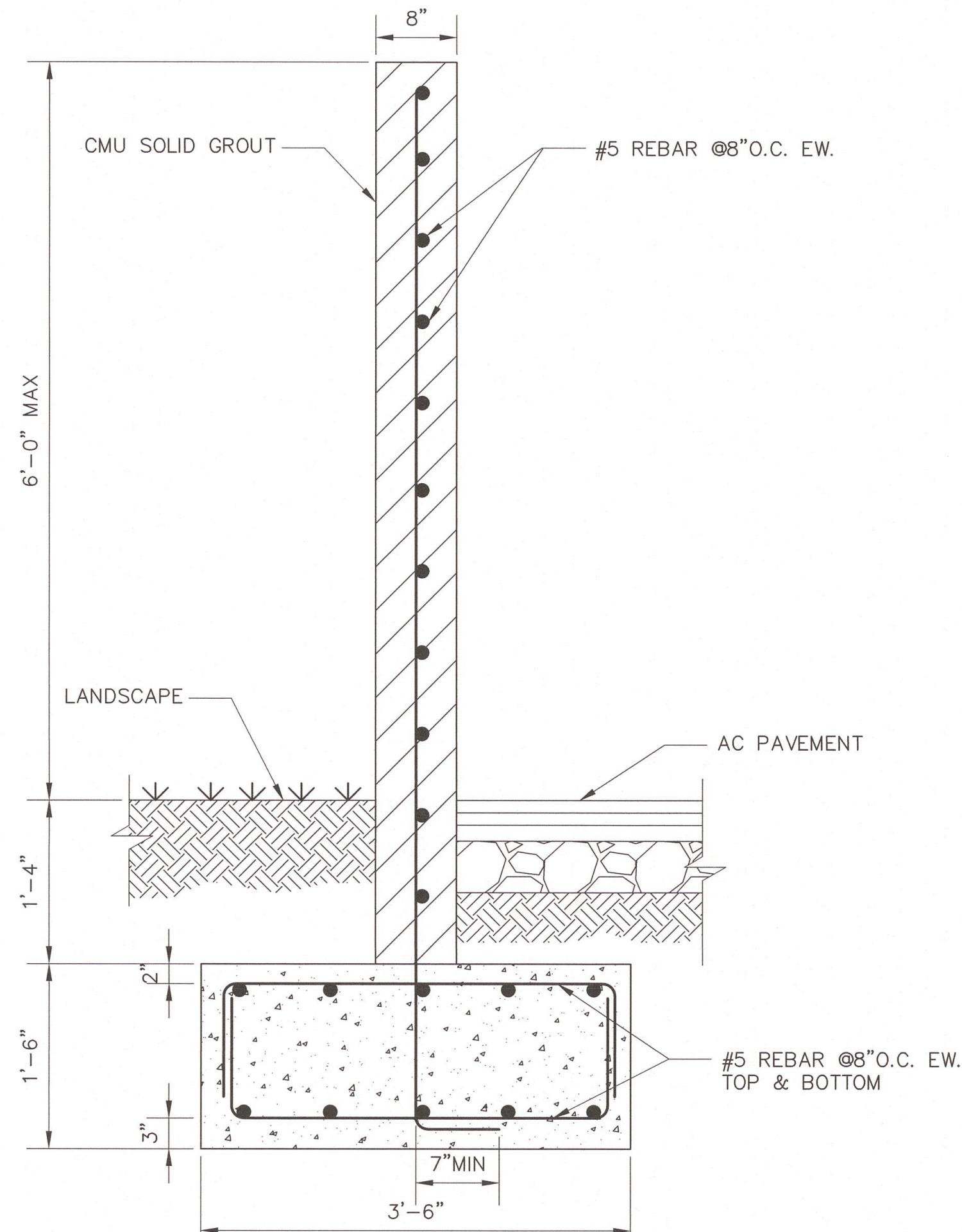


- LEGEND**
1. PAVING FINISH SURFACE.
 2. SAWCUT.
 3. 1/4" R. @ EDGES, TYP.
 4. PREMOULDED E.J. FILLER.
 5. JOINT SEALANT, COLOR TO BE SELECTED BY LANDSCAPE ARCHITECT. SUBMIT COLOR SAMPLES PRIOR TO INSTALLATION.
 6. BACKER ROD.
 7. 18" #4 REBAR W/ 'SPEED DOWEL' @ 36" O.C. CENTER IN CONC. AT COLD JOINTS & E.J.'S.
 8. CONTROL JOINTS 20 O.C. MAX.
 9. CONTRACTOR TO SUBMIT SHOP DRAWINGS OF CONTROL JOINT AND EXPANSION JOINT LAYOUT.

3 JOINT DETAIL
NOT TO SCALE



4 PAVEMENT JOINT DETAIL
NOT TO SCALE



5 8" CMU WALL DETAIL
NOT TO SCALE

tBP
architecture
planning
interiors

ARCHITECT & INTERIORS
STATE OF CALIFORNIA
No. C-36079
Exp. 5/30/18
CIVIL

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architect

REGISTERED PROFESSIONAL ENGINEER
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Exp. 5/30/18
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GLENDALE, CA 91204

owner

tBP project number : _____

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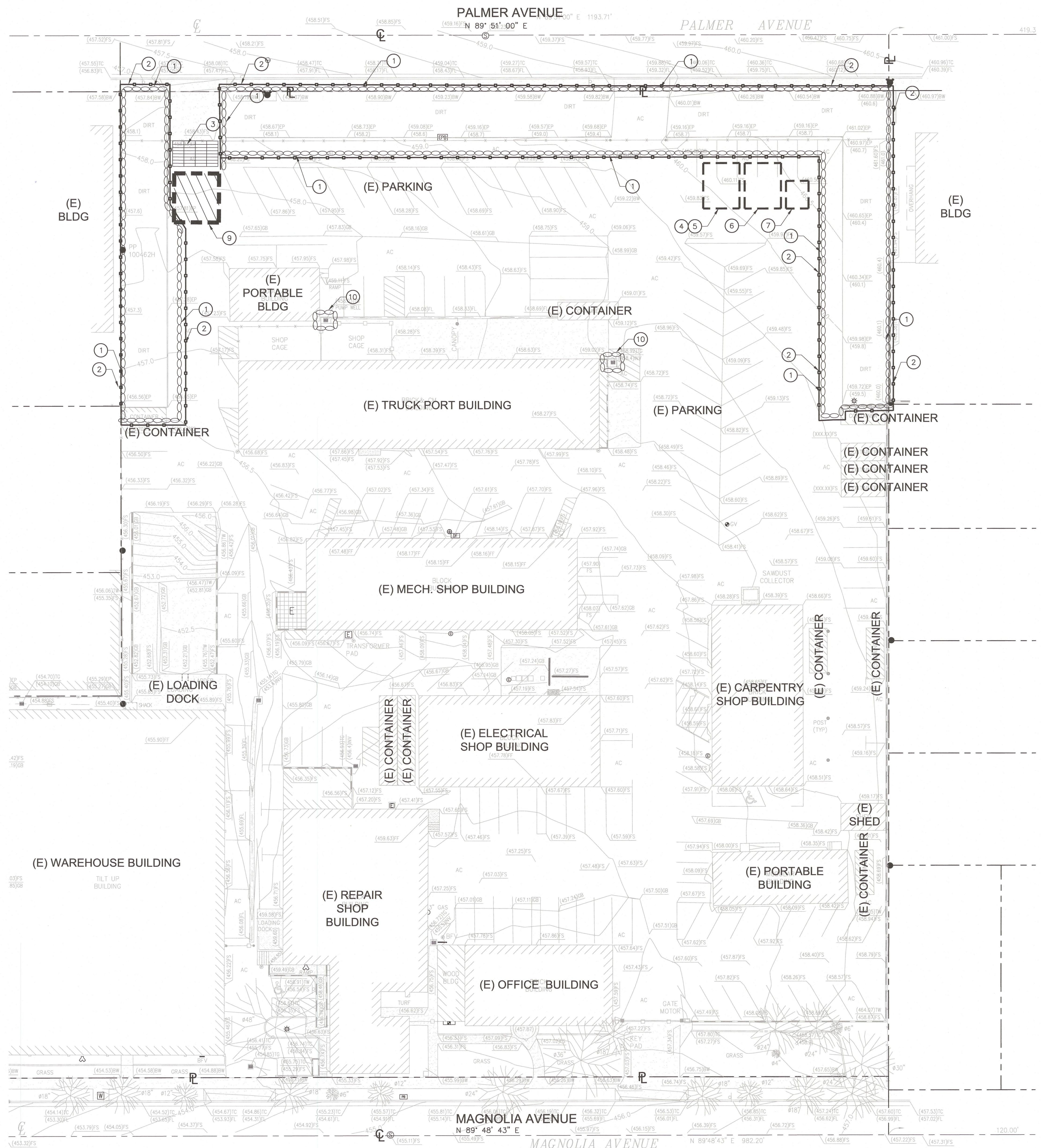
Rev. date: _____ description: _____

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MISCELLANEOUS DETAILS

drawing no.:
C-5.0

drawing of



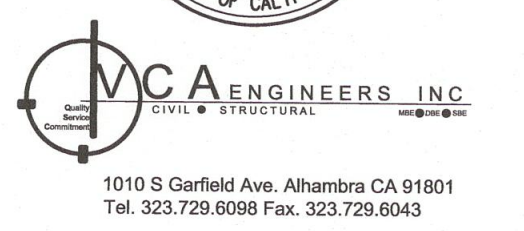
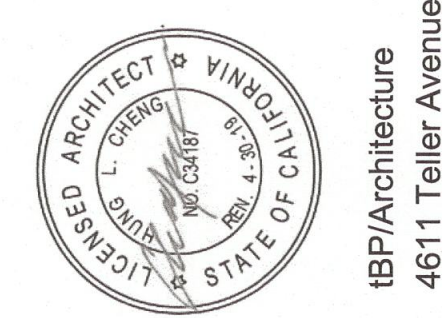
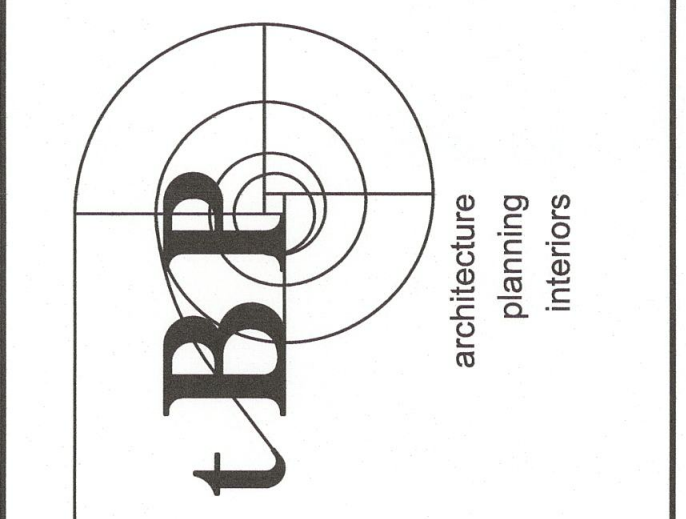
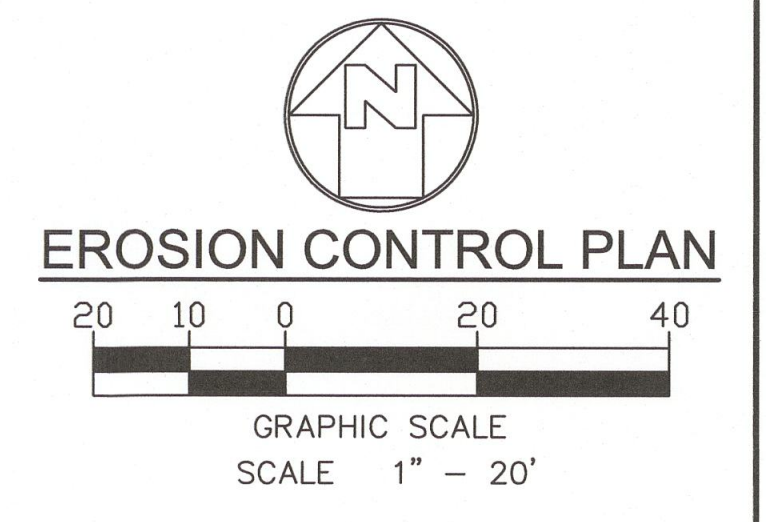
CONSTRUCTION NOTES:

- 1 INSTALL GRAVEL BAGS UNTIL THE COMPLETION OF THE SITE CONSTRUCTION. REFER TO DETAIL 2 ON SHEET C-6.1.
- 2 SILT FENCE PER DETAIL 5 ON SHEET C-6.1.
- 3 STABILIZED CONSTRUCTION ENTRANCE/EXIT PER DETAIL 4 & 11 ON SHEET C-6.1.
- 4 PROPOSED AREA FOR EQUIPMENT STAGING. CONTRACTOR TO VERIFY EXACT LOCATION AND COORDINATE WITH THE CPM.
- 5 PROPOSED AREA FOR FUELING/OILING. CONTRACTOR TO VERIFY ACTUAL AREA NEEDED AND COORDINATE WITH THE CPM. REFER TO DETAIL 9 ON SHEET C-6.1.
- 6 PROPOSED AREA FOR LOADING. CONTRACTOR TO VERIFY EXACT LOCATION AND COORDINATE WITH THE CPM.
- 7 PROPOSED AREA FOR TEMPORARY TOILETS. CONTRACTOR TO VERIFY EXACT LOCATION AND COORDINATE WITH THE CPM.
- 8 PROPOSED AREA FOR VEHICLE AND EQUIPMENT CLEANING. CONTRACTOR TO VERIFY EXACT LOCATION AND COORDINATE WITH THE CPM.
- 9 TIRE WASH PER DETAIL 8 ON SHEET C-6.1.
- 10 CATCH BASIN/INLET PROTECTION PER DETAIL 12 ON SHEET C-6.2.

SHEET NOTES:

1. LOCATION FOR ANY DESIGNATED STOCKPILES SHALL BE COORDINATED AND DETERMINED BY THE CONTRACTOR ON-SITE. CONTRACTOR SHALL APPLY ALL APPLICABLE BMP'S TO PROTECT THE STOCKPILE AS OUTLINED IN DETAIL 7 ON SHEET C-6.1.
2. INSTALL 2" OF TEMPORARY GRAVEL ON ALL ON-SITE CONSTRUCTION ROADWAYS TO STABILIZED AND CONTROL EROSION.
3. CONTRACTOR SHALL MONITOR THE CONSTRUCTION SITE TO CLEAN AND SWEEP MATERIALS TRACKED OFF SITE.
4. SAND BAGS AND SILT FENCES SHALL BE MONITORED AND MAINTAINED.
5. CONTRACTOR SHALL PROTECT ALL EXISTING DRAIN INLETS WITHIN A 500-FT RADIUS FROM THE CENTER OF THE DRAIN TO PREVENT NON-STORMWATER RUNOFF FROM ENTERING THE STORM DRAIN SYSTEM.
6. FOR EROSION CONTROL GENERAL NOTES, AND MISCELLANEOUS REQUIREMENTS, SEE SHEET C-6.1.

[Handwritten signature]



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drawing title:
EROSION CONTROL PLAN

drawing no.:
C-6.0

drawing of

GENERAL NOTES:

- IN CASE OF EMERGENCY, CALL 911.
- A STAND-BY CREW FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON (NOVEMBER 1 TO APRIL 15). NECESSARY MATERIALS SHALL BE AVAILABLE ON-SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF EMERGENCY DEVICES WHEN RAIN IS IMMINENT.
- EROSION CONTROL DEVICES SHOWN ON THIS PLAN MAY BE REMOVED WHEN APPROVED BY THE BUILDING OFFICIAL IF THE GRADING OPERATION HAS PROGRESSED TO THE POINT WHERE THEY ARE NO LONGER REQUIRED.
- GRADED AREAS ADJACENT TO FILL SLOPES LOCATED AT THE SITE PERIMETER MUST DRAIN AWAY FROM THE TOP OF SLOPE AT THE CONCLUSION OF EACH WORKING DAY. ALL LOOSE SOILS AND DEBRIS THAT MAY CREATE A POTENTIAL HAZARD TO OFF-SITE PROPERTY SHALL BE STABILIZED OR REMOVED FROM THE SITE ON A DAILY BASIS.
- ALL SILT AND DEBRIS SHALL BE REMOVED FROM ALL DEVICES WITHIN 24 HOURS AFTER EACH RAINSTORM AND BE DISPOSED OF PROPERLY.
- A GUARD SHALL BE POSTED ON SITE WHEREVER THE DEPTH OF WATER IN ANY DEVICE EXCEEDS TWO FEET. THE DEVICE SHALL BE DRAINED OR PUMPED DRY WITHIN 24 HOURS AFTER EACH RAINSTORM. PUMPING AND DRAINING OF ALL BASINS AND DRAINAGE DEVICES MUST COMPLY WITH THE APPROPRIATE BMP FOR DEWATERING OPERATIONS.
- THE PLACEMENT OF ADDITIONAL DEVICES TO REDUCE EROSION DAMAGE AND CONTAIN POLLUTANTS WITHIN THE SITE IS LEFT TO THE DISCRETION OF THE OSP. ADDITIONAL DEVICES AS NEEDED SHALL BE INSTALLED TO RETAIN SEDIMENTS AND OTHER POLLUTANTS ON SITE.
- DESILTING BASINS MAY NOT BE REMOVED OR MADE INOPERABLE BETWEEN NOVEMBER 1 AND APRIL 15 OF THE FOLLOWING YEAR WITHOUT THE APPROVAL OF THE BUILDING OFFICIAL.
- STORM WATER POLLUTION AND EROSION CONTROL DEVICES ARE TO BE MODIFIED, AS NEEDED, AS THE PROJECT PROGRESSES, THE DESIGN AND PLACEMENT OF THESE DEVICES IS THE RESPONSIBILITY OF THE FIELD ENGINEER. PLANS REPRESENTING CHANGES MUST BE SUBMITTED FOR APPROVAL IF REQUESTED BY THE BUILDING OFFICIAL.
- EVERY EFFORT MUST BE MADE TO ELIMINATE THE DISCHARGE OF NONSTORM WATER FROM THE PROJECT SITE AT ALL TIMES.
- ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON-SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES, OR WIND.
- STOCKPILES OF EARTH AND OTHER CONSTRUCTION-RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
- FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTINGS AND ARE NOT TO CONTAMINATE THE SOILS AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- EXCESS OR WASTE CONCRETE MAY NOT BE WASTED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON-SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- DEVELOPERS/CONTRACTORS ARE RESPONSIBLE TO INSPECT ALL EROSION CONTROL DEVICES AND BMPs ARE INSTALLED AND FUNCTIONING PROPERLY IF THERE IS A 40% CHANCE OF 0.25 INCHES OR GREATER OF PREDICTED PRECIPITATION, AND AFTER ACTUAL PRECIPITATION. A CONSTRUCTION SITE INSPECTION CHECKLIST AND INSPECTION LOG SHALL BE MAINTAINED AT THE PROJECT SITE AT ALL TIMES AND AVAILABLE FOR REVIEW BY THE BUILDING OFFICIAL (COPIES OF SELF-INSPECTION CHECKLIST AND INSPECTION LOGS ARE AVAILABLE UPON REQUEST). AT HIS/HER EXPENSE THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE A QUALIFIED SWPPP PRACTITIONER FOR THE DURATION OF THE PROJECT.
- TRASH AND CONSTRUCTION-RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
- SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
- ANY SLOPES WITH DISTURBED SOILS OR DENUDED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
- AS THE ENGINEER OF RECORD, I HAVE SELECTED APPROPRIATE BMPs TO EFFECTIVELY MINIMIZE THE NEGATIVE IMPACTS OF THIS PROJECT'S CONSTRUCTION ACTIVITIES ON STORM WATER QUALITY. THE PROJECT OWNER AND CONTRACTOR ARE AWARE THAT THE SELECTED BMPs MUST BE INSTALLED, MONITORED, AND MAINTAINED TO ENSURE THEIR EFFECTIVENESS. THE BMPs NOT SELECTED FOR IMPLEMENTATION ARE REDUNDANT OR DEEMED NOT APPLICABLE TO THE PROPOSED CONSTRUCTION QUALITY."
- THE FOLLOWING BMPs AS OUTLINED IN, BUT NOT LIMITED TO, THE "CALIFORNIA STORMWATER BEST MANAGEMENT PRACTICES HANDBOOK" - JANUARY 2003, OR THE LATEST REVISED EDITION, MAY APPLY DURING THE CONSTRUCTION OF THIS PROJECT (ADDITIONAL MEASURES MAY BE REQUIRED IF DEEMED APPROPRIATE BY THE PROJECT ENGINEER OR THE BUILDING OFFICIAL).

EROSION CONTROL

- EC1 - SCHEDULING
- EC2 - PRESERVATION OF EXISTING VEGETATION
- EC3 - HYDRAULIC MULCH
- EC4 - HYDROSEEDING
- EC5 - SOIL BINDERS
- EC6 - STRAW MULCH
- EC7 - GEOTEXTILES AND MATS
- EC8 - WOOD MULCHING
- EC9 - EARTH DIKES AND DRAINAGE SWALES
- EC10 - VELOCITY DISSIPATION DEVICES
- EC11 - SLOPE DRAINS
- EC12 - STREAMBANK STABILIZATION
- EC13 - POLYACRYLAMIDE

NON-STORMWATER MANAGEMENT

- NS1 - WATER CONSERVATION PRACTICES
- NS2 - DEWATERING OPERATIONS
- NS3 - PAVING AND GRINDING OPERATIONS
- NS4 - TEMPORARY STREAM CROSSING
- NS5 - CLEARWATER DIVERSION
- NS6 - ILLICIT CONNECTION/DISCHARGE
- NS7 - POTABLE WATER/IRRIGATION
- NS8 - VEHICLE AND EQUIPMENT CLEANING
- NS9 - VEHICLE AND EQUIPMENT FUELING
- NS10 - VEHICLE AND EQUIPMENT MAINTENANCE
- NS11 - PILE DRIVING OPERATIONS
- NS12 - CONCRETE CURING
- NS13 - CONCRETE FINISHING
- NS14 - MATERIAL AND EQUIPMENT USE
- NS15 - DEMOLITION ADJACENT TO WATER
- NS16 - TEMPORARY BATCH PLANTS

TEMPORARY SEDIMENT CONTROL

- SE1 - SILT FENCE
- SE2 - SEDIMENT BASIN
- SE3 - SEDIMENT TRAP
- SE4 - CHECK DAM
- SE5 - FIBER ROLLS
- SE6 - GRAVEL BAG BERM
- SE7 - STREET SWEEPING AND VACUUMING
- SE8 - GRAVEL BAG BARRIER
- SE9 - STRAW BALE BARRIER
- SE10 - STORM DRAIN INLET PROTECTION

WASTE MANAGEMENT & MATERIAL POLLUTION CONTROL

- WM1 - MATERIAL DELIVERY AND STORAGE
- WM2 - MATERIAL USE
- WM3 - STOCKPILE MANAGEMENT
- WM4 - SPILL PREVENTION AND CONTROL
- WM5 - SOLID WASTE MANAGEMENT
- WM6 - HAZARDOUS WASTE MANAGEMENT
- WM7 - CONTAMINATION SOIL MANAGEMENT
- WM8 - CONCRETE WASTE MANAGEMENT
- WM9 - SANITARY/SEPTIC WASTE MANAGEMENT
- WM10 - LIQUID WASTE MANAGEMENT

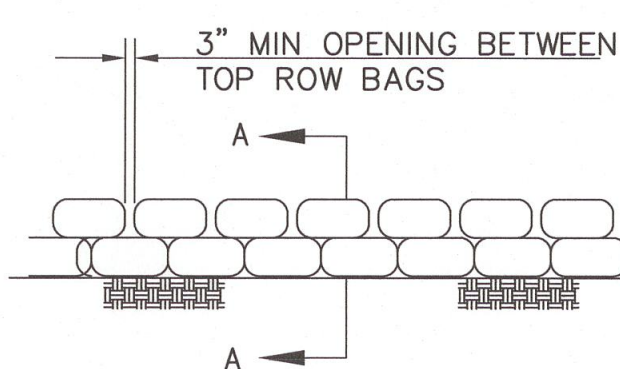
WIND EROSION CONTROL

- WE1 - WIND EROSION CONTROL

EQUIPMENT TRACKING CONTROL

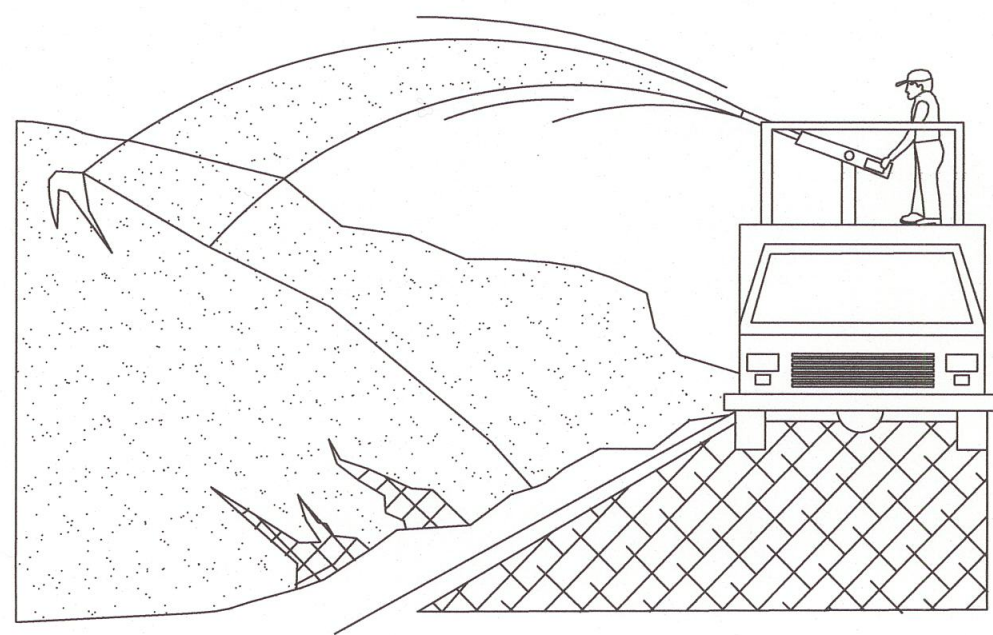
- TC1 - STABILIZED CONSTRUCTION ENTRANCE EXIT
- TC2 - STABILIZED CONSTRUCTION ROADWAY
- TC3 - ENTRANCE/OUTLET TIRE WASH

1 GENERAL NOTES



SECTION B-B

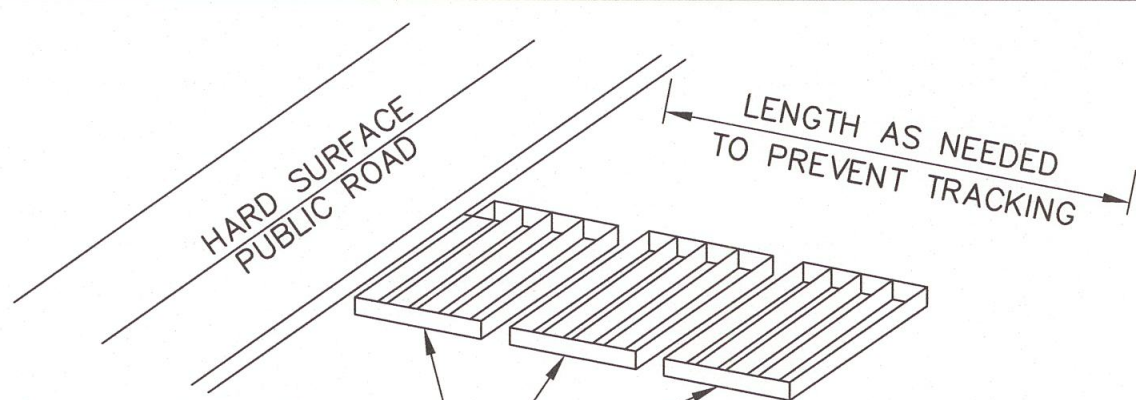
2 GRAVEL BAG DETAIL



NOTES:

- SOIL/SLOPE STABILIZATION PRACTICES SHALL BE DESIGNED TO PRESERVE EXISTING VEGETATION WHERE FEASIBLE AND TO REVEGETATE OPEN AREAS AS SOON AS FEASIBLE AFTER GRADING. THESE CONTROL PRACTICES SHALL INCLUDE TEMPORARY SEEDING, PERMANENT SEEDING, MULCHING, SOD STABILIZATION, VEGETATIVE BUFFER STRIPS, PROTECTION OF TREES, OR OTHER SOIL STABILIZATION PRACTICES.
- SOIL STABILIZATION SHALL BE IMPLEMENTED ON ALL INACTIVE DISTURBED AREAS FROM NOVEMBER 1 THRU APRIL 15 AND ON ALL DISTURBED AREAS DURING A RAIN EVENT OR POTENTIAL RAIN.
- STABILIZATION PRACTICES SHALL CONTROL/PREVENT EROSION FROM THE FORCES OF WIND AND WATER.
- STABILIZATION PRACTICES SHALL BE IMPLEMENTED IN CONJUNCTION WITH SEDIMENT TRAPPING/FILTERING PRACTICES AND PRACTICES TO REDUCE THE TRACKING OF SEDIMENT ONTO PAVED ROADS.
- WHEN USING STRAW MULCHING, THE MINIMUM APPLICATION SHALL BE 2 TONS/ACRE. MULCH MUST BE ANCHORED IMMEDIATELY TO MINIMIZE LOSS BY WIND OR WATER.
- WHEN USING HYDROSEEDING/MULCHING, THE MINIMUM APPLICATION OF WOOD FIBER SHALL BE 1,500 LBS/ACRE, THAT DOES NOT CONTAIN MORE THAN 50 PERCENT NEWSPRINT.
- FOR SEEDING RECOMMENDATIONS, USDA, NATURAL RESOURCES CONSERVATION SERVICE.

3 EROSION CONTROL



A SERIES OF STEEL PLATES (3 OR MORE) WITH RUMBLE STRIPS SHALL BE INSTALLED ON EXISTING ASPHALT OR CONCRETE PAVEMENT

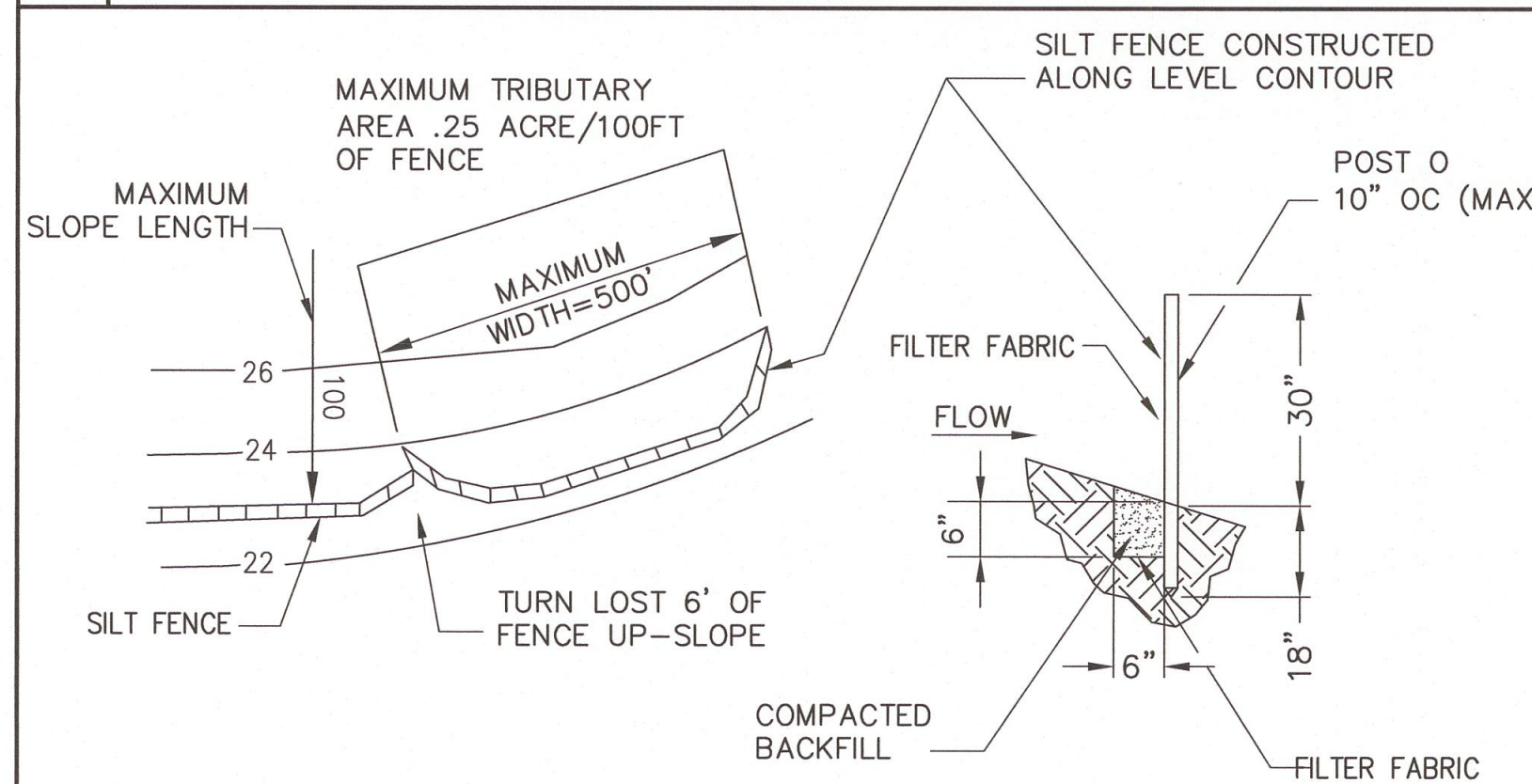
NOTES:

- SEDIMENTS AND OTHER MATERIALS SHALL NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS SHALL BE STABILIZED SO AS TO PREVENT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC ROADS. DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS INTO THE STORM DRAIN SYSTEM.
- STABILIZED CONSTRUCTION ENTRANCE SHALL BE:
 - A. LOCATED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE RD OR FROM A PUBLIC RIGHT OF WAY, STREET, ALLEY, AND SIDEWALK OR PARKING AREA.
 - B. A SERIES OF STEEL PLATES WITH "RUMBLE STRIPS", AND/OR MIN 4" COARSE AGGREGATE WITH LENGTH, WIDTH & THICKNESS AS NEEDED TO ADEQUATELY PREVENT ANY TRACKING ONTO PAVED SURFACES.
- ADDING A WASH RACK WITH A SEDIMENT TRAP LARGE ENOUGH TO COLLECT ALL WASH WATER CAN GREATLY IMPROVE EFFICIENCY.
- ALL VEHICLES ACCESSING THE CONSTRUCTION SITE SHALL UTILIZE THE STABILIZED CONSTRUCTION ENTRANCE SITES.

STREET MAINTENANCE

- REMOVE ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS IMMEDIATELY.
- SWEEP PAVED AREAS THAT RECEIVE CONSTRUCTION TRAFFIC WHENEVER SEDIMENT BECOMES VISIBLE.
- PAVEMENT WASHING WITH WATER IS PROHIBITED IF IT RESULTS IN A DISCHARGE TO THE STORM DRAIN SYSTEM.

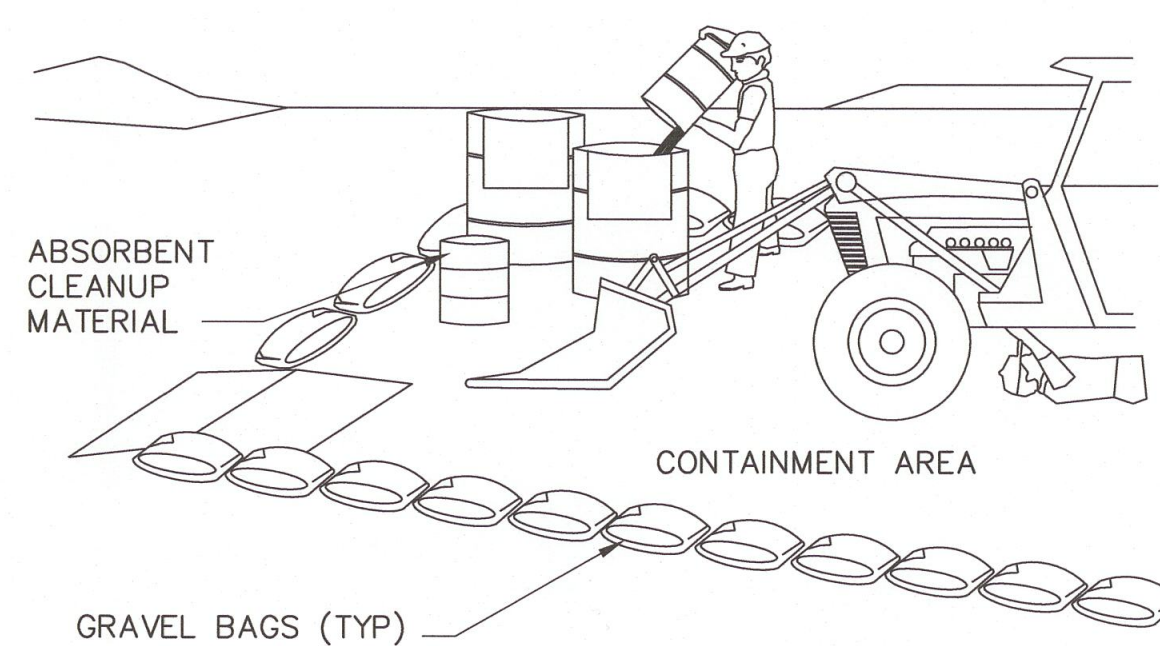
4 STABILIZED CONSTRUCTION ENTRANCE / EXIT



NOTES:

- CONSTRUCT THE SILT FENCE ALONG A LEVEL CONTOUR.
- SILT FENCES SHALL REMAIN IN PLACE UNTIL THE DISTURBED AREA IS PERMANENTLY STABILIZED.
- PROVIDE SUFFICIENT ROOM FOR RUNOFF TO POND BEHIND THE FENCE AND ALLOW SEDIMENT REMOVAL EQUIPMENT TO PASS BETWEEN THE SILT FENCE AND TOE OF SLOPE OR OTHER OBSTRUCTIONS. ABOUT 1200 SQ. FT. OF PONDING AREA SHALL BE PROVIDED FOR EVERY ACRE DRAINING TO THE FENCE.
- TURN THE ENDS OF THE FILTER FENCE UPHILL TO PREVENT STORMWATER FROM FLOWING AROUND THE FENCE.
- LEAVE AN UNDISTURBED OR STABILIZED AREA IMMEDIATELY DOWNSLOPE FROM THE FENCE.
- DO NOT PLACE IN LIVE STREAM OR INTERMITTENTLY FLOWING CHANNELS.
- WHEN STANDARD FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY-DUTY WIRE STAPLES AT LEAST 1 INCH LONG. TIE WIRES OR HOG RINGS.

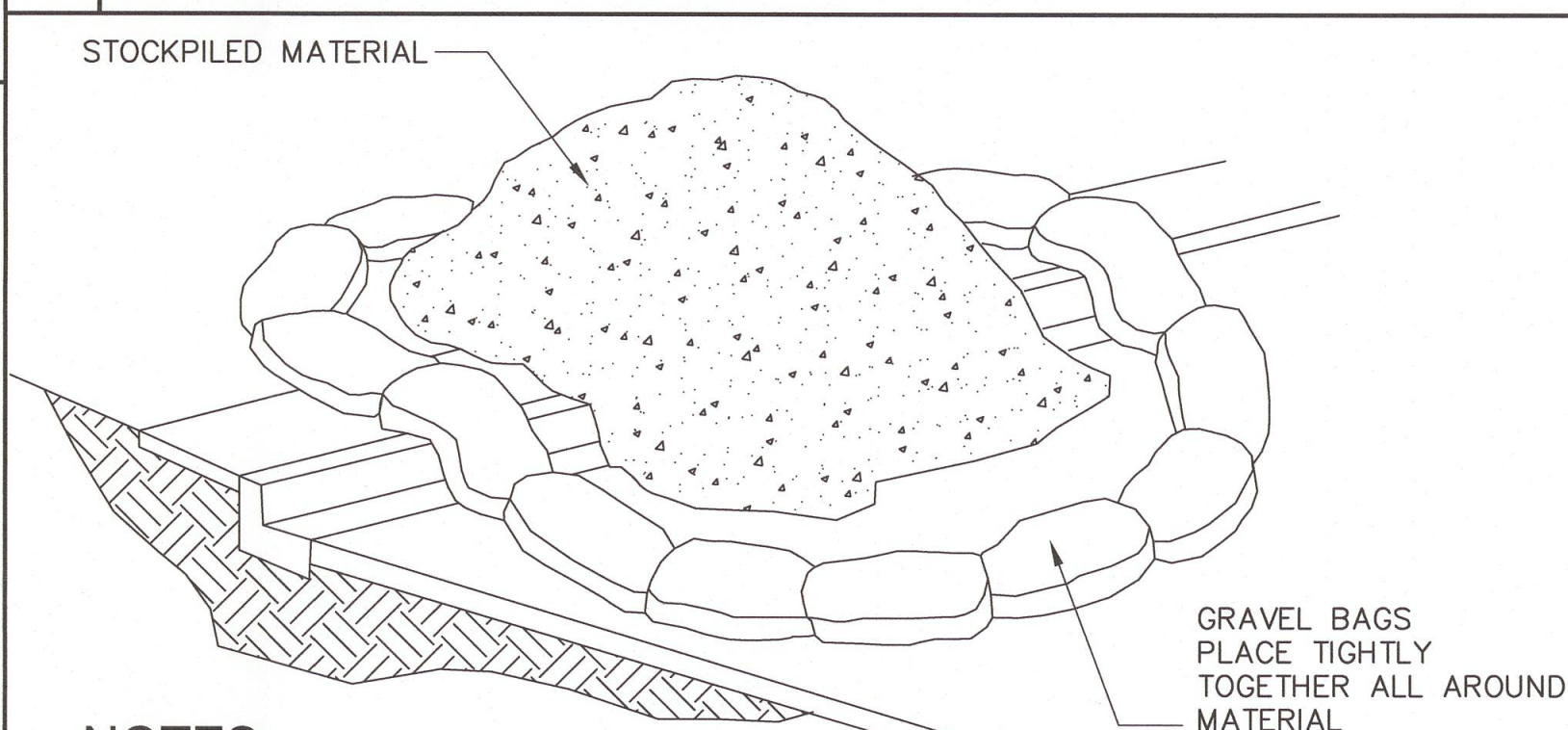
5 SILT FENCE



NOTES:

- LEAKING VEHICLES AND EQUIPMENT SHALL NOT BE ALLOWED ON-SITE. EQUIPMENT AND VEHICLES SHALL BE INSPECTED FREQUENTLY FOR LEAKS AND SHALL BE REPAIRED IMMEDIATELY. CLEAN UP SPILLS AND LEAKS PROMPTLY WITH ABSORBENT; DO NOT FLUSH WITH WATER.
- VEHICLES AND EQUIPMENT SHALL BE MAINTAINED AND REPAIRED ON-SITE ONLY IN DESIGNATED AREAS. PREVENT RUN-ON AND RUN-OFF FROM DESIGNATED AREAS. CONTAINMENT DEVICES SHALL BE PROVIDED AND AREAS SHALL BE COVERED IF NECESSARY.
- DESIGNATE ON-SITE VEHICLE AND EQUIPMENT MAINTENANCE AREAS, WAY FROM STORM DRAIN INLETS AND WATERCOURSES.
- ALWAYS USE SECONDARY CONTAINMENT, SUCH AS A DRAIN PAN OR DROP CLOTH, TO CATCH SPILLS AND LEAKS WHEN REMOVING OR CHANGING FLUIDS.
- LEGALLY DISPOSE OF USED OILS, FLUIDS, AND LUBRICANTS.
- PROVIDE SPILL CONTAINMENT DIKES OR SECONDARY CONTAINMENT AROUND STORED OIL, FUEL AND CHEMICAL DRUMS.
- MAINTAIN ON ADEQUATE SUPPLY OF ABSORBENT SPILL CLEANUP MATERIALS IN DESIGNATED AREA.

6 EQUIPMENT REPAIR/MAINTENANCE

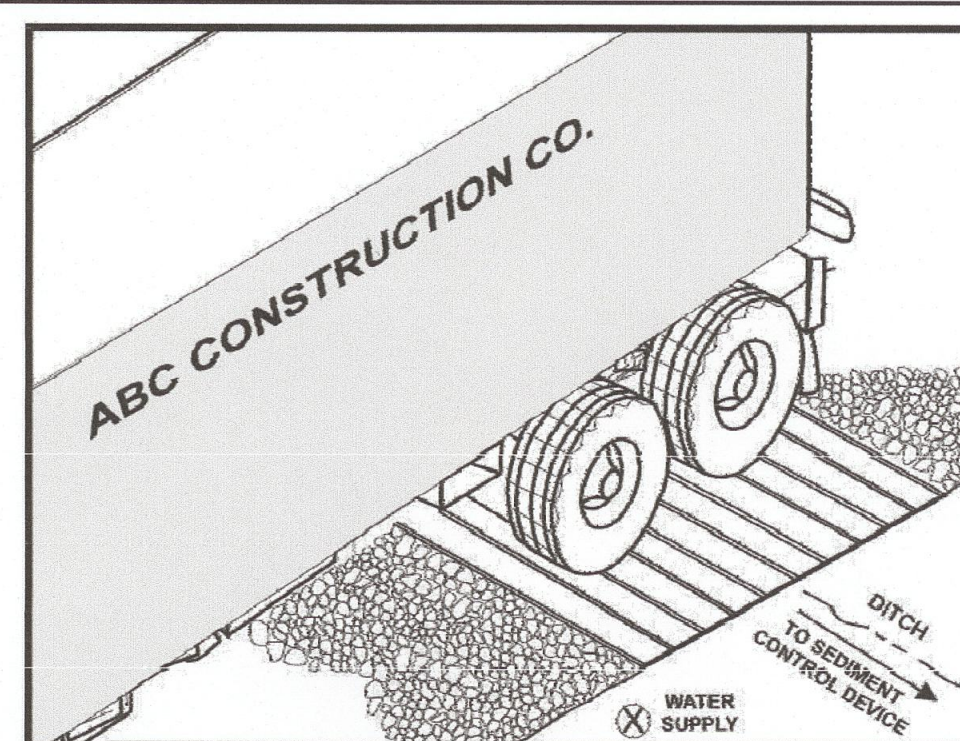


NOTES:

- DIRT AND OTHER CONSTRUCTION RELATED MATERIALS PLACED IN THE STREET OR ON OTHER IMPERVIOUS SURFACES MUST BE CONTAINED WITH SANDBAGS OR OTHER MEASURES TO PREVENT TRANSPORT TO THE STORMDRAIN SYSTEM.
- ANY CONSTRUCTION MATERIAL STORED OR STOCKPILED ON-SITE SHALL BE PROTECTED FROM BEING TRANSPORTED BY THE FORCE OF WIND OR WATER.

7 MATERIAL STORAGE

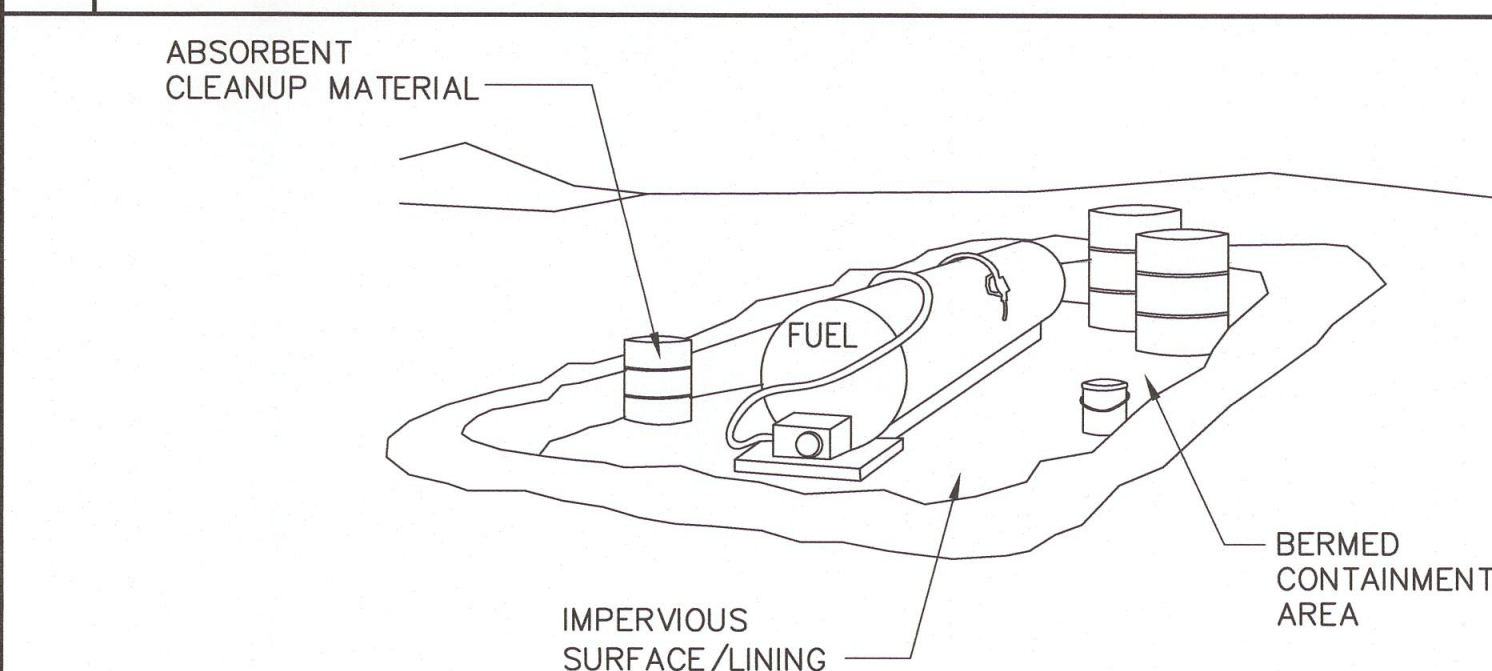
NOT TO SCALE



NOTES:

- THE TIRE WASH REQUIRES A SUPPLY OF WASH WATER.
- A TURNOUT OR DOUBLEWIDE EXIT IS REQUIRED TO AVOID HAVING ENTERING VEHICLES DRIVE THROUGH THE WASH AREA.
- DO NOT USE WHERE WET TIRE TRUCKS LEAVING THE SITE LEAVE THE ROAD DANGEROUSLY SLICK.
- INCORPORATE WITH A STABILIZED CONSTRUCTION ENTRANCE/EXIT.
- CONSTRUCT ON LEVEL GROUND WHEN POSSIBLE, ON A PAD OF COARSE AGGREGATE GREATER THAN 3 IN. BUT SMALLER THAN 6 IN. A GEOTEXTILE FABRIC SHOULD BE PLACED BELOW THE AGGREGATE.
- WASH RACK SHOULD BE DESIGNED AND CONSTRUCTED/MANUFACTURED FOR ANTICIPATED TRAFFIC LOADS.

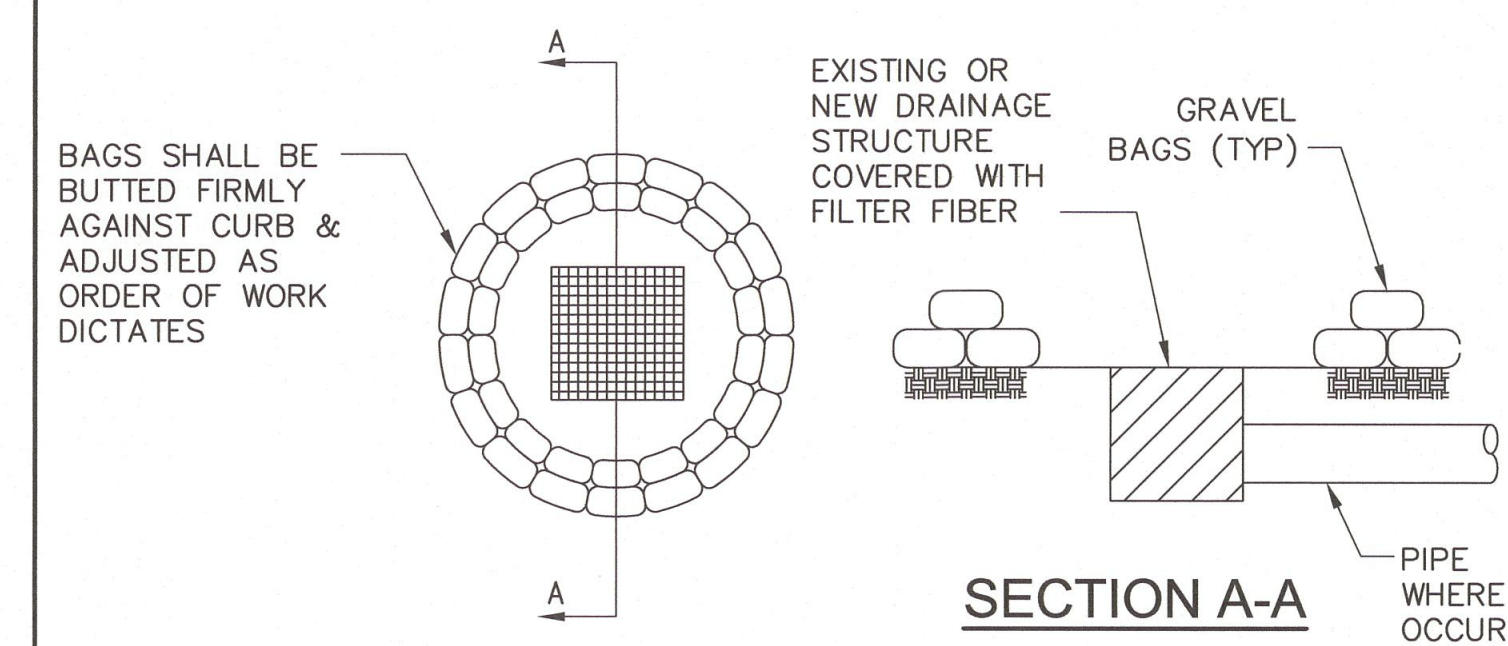
8 ENTRANCE/OUTLET TIRE WASH



NOTE:

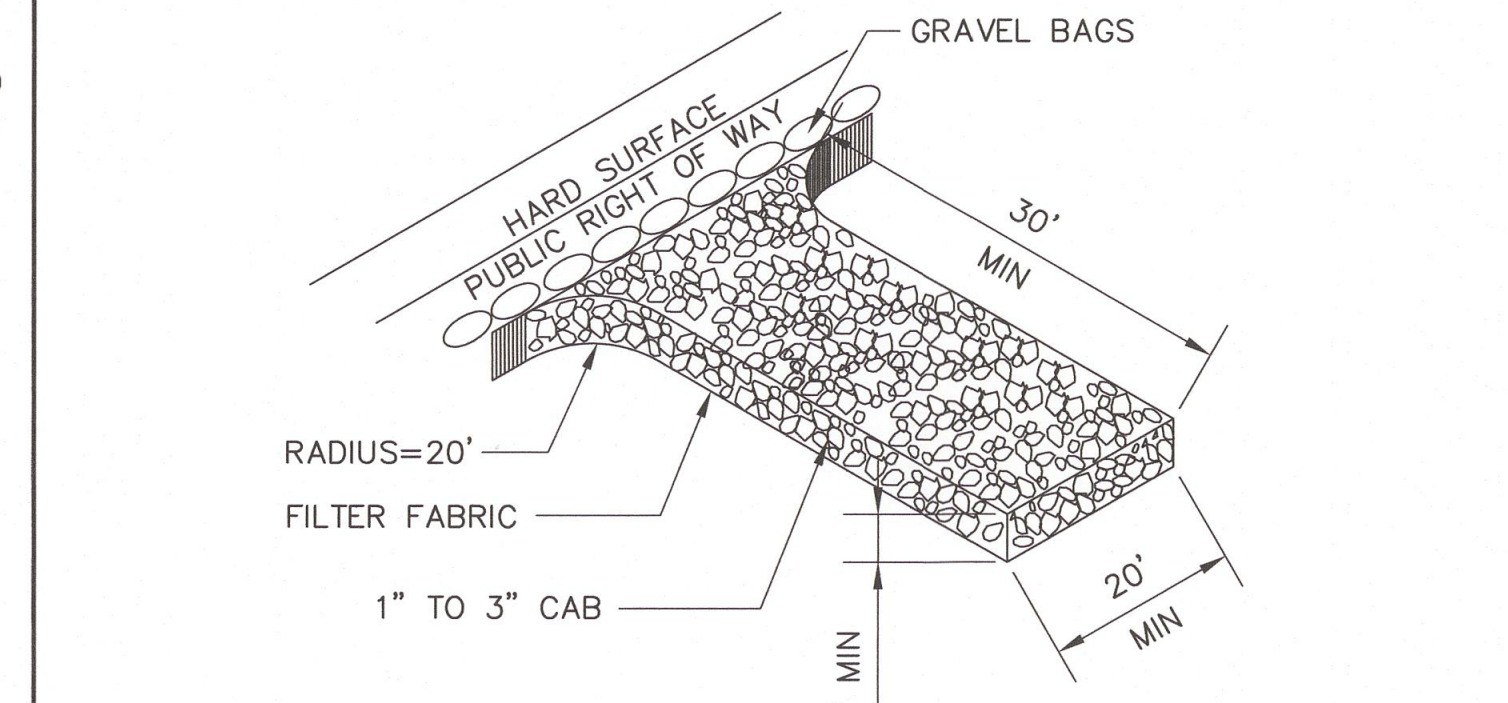
FUELING SHALL BE PERFORMED IN A DESIGNATED AREA, AWAY FROM COURSES. ABSORBENT CLEANUP MATERIAL SHALL BE ON SITE AND USED IMMEDIATELY IN THE EVENT OF A SPILL.

9 VEHICLE / EQUIPMENT FUELING



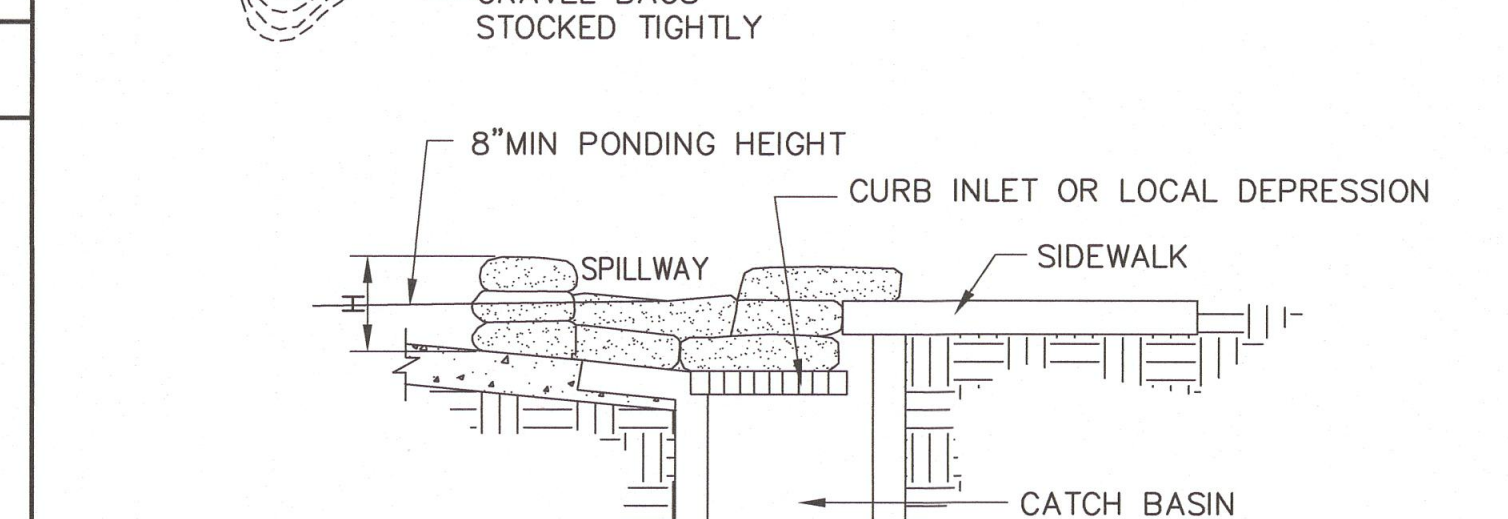
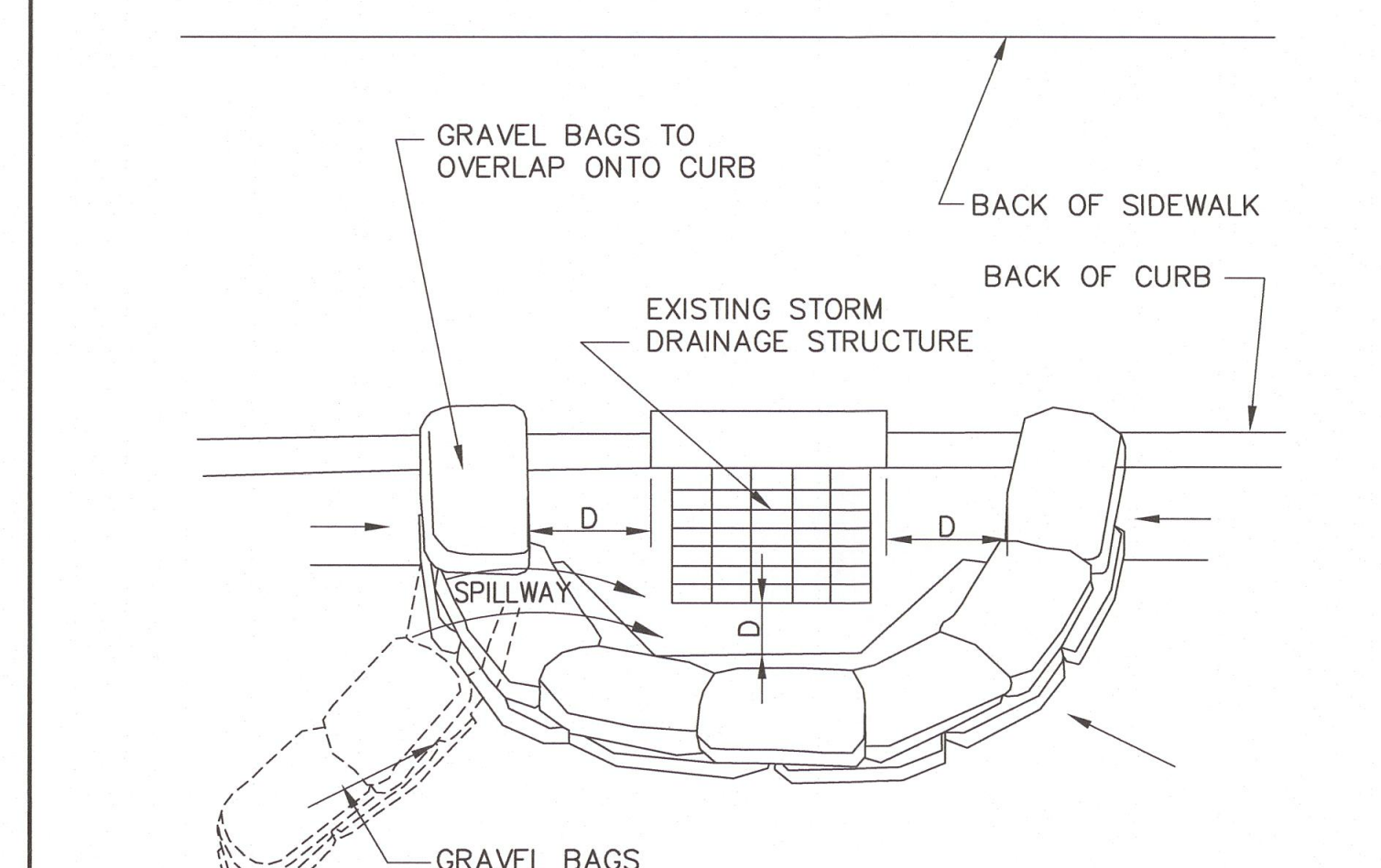
10 GRAVEL BAG CHECKDAM

SCALE: NOT TO SCALE



11 STABILIZED CONSTRUCTION ENTRANCE/EXIT

OPTIONAL BMP



NOTES:

- INLET PROTECTION IS REQUIRED ALONG WITH OTHER POLLUTION PREVENTION MEASURES SUCH AS: EROSION CONTROL, SOIL STABILIZATION, AND MEASURES TO PREVENT TRACKING ONTO PAVED SURFACES.
- MODIFY INLET PROTECTION AS NEEDED TO AVOID CREATING TRAFFIC HAZARDS.
- INCLUDE INLET PROTECTION MEASURES AT HILLSIDE V-DITCHES AND MISCELLANEOUS DRAINAGE SWALES.
- INLET PROTECTION SHALL BE PROTECTED AND ACCUMULATED SEDIMENTS REMOVED. SEDIMENT SHALL BE DISPOSED OF PROPERTY AND IN A MANNER THAT ASSURES THAT THE SEDIMENT DOES NOT ENTER THE STORM DRAIN SYSTEM.
- DAMAGED BAGS SHALL BE REPLACED IMMEDIATELY.
- ADDITIONAL SANDBAG SEDIMENT TRAPS SHALL BE PLACED AT INTERVALS AS INDICATED ON SITE PLANT.

12 CATCH BASIN/INLET PROTECTION

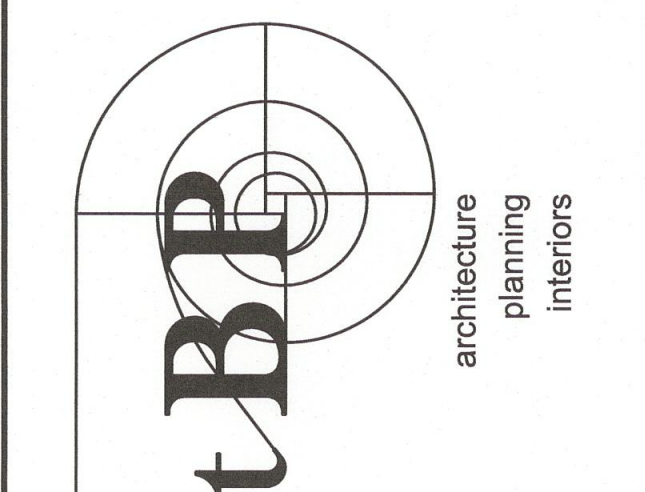
OWNER STATEMENT OF UNDERSTANDING:

AS THE PROJECT OWNER OR AUTHORIZED AGENT OF THE OWNER, I HAVE READ AND UNDERSTAND THE REQUIREMENTS TO CONTROL STORM WATER POLLUTION FROM SEDIMENTS, EROSION, AND CONSTRUCTION MATERIALS, AND I CERTIFY THAT I WILL COMPLY WITH THESE REQUIREMENTS. I, OR MY REPRESENTATIVE, CONTRACTOR, DEVELOPER, OR ENGINEER, WILL MAKE CERTAIN THAT ALL BMP SHOWN ON THIS PLAN WILL BE FULLY IMPLEMENTED, AND ALL EROSION CONTROL DEVICES WILL BE KEPT CLEAN AND FUNCTIONING. PERIODIC INSPECTIONS OF THE BMPs WILL BE CONDUCTED AND A CURRENT LOG, SPECIFYING THE EXACT NATURE OF THE INSPECTION AND ANY REMEDIAL MEASURES, WILL BE KEPT AT THE CONSTRUCTION SITE AT ALL TIMES AND WILL BE AVAILABLE FOR THE REVIEW BY THE BUILDING OFFICIAL.

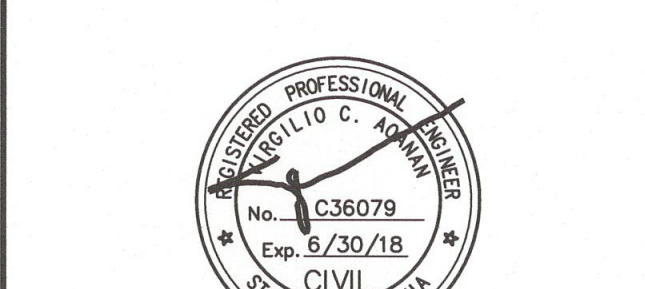
AS THE PROJECT OWNER OR AUTHORIZED AGENT OF THE OWNER, I CERTIFY THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHER AND EVALUATE THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE INFORMATION SUBMITTED IS TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT SUBMITTING FALSE AND/OR INACCURATE INFORMATION, FAILING TO UPDATE THE LOCAL SWPPP TO REFLECT CURRENT CONDITIONS, OR FAILING TO PROPERLY AND/OR ADEQUATELY IMPLEMENT THE LOCAL SWPPP MAY RESULT IN REVOCATION OF GRADING AND/OR OTHER PERMITS OR OTHER SANCTIONS PROVIDED BY THE LAW.

OWNER OR AUTHORIZED REPRESENTATIVE (PERMITEE) _____ DATE _____

13 STATEMENT OF UNDERSTANDING



tBP architecture
planning
interiors



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Tel. 323.729.6068 Fax. 323.729.6043

consultant

GUSD FASO YARD IMPROVEMENTS
GLENDALE UNIFIED SCHOOL DISTRICT
349 MAGNOLIA AVENUE
GLENDALE, CA 91204

owner

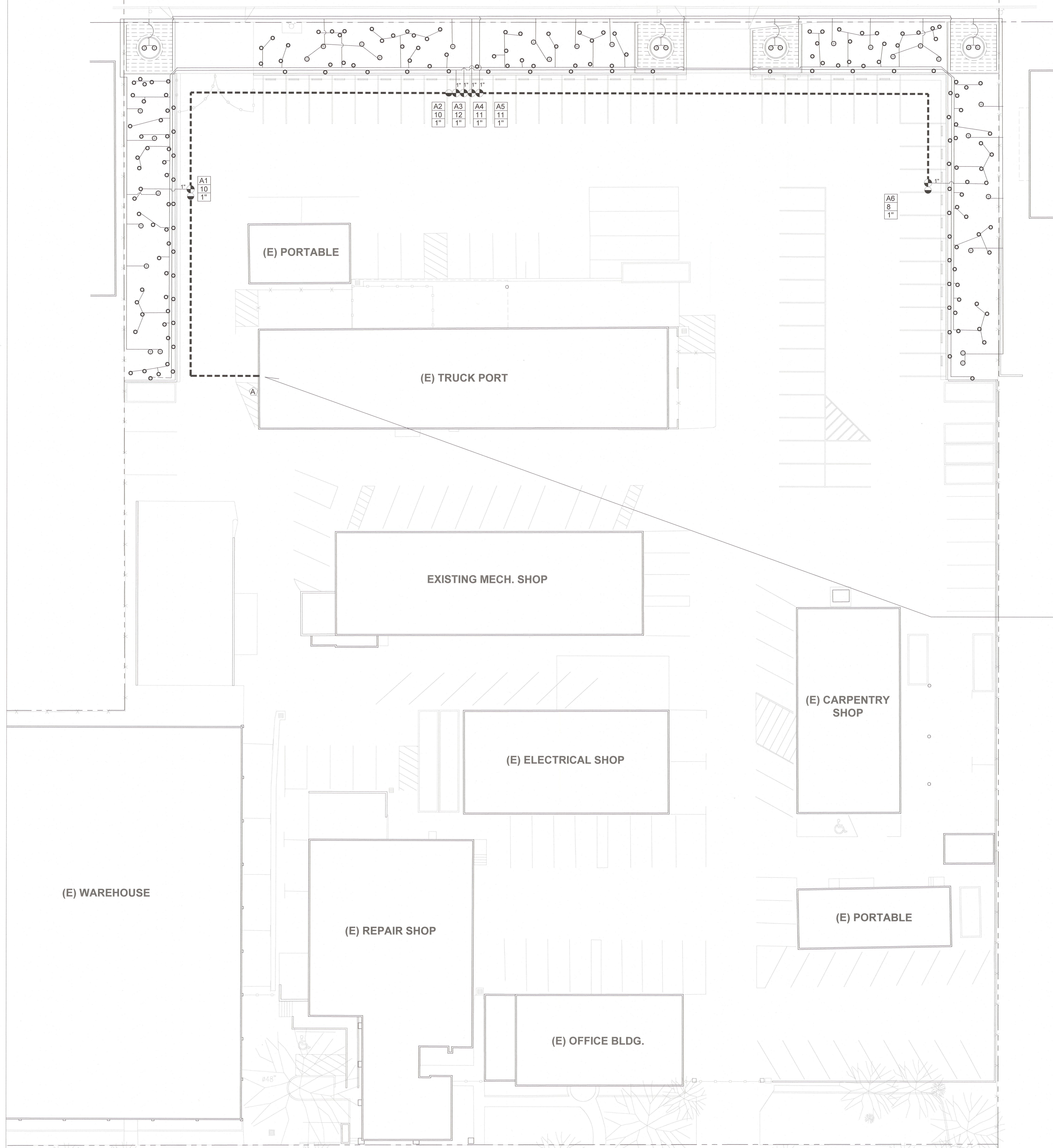
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file name:	
drawn by:	checked by:
date:	
Rev:	date: description:

drawing title:
EROSION CONTROL DETAIL

drawing no.:
C-6.1

drawing of

W PALMER AVE.



IRRIGATION LEGEND

SYM	DESCRIPTION	GPM	PSI	RAD	PR
○	2 RAINBIRD RWS-M-B, OR APPROVED EQUAL. INSTALL 180-DEGREES APART. CAP TO BE FLUSH W/GRADE.	2 @ .25	30	---	---
○	HUNTER-PSU-04-2H	0.12	30	2'	---
○	RAINBIRD XFD-06-12 W/QF-DRIPLINE HEADER. INSTALL TDS-050 AT 24" O.C. CENTERED BETWEEN EMITTER.	0.6 GPH	8-60	---	---
---	SCH 40 3/4" PVC LATERAL PIPE				
---	SCH 40 1" PVC LATERAL PIPE				
---	SCH 40 1-1/4" PVC LATERAL PIPE				
---	SCH 40 1-1/2" PVC LATERAL PIPE				
---	SCH 40 1-1/2" PVC MAINLINE				
⊕	SUPERIOR 950-XXX-PRS REMOTE CONTROL VALVE - SIZE NOTED ON PLAN. INSTALL LINE SIZE SCH. 80 PVC BALL VALVE-SPEARS OR EQUAL, WITH SPEARS SCH. 80 UNION, OR EQUAL, TRU-UNION BALL VALVE.				
+	1-1/2" NIBCO T113-K GATE VALVE				
⊙	RAINBIRD 44-RC				
A	HUNTER ACC-1200-PED.				
MV	SUPERIOR 3100100 NORMALLY OPEN MASTER VALVE				
P	POINT OF CONNECTION CONNECT NEW 1-1/2" PVC MAINLINE WHERE INDICATED ON PLAN. VERIFY EXACT LOCATION WITH GUSD MAINTENANCE PRIOR TO ANY IRRIGATION WORK. INSTALL MASTER VALVE AND FLOW SENSOR IN PLANTER AREA WITH STRAIGHT-RUN PIPE PER FLOW SENSOR MANUFACTURER'S REQUIREMENTS.				

G1 CONTROLLER DESIGNATION
 12 GALLONS PER MINUTE
 1" VALVE SIZE

* SYSTEM TO INCLUDE ONE CST FLOW METER INSTALLED PER MANUFACTURER'S SPECIFICATIONS AT THE LOCATION NOTED ON PLAN. EXTEND COMMUNICATION CABLE IN CONDUIT TO IRRIGATION CONTROLLER-APPROXIMATELY 800-LF.

ADJUST COVERAGE. DO NOT WET PAVED SURFACES.

REPLACE MP ROTATOR SPRINKLERS 12" OFF EDGE OF PAVEMENT-TYP.

ALL IRRIGATION BOXES IN PLAYFIELD TO BE LARGE RECTANGULAR BOXES.

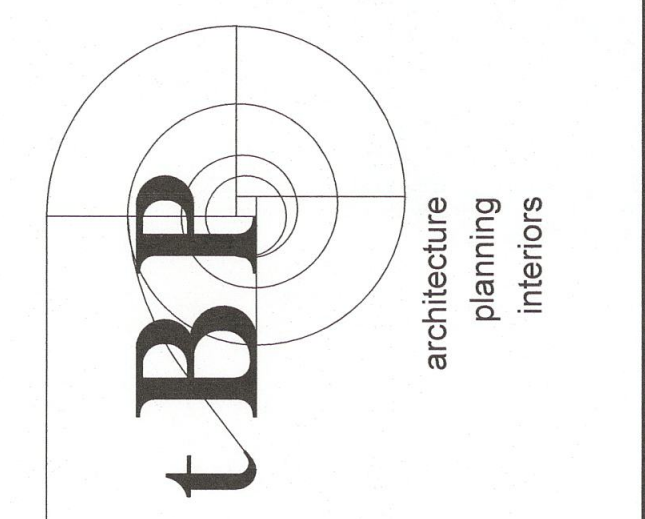
PLACE ALL SPRINKLERS W/2Q NOZZLE AT EDGE OF WATER BASIN. DIRECT WATER INTO BASIN WITH NO OVER-SPRAY.

ROUTE ALL MAINLINE AND LATERAL LINES IN PLANTER AREAS. MAINLINE AND LATERAL LINES ARE SHOWN OUTSIDE OF PLANTERS FOR PLAN CLARITY ONLY.

FURNISH AND INSTALL RAINBIRD XF SERIES TIE-DOWN STAKES (TDS-050) TO HOLD DRIPLINE IN PLACE. STAGGER STAKES EVERY 2- FEET, AT FITTINGS WHERE THERE IS A CHANGE OF DIRECTION SUCH AS TEES OR ELBOWS, USE TIE-DOWN STAKES CLOSE TO THE FITTING ON EACH LEG OF A CHANGE OF DIRECTION.

IRRIGATION POINT OF CONNECTION
 VERIFY POTABLE WATER LOCATION 1.25" OR GREATER.
 PIPE SIZE.
 PRESSURE AT OR NEAR POC.
 BACKFLOW CONDITIONS.

CONTROLLER LOCATION - EXISTING OR NEW?



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architect



landscape architecture
 environmental design
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consultant

**GUSD FASO YARD
 IMPROVEMENTS**

GLENDALE UNIFIED SCHOOL DISTRICT
 349 MAGNOLIA AVENUE
 GLENDALE, CA 91204

owner

IBP project number : 20995.00

file name:

drawn by: checked by:

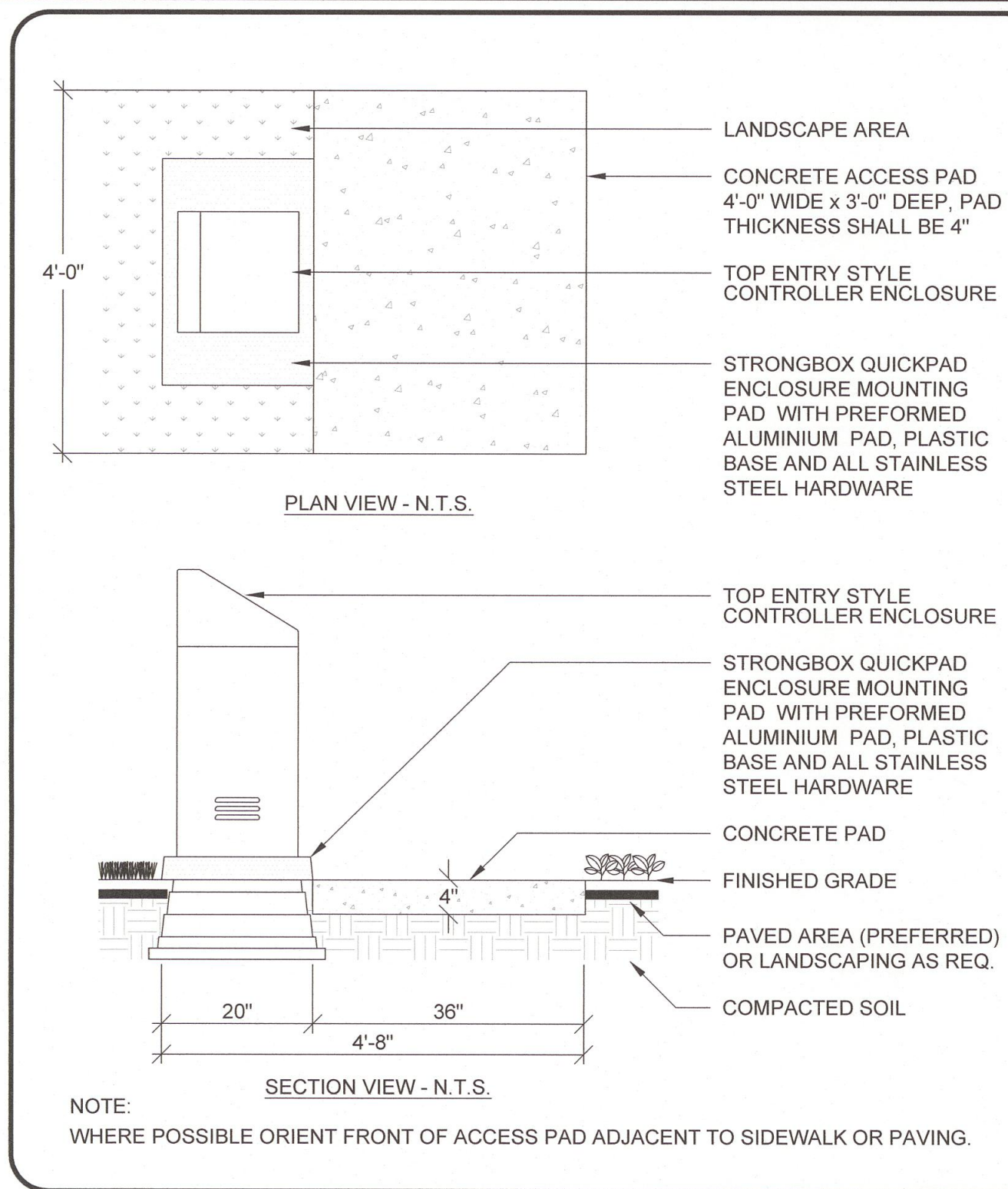
date: June 5, 2018

Rev. date: description:

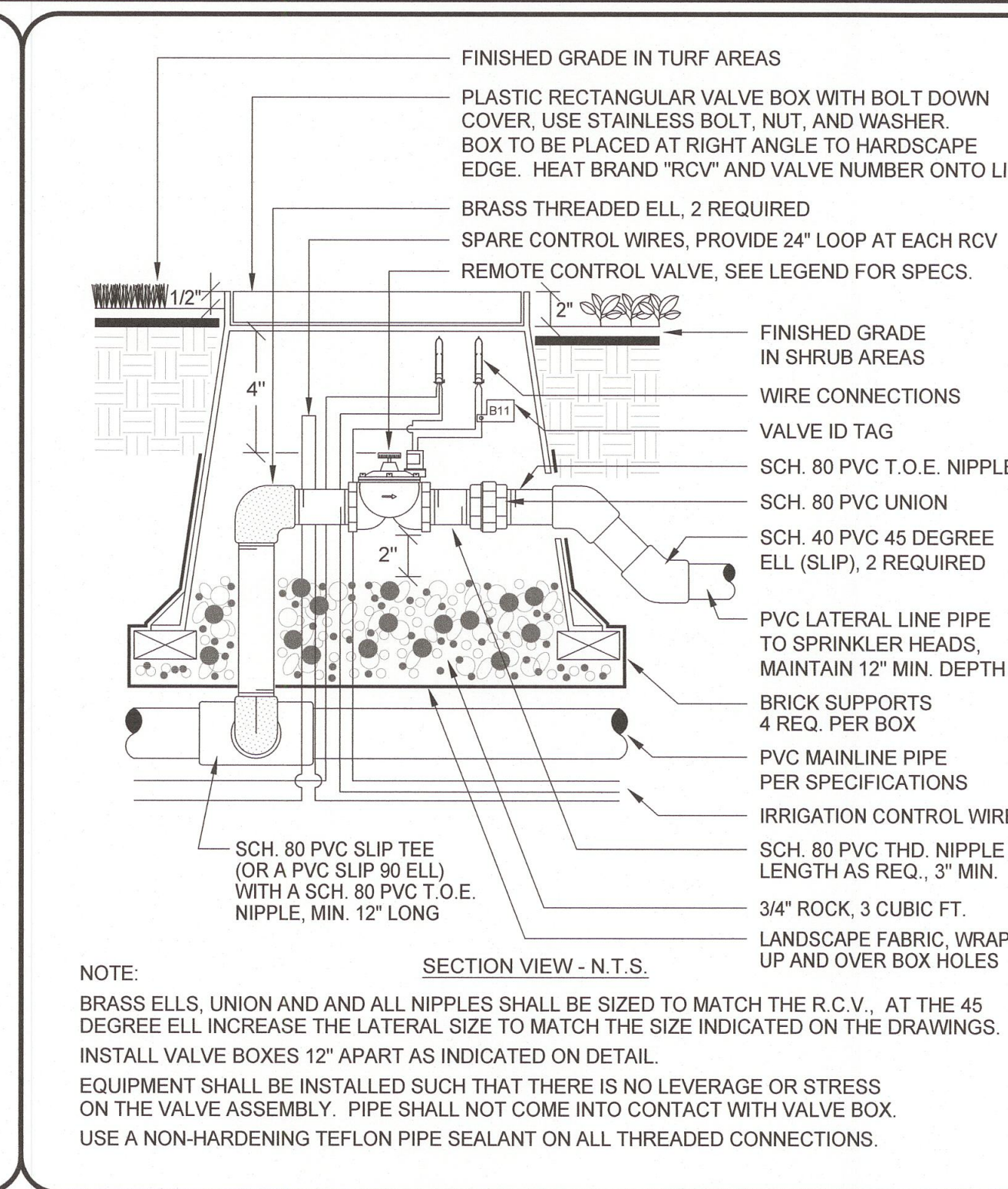
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drawing title:
IRRIGATION PLAN
 05JUNE2018

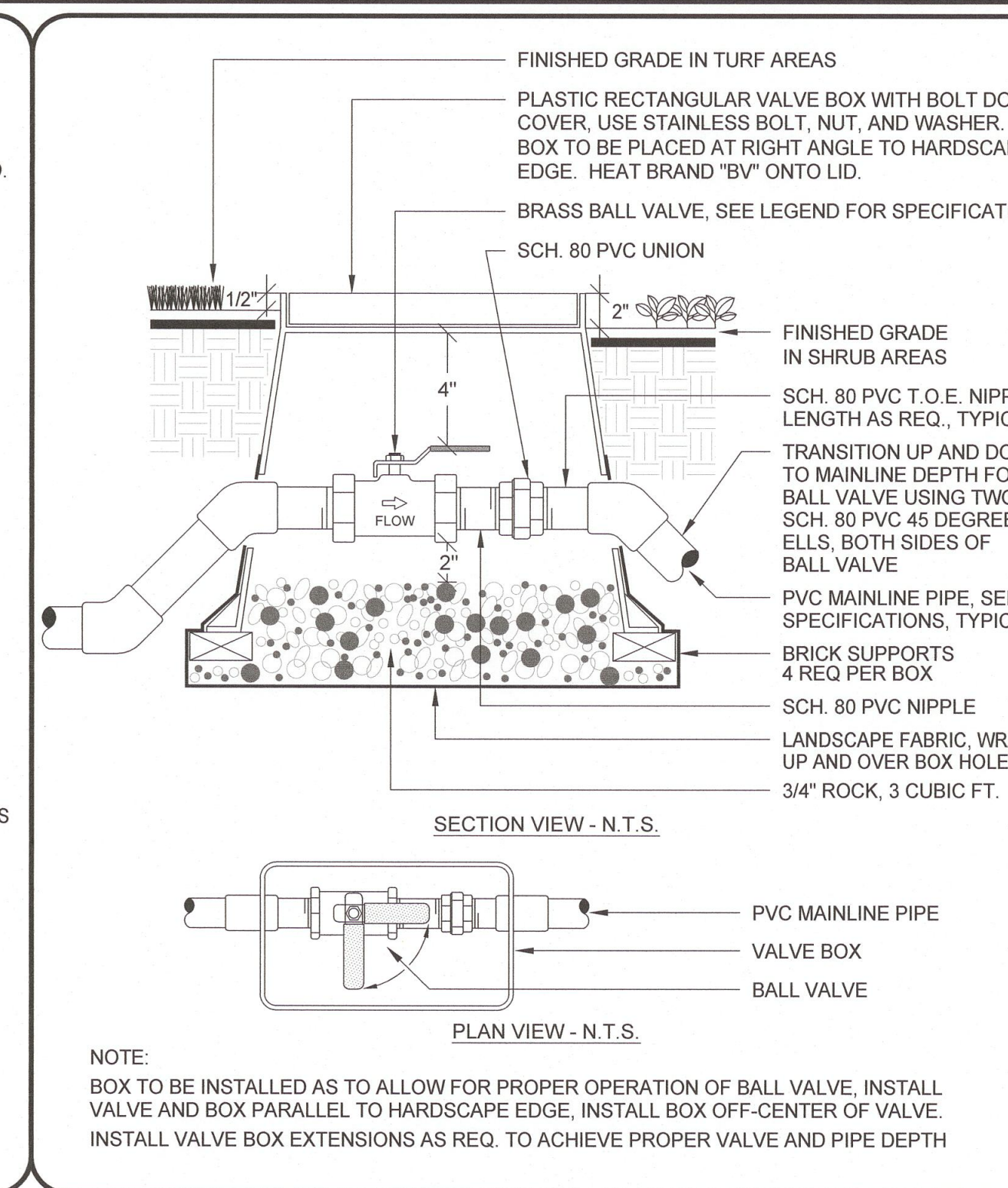
drawing no.:
L1.01
 drawing of



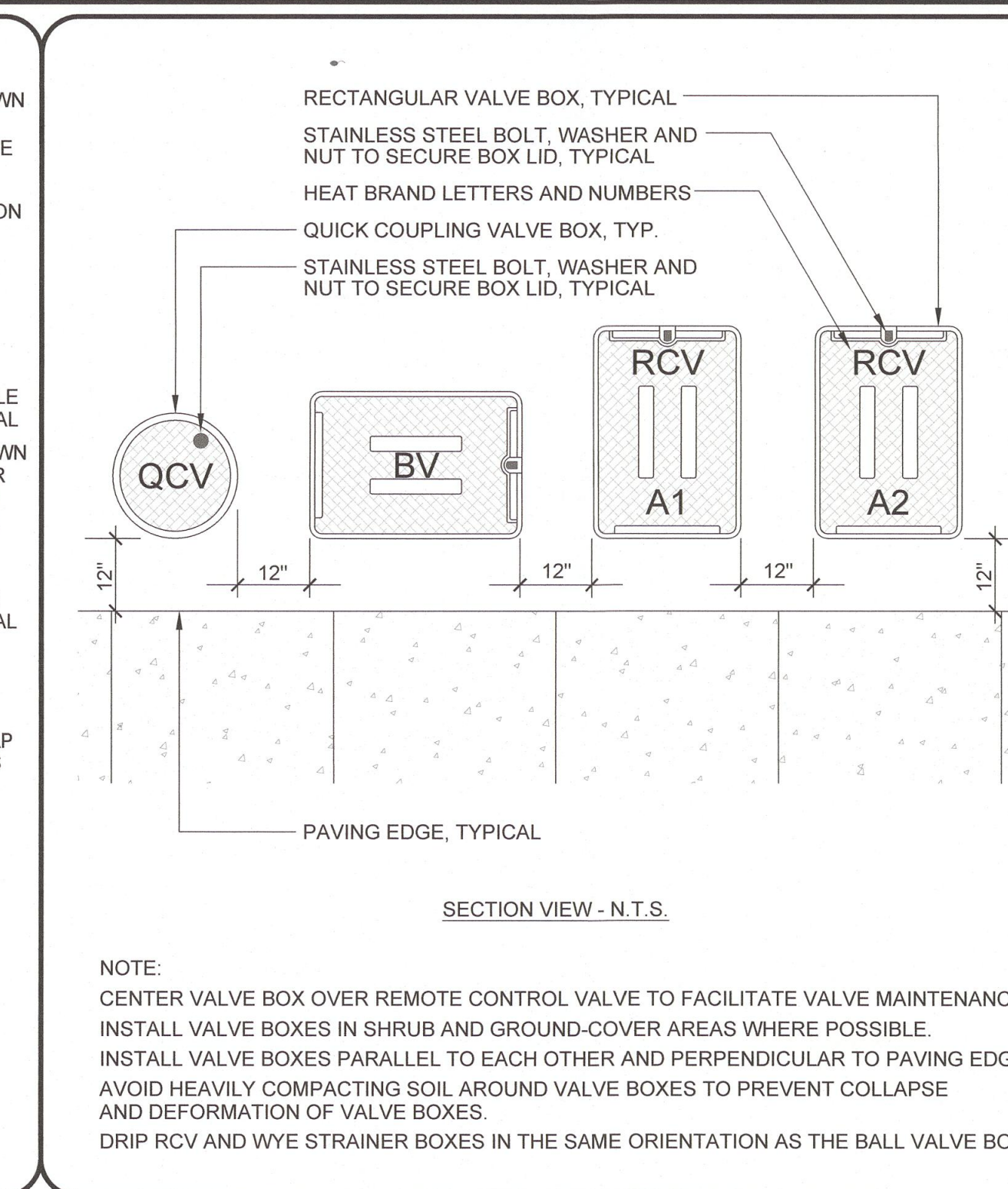
**CONTROLLER ENCLOSURE
CONCRETE FOOTING**



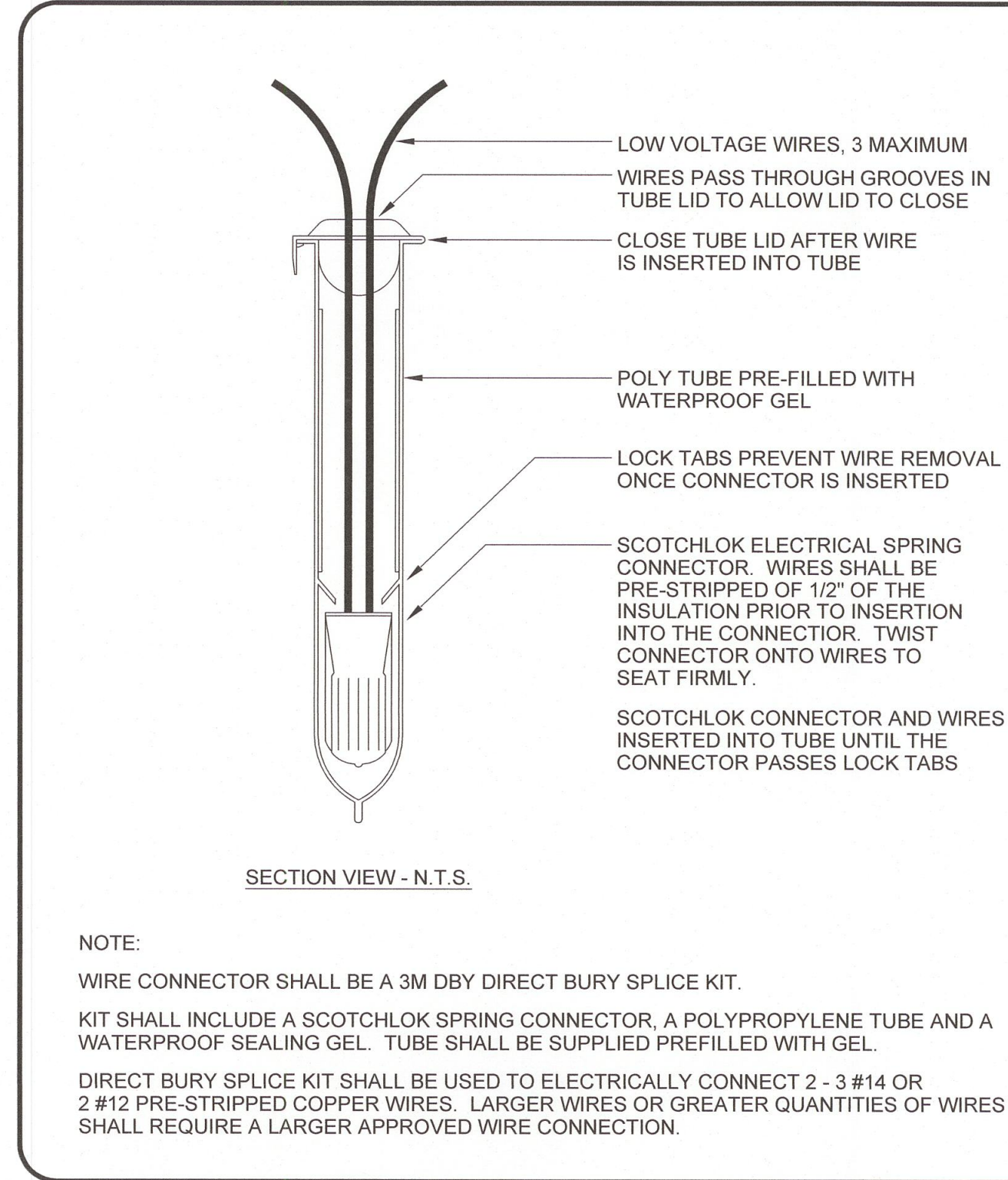
**REMOTE CONTROL
VALVE**



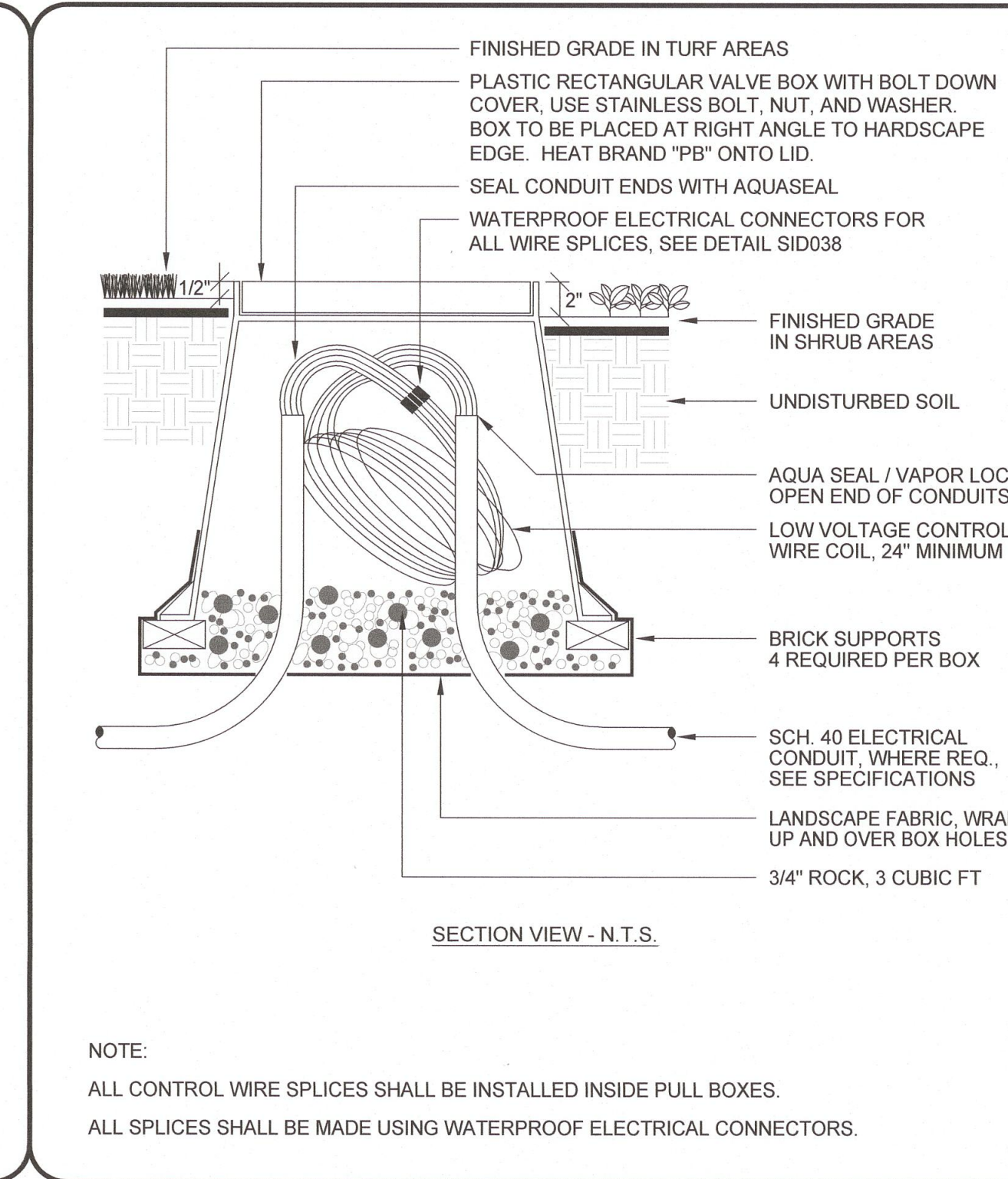
**BALL VALVE
2" AND SMALLER**



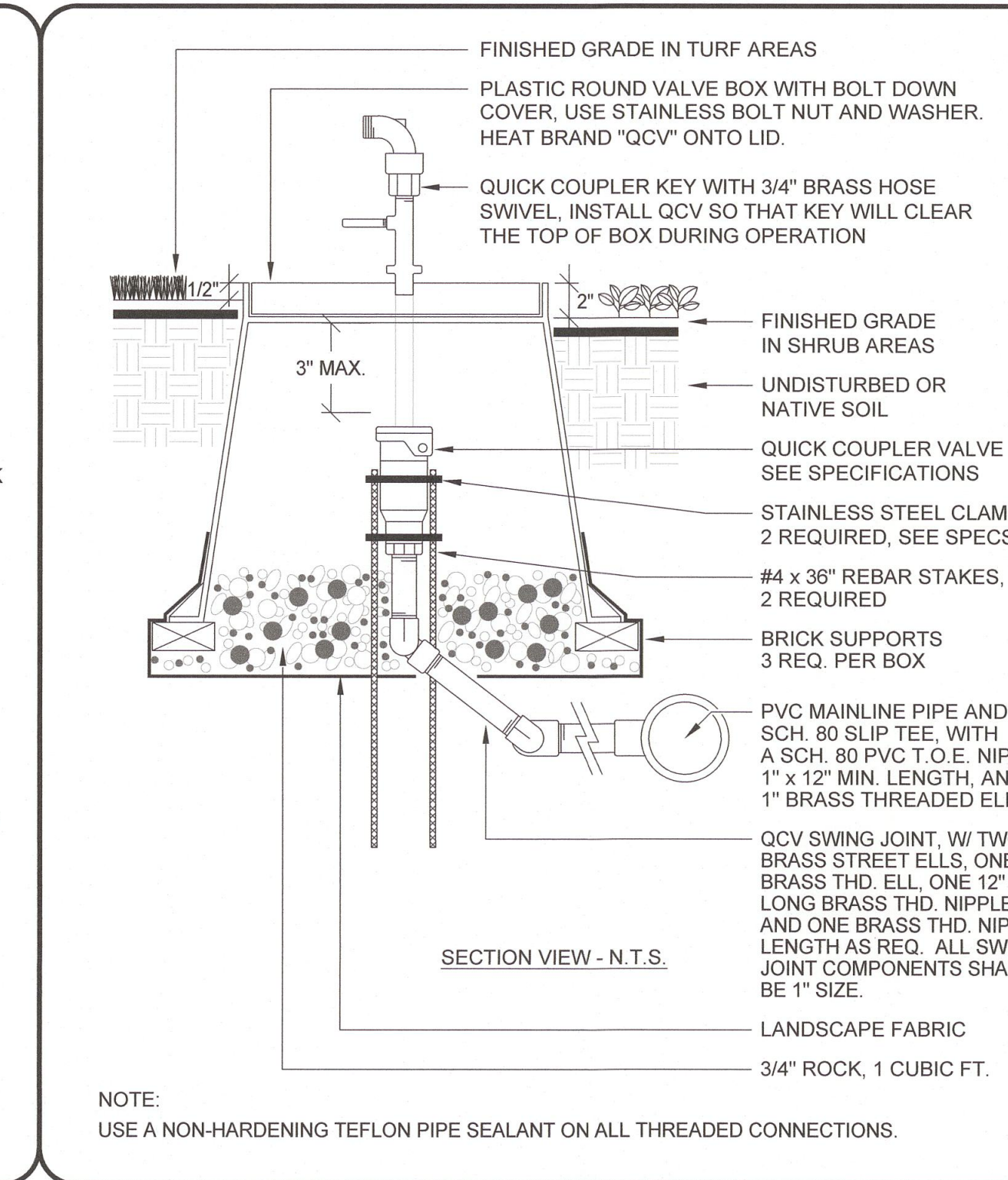
VALVE BOX PLACEMENT



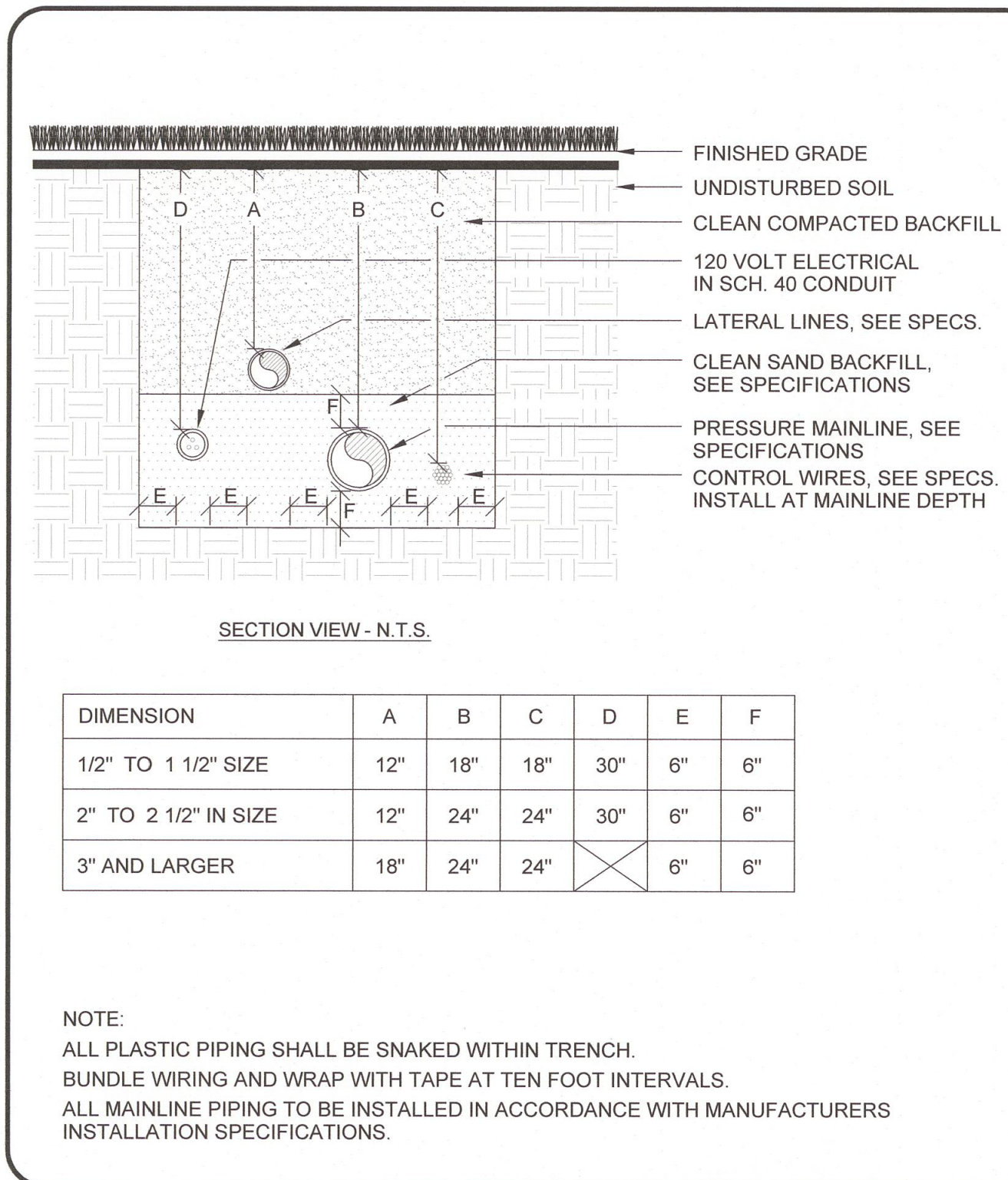
WIRE CONNECTOR



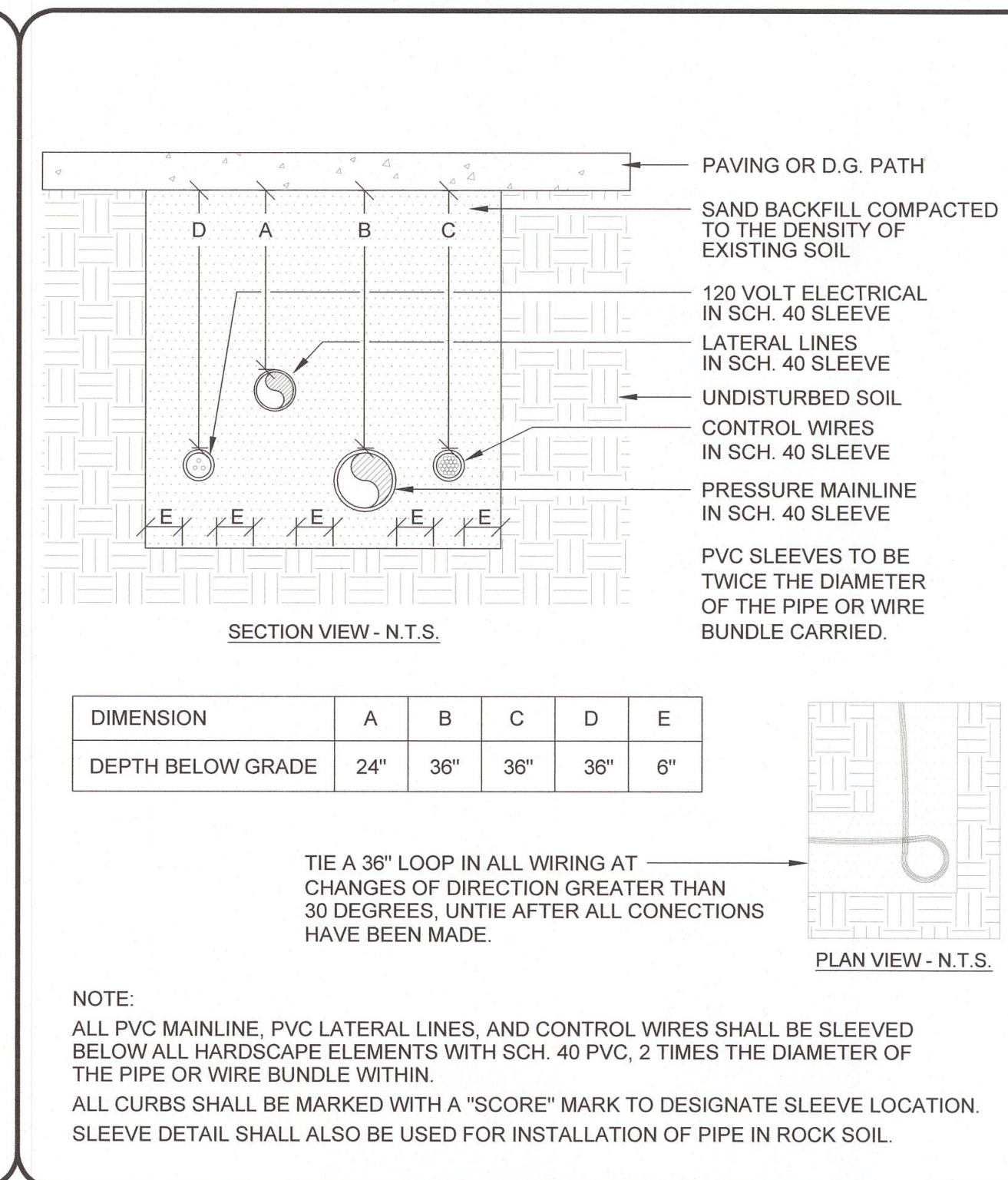
CONTROL WIRE PULL BOX



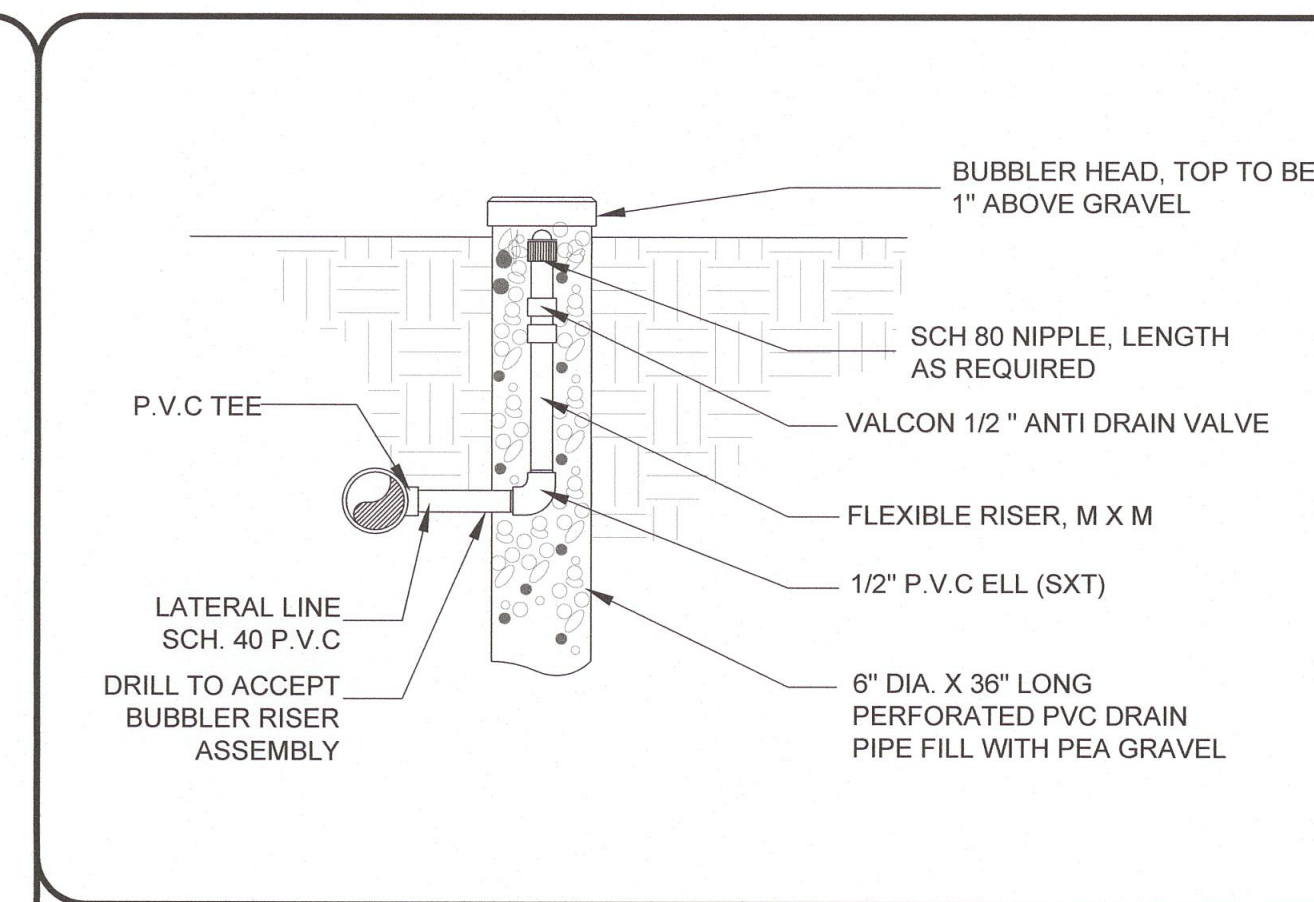
**QUICK COUPLER VALVE
IN VALVE BOX**



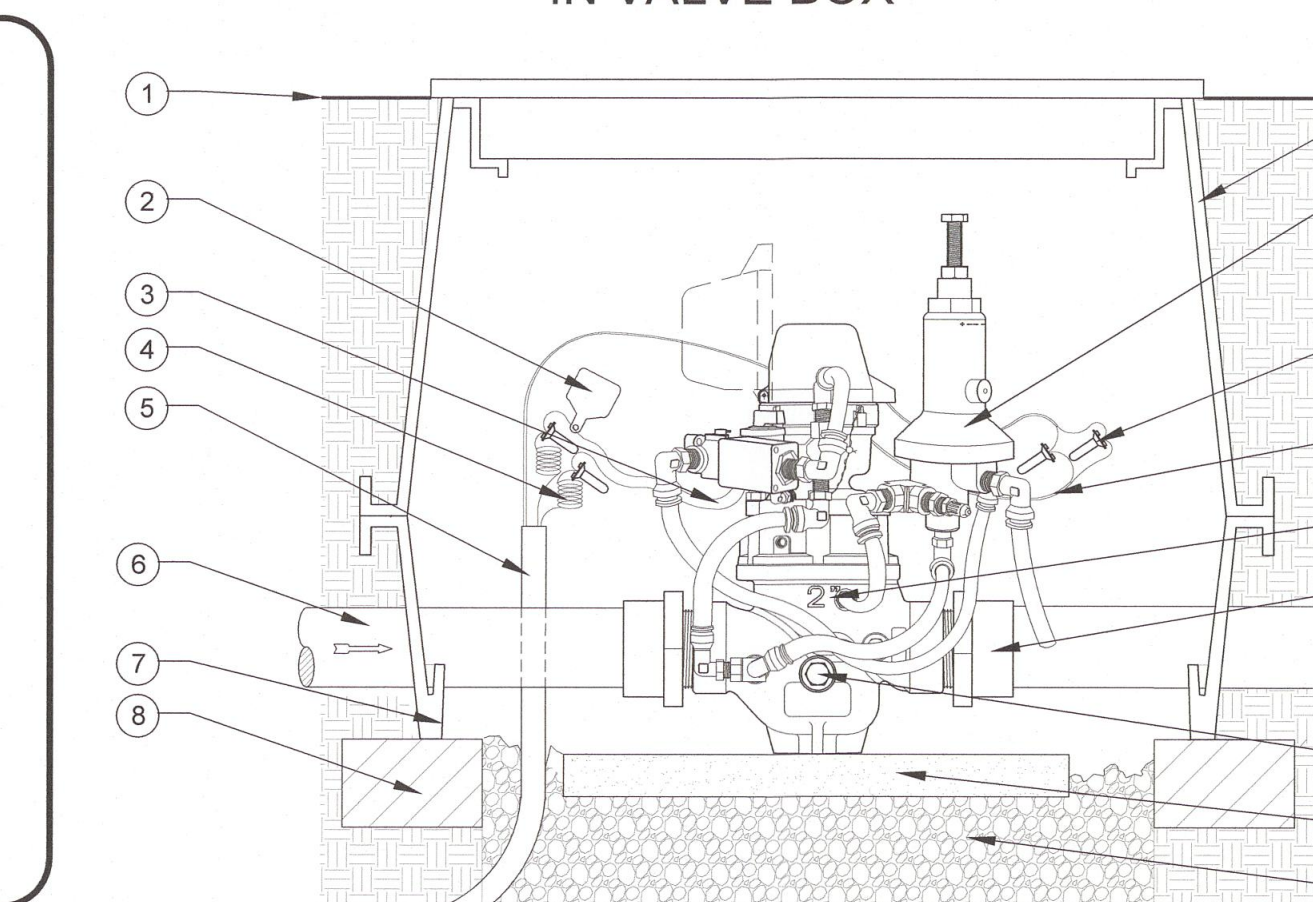
PIPE AND WIRE TRENCHING



SLEEVE TRENCHING

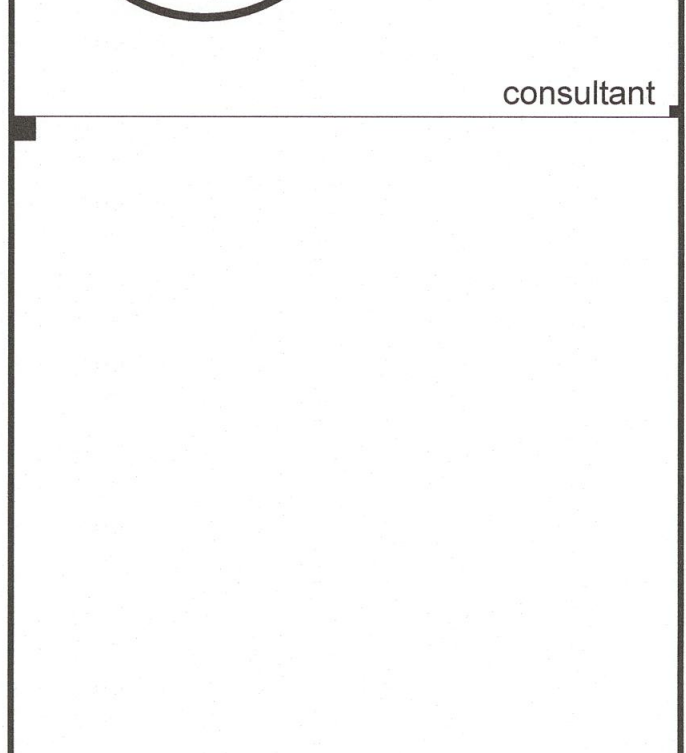
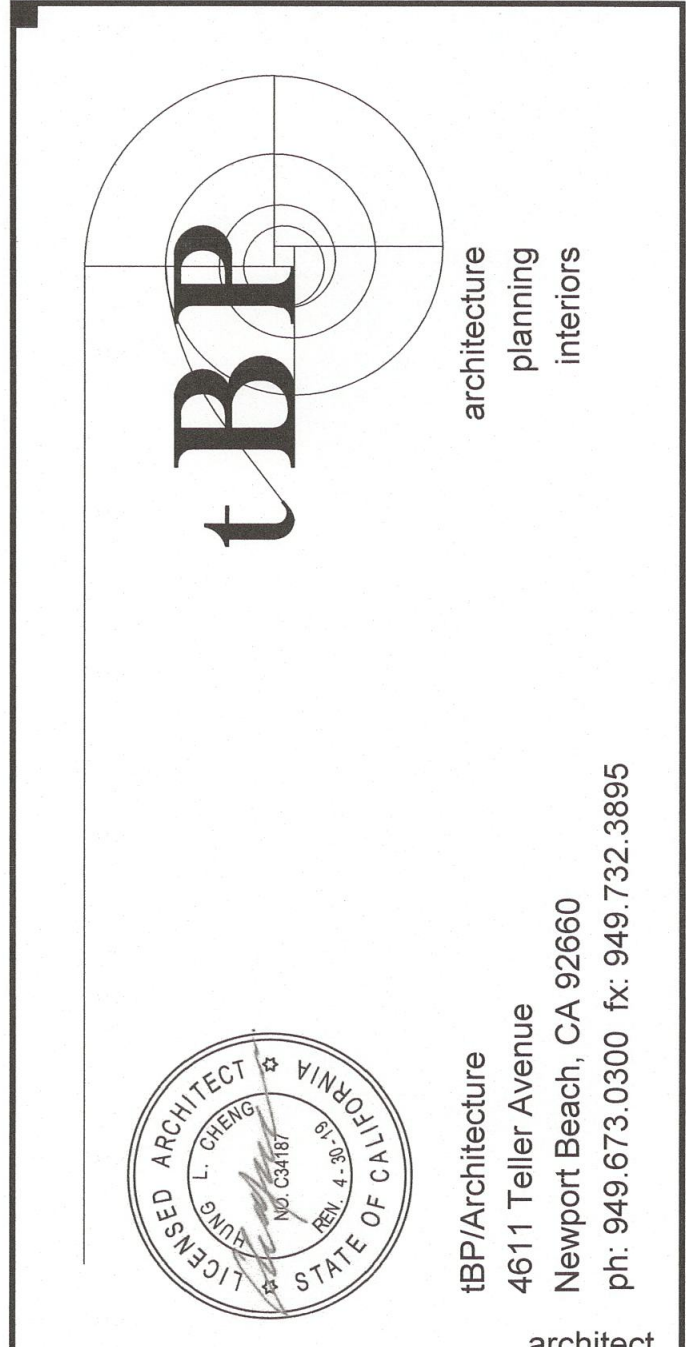


TREE BUBBLER WITH GRATE



- LEGEND**
1. FINISH GRADE
 2. VALVE I.D. TAG WITH "MV" PRINTED ON IT.
 3. MASTER VALVE WIRES FROM SOLENOID (INCLUDED).
 4. PAIR OF WIRES, COLOR CODED DIFFERENT THAN OTHER VALVES. REFER TO CONTROLLER SPECS.
 5. 1/2" SCH 40 CONDUIT FROM CONTROLLER PER SPECS. PULL BOXES EVERY 200' AND ON EACH SIDE OF HARDSCAPE AREA.
 6. PVC MAINLINE PIPING PER IRRIGATION LEGEND. (PLAN SIZE)
 7. FILTER FABRIC PER SPECS.
 8. BRICK SUPPORT. (4 TOTAL / 1 @ EA CORNER)
 9. JUMBO VALVE BOX WITH EXTENSIONS) PER SPECS. HEAT BRAND "MV-FS" ON LID IN 2" HIGH BLOCK LETTERS.
 10. PRESSURE REDUCING PILOT
 11. WATERPROOF WIRE CONNECTORS (3M DBY/DBR).
 12. SHIELDED FLOW SENSOR WIRES TO CONTROLLER (PER CONTROLLER SPECS).
 13. NETAFIM HYDROMETER. REFER TO LEGEND FOR MODEL NUMBER.
 14. SCH.80 PVC MIPT ADAPTOR SIZE PER VALVE AND MAINLINE PIPING (2 REQUIRED)
 15. DRAINAGE NUT FOR WINTERIZATION (INCLUDED).
 16. CONCRETE PAVER SUPPORT BLOCK.
 17. COMPACTED 3/4" WASHED GRAVEL. 12" THICK MIN.
 18. COMPACTED NATIVE SOIL.
- NOTES TO DESIGNER:
1. NO STRAIGHT PIPE UPSTREAM AND DOWNSTREAM OF HYDROMETER IS REQUIRED.
2. THE INSTALLATION OF AN ISOLATION VALVE UPSTREAM OF THE HYDROMETER IS RECOMMENDED.
3. ALL THREADED CONNECTIONS SHALL RECEIVE TEFLON TAPE PER TAPE MANUFACTURERS RECOMMENDATIONS.

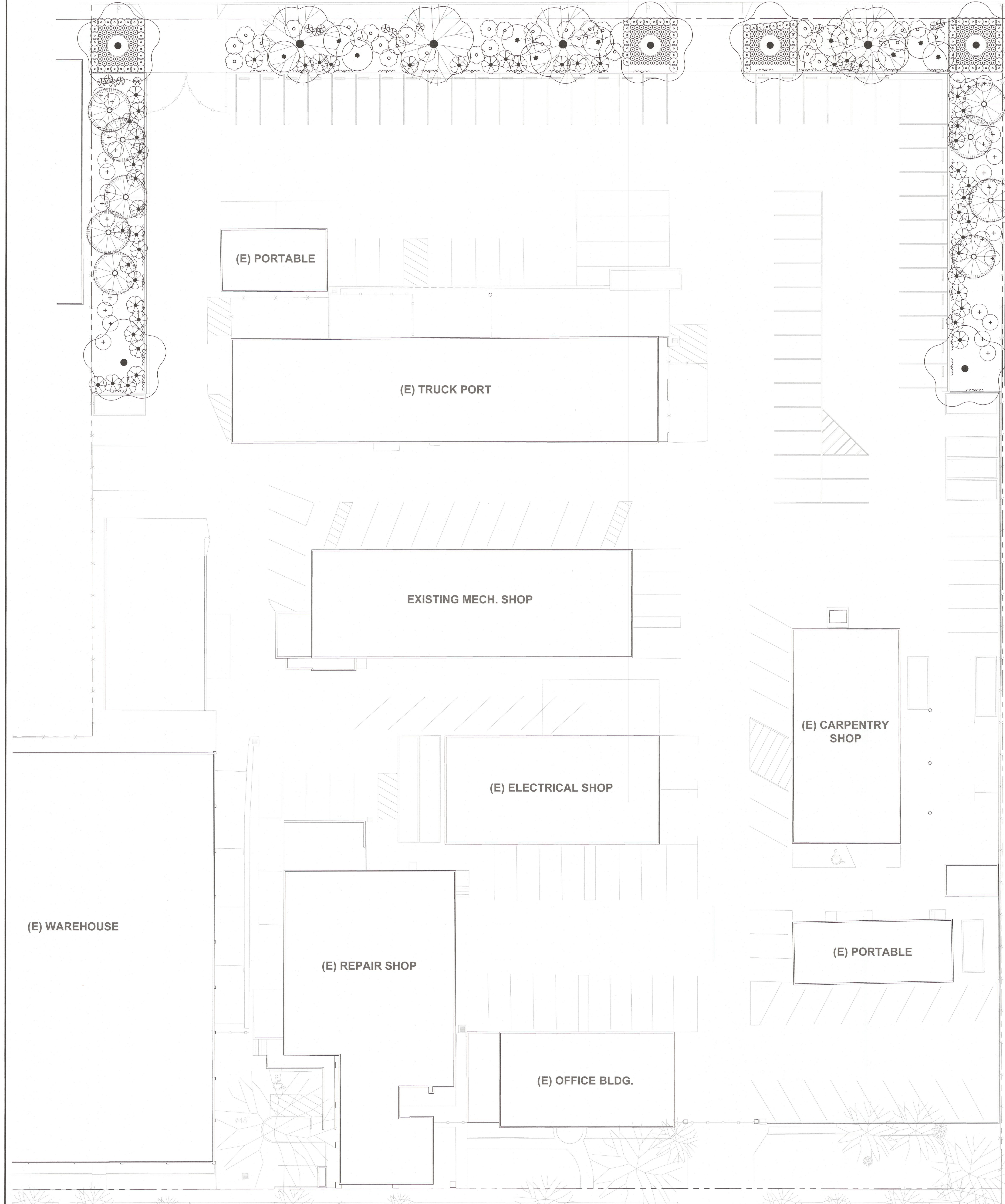
HYDROMETER 2" FNPT PRESSURE REDUCING MANUAL ELECTRIC



GUSTAVO L. FASO
IMPROVEMENTS
 GLENDALE UNIFIED SCHOOL DISTRICT
 340 MAGNOLIA AVENUE
 GLENDALE, CA 91204

owner
 IBP project number : 20996.00
 file name:
 drawn by: checked by:
 date: June 5, 2018
 Rev. date: description:

drawing title:
IRRIGATION DETAILS
 05JUNE2018
 drawing no.:
L1.02
 drawing of



PLANT MATERIAL LEGEND

SYMBOL	DESCRIPTION	WUCOLS 4:
	PINUS ELДАРICA MONDELL PINE 9 @ 24" BOX	LOW 30" TALL/25" WIDE FULL SUN
	QUERCUS ENGLEMANNI MESA OAK 4 @ 48" BOX	LOW 35" TALL/35" WIDE FULL SUN
	JACARANDA MIMOSIFOLIA JACARANDA 24" BOX - CENTER IN PLANTER	MED 40" TALL/40" WIDE SUN
	CERCIS OCCIDENTALIS REDBUD 15-GAL.	LOW 12" TALL/8" WIDE FULL SUN
	ARCTOSTAPHYLOS 'PACIFIC MIST' 5-GAL.	LOW 2' TALL/6" WIDE SUN/SHADE
	ROSA CALIFORNICA 'ELSIE' 5-GAL.	LOW 72" TALL/66" WIDE SUN/SHADE
	MUHLENBERGIA RIGNA DEER GRASS 5-GAL.	LOW 36" TALL/36" WIDE SUN/SHADE
	BACCHARIS PILULARIS 'TWIN PEAKS' 5-GAL.	LOW 36" TALL/36" WIDE SUN/SHADE
	FESTUCA CALIFORNICA 'RIVER HOUSE BLUES' 1-GAL.	LOW 20" TALL/20" WIDE SUN/SHADE
	VERBENA LILACINA DE LA MINA 1-GAL.	LOW 12" TALL/36" WIDE SUN/SHADE
	PARTHENOCISSUS HENRYANA SILVER VAIN CREEPER 5-GAL.	MED VINE PART SUN/SHADE

ALL TREES SHALL BE PLANTED ON A SOIL MOUND 4" ABOVE ADJACENT GRADE. SLOPE SOIL AWAY FROM TRUNK TO EDGE OF WATER BASIN.

ARCTOSPAPHYLOS SHALL BE PLANTER A MINIMUM OF 48" FROM EDGE OF PAVING.

ALL SHRUB AREAS SHALL RECEIVE A 3" DEEP APPLICATION OF AN APPROVED MEDIUM-COARSE WOOD MULCH CONSISTING OF REDWOOD, CEDAR AND/OR PINE SHAVINGS OR BARK. SUBMIT MATERIAL SAMPLE/PRODUCT CUT SHEET FOR APPROVAL.

- SOURCE OF BASE SHEETS IS TBP ARCHITECTS.
- REFER TO CIVIL ENGINEER'S UTILITY AND GRADING AND DRAINAGE PLANS FOR UTILITY LOCATION AND DRAINAGE INFORMATION. IF ACTUAL SITE CONDITIONS VARY FROM WHAT IS SHOWN ON THE PLANS OR IF THERE ARE DISCREPANCIES BETWEEN THE PLANS, CONTACT THE ARCHITECT FOR DIRECTION AS TO HOW TO PROCEED.
- VERIFY LOCATIONS OF PERTINENT SITE IMPROVEMENTS INSTALLED UNDER OTHER SECTIONS. IF ANY PART OF THIS PLAN CANNOT BE FOLLOWED DUE TO SITE CONDITIONS, CONTACT ARCHITECT FOR INSTRUCTIONS PRIOR TO COMMENCING WORK.
- VERIFY PLANT COUNTS AND SQUARE FOOTAGES. QUANTITIES ARE PROVIDED AS OWNER INFORMATION ONLY. IF QUANTITIES ON PLANT LIST DIFFER FROM GRAPHIC INDICATIONS, THEN GRAPHICS SHALL PREVAIL.
- PERFORM EXCAVATION IN THE VICINITY OF UNDERGROUND UTILITIES WITH CARE AND IF NECESSARY, BY HAND. THE CONTRACTOR BEARS FULL RESPONSIBILITY FOR THIS WORK AND DISRUPTION OR DAMAGE TO UTILITIES SHALL BE REPAIRED IMMEDIATELY AT NO EXPENSE TO THE OWNER.
- TREES SHALL BEAR SAME RELATION TO FINISHED GRADE AS IT BORE TO EXISTING UNLESS DIRECTED OTHERWISE, UNLESS NOTED OTHERWISE.
- TREES TO BE PLANTED A MINIMUM OF 5- FEET FROM FACE OF BUILDING, OR PAVEMENT, EXCEPT AS APPROVED BY ARCHITECT.
- PROVIDE MATCHING FORMS AND SIZES FOR SHRUB PLANT MATERIALS WITHIN EACH SPECIES AND SIZE DESIGNATED ON THE DRAWINGS.
- SPACE ALL TREES AND SHRUBS SO DESIGNATED PER THESE NOTES AND DRAWINGS.
- FINISH GRADES OF PLANTER AREAS SHALL BE 2-INCHES BELOW ADJACENT PAVING.
- PROVIDE SPECIFIED EDGING AS DIVIDER BETWEEN PLANTING BEDS.
- REMOVE ENTIRE CONTAINER FROM ROOTBALL.
- LANDSCAPE ARCHITECT TO REVIEW PLANT MATERIALS AT SOURCE BY PHOTOGRAPHS, OR ON-SITE PRIOR TO INSTALLATION BY PHOTOGRAPH.

City of Glendale Planning Division
The approval is only for

APPROVED
JAN 24 2019

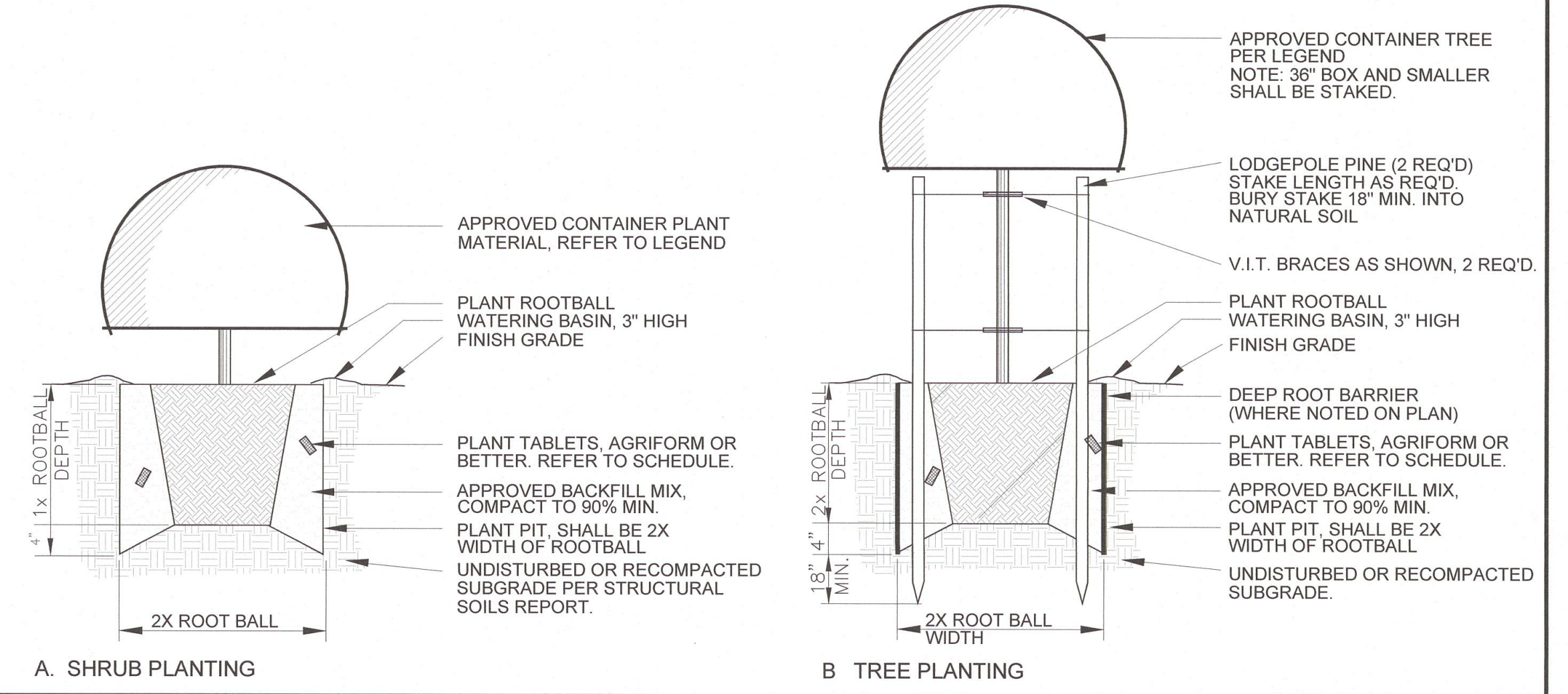
No other approvals are granted
Any construction or land use contradictory to
the G.M.C. is not approved by this permit.

By: _____
Director of Planning

CITY OF GLENDALE
DESIGN REVIEW BOARD
EXEMPT

JAN 24 2019

By: _____



tBP architecture
planning
interiors

ARCHITECT & VISIONARY OF
LANDSCAPE ARCHITECTURE
NEWPORT BEACH, CA 92660
PH: 949.673.0300 FX: 949.732.3895

ARCHITECT

silver bar studio
landscape architecture
environmental design
mariposa, ca.

LANDSCAPE ARCHITECT
OPENED THIRDMILL DESIGN
JULY 2018
STATE OF CALIFORNIA

CONSULTANT

GUSD FASO YARD
IMPROVEMENTS

GLENDALE UNIFIED SCHOOL DISTRICT
349 MAGNOLIA AVENUE
GLENDALE, CA 91204

OWNER

tBP project number : 20966.00

file name: _____

drawn by: _____ checked by: _____

date: June 5, 2018

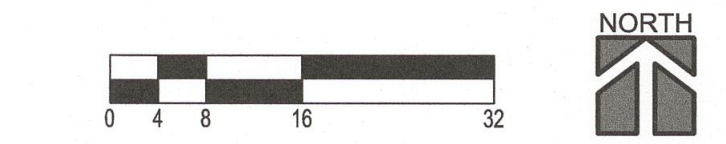
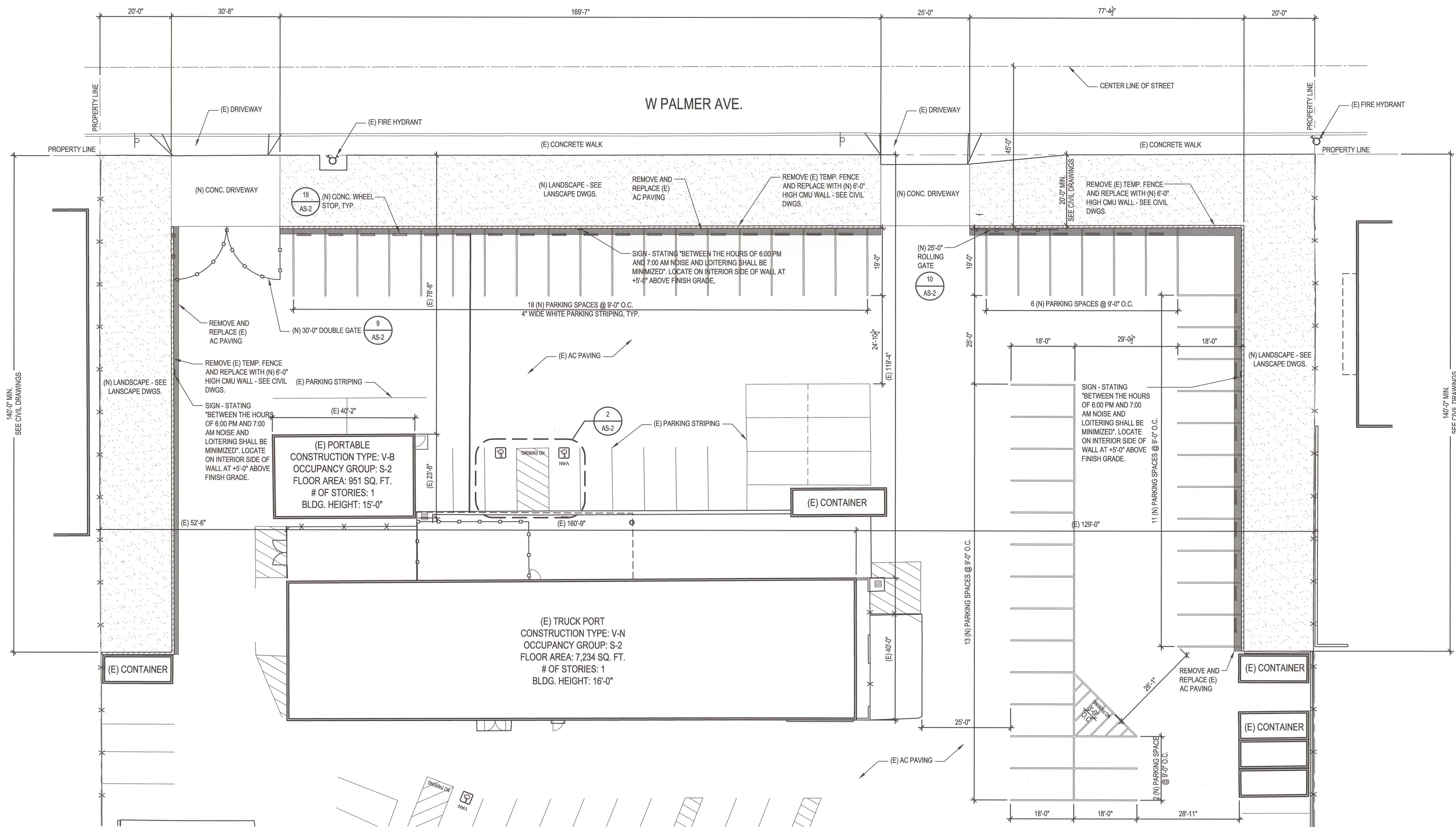
Rev. date: description:

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drawing title:
PLANTING PLAN

05JUNE2018

drawing no.:
L2.01
drawing of _____



ENLARGED SITE PLAN 1
SCALE: 1/8" = 1'-0"

GENERAL NOTES

1. VERIFY ALL EXISTING AND FINISH GRADES, DIMENSIONS AND SITE CONDITIONS BEFORE COMMENCING WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
2. LOCATIONS OF ALL UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN EXCAVATING AND TRENCHING TO AVOID INTERCEPTING EXISTING PIPING OR CONDUITS. THE ARCHITECT IS NOT RESPONSIBLE FOR THE LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES WHETHER OR NOT SHOWN OR DETAILED AND INSTALLED BY OTHER CONTRACTS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER SHOULD SUCH UNIDENTIFIED CONDITIONS BE DISCOVERED.
3. SEE CIVIL DRAWING FOR ADDITIONAL GRADING INFORMATION.
4. REFER TO T-2 FOR ADDITIONAL GENERAL NOTES, ABBREVIATIONS AND DRAFTING SYMBOLS.

[Handwritten signature]

GUSD FASO YARD
IMPROVEMENTS
GLENDALE UNIFIED SCHOOL DISTRICT
349 MAGNOLIA AVENUE
GLENDALE, CA 91204

owner

IBP project number : 20866.00

file name:

drawn by: checked by:

date: May 20, 2018

Rev. date: description:

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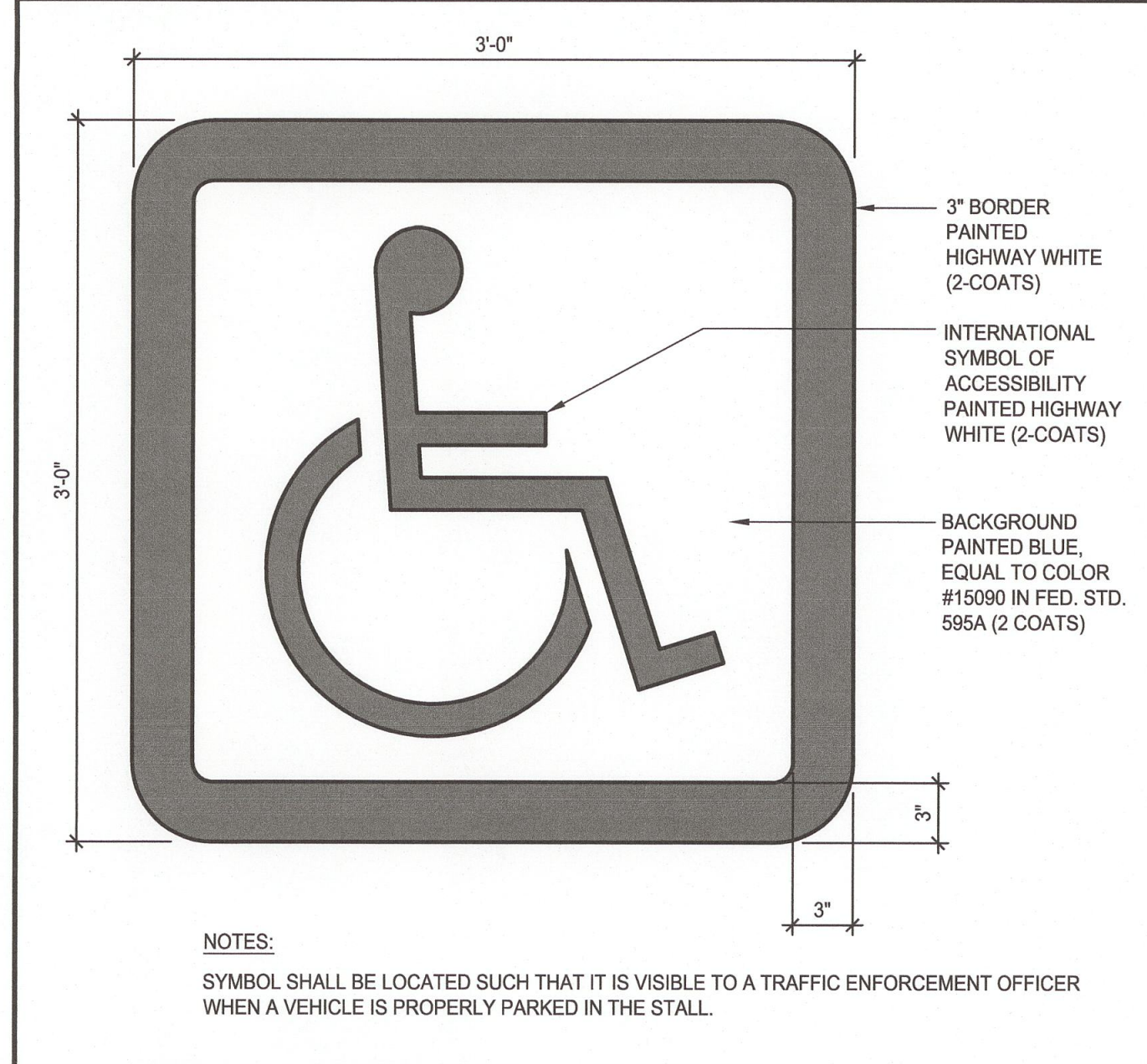
ENLARGED SITE PLAN

drawing no.:

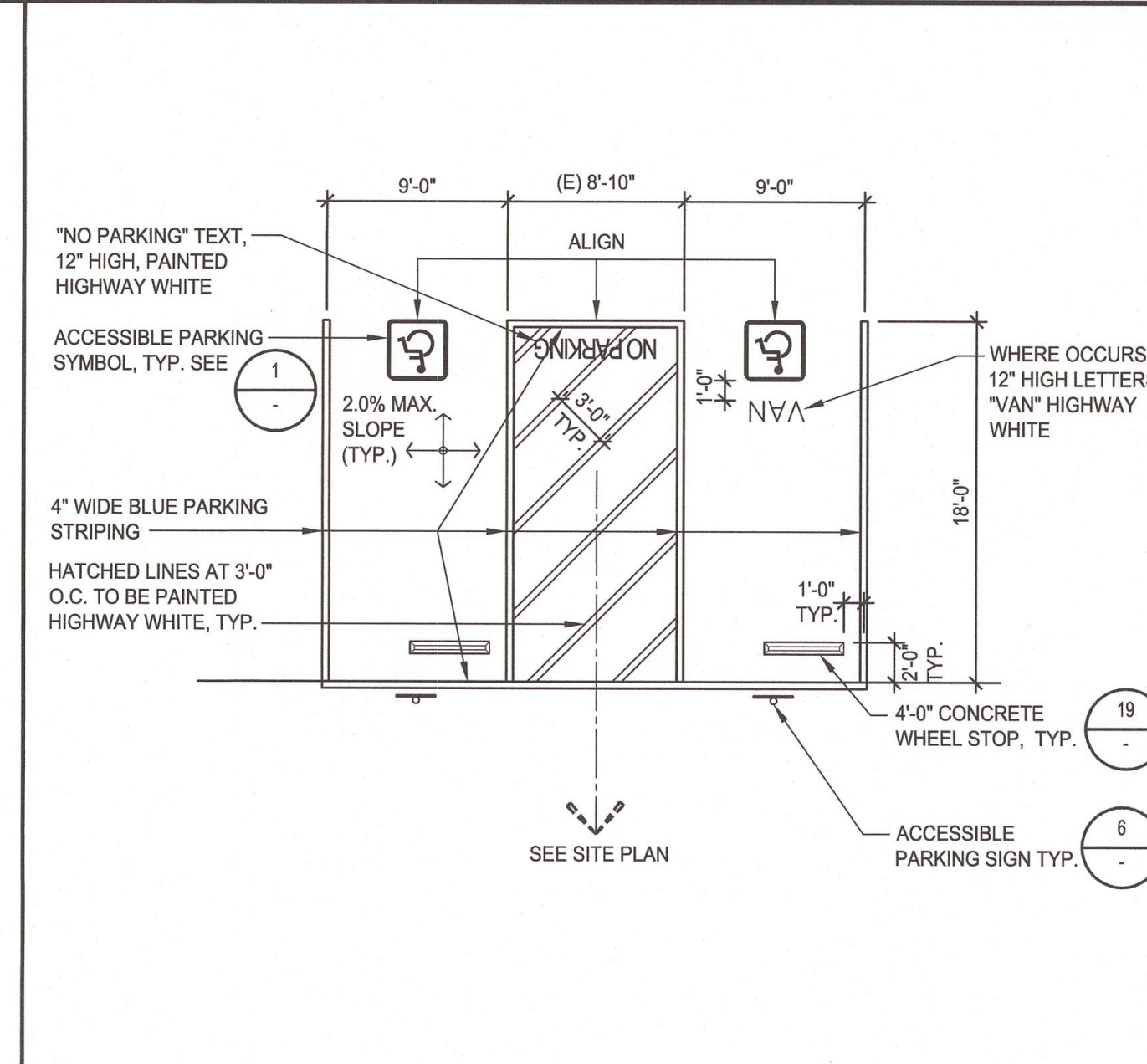
AS-1
drawing of

IBP/Architecture
4611 Teller Avenue
Newport Beach, CA 92660
ph: 949.673.0300 fx: 949.732.3895
architect

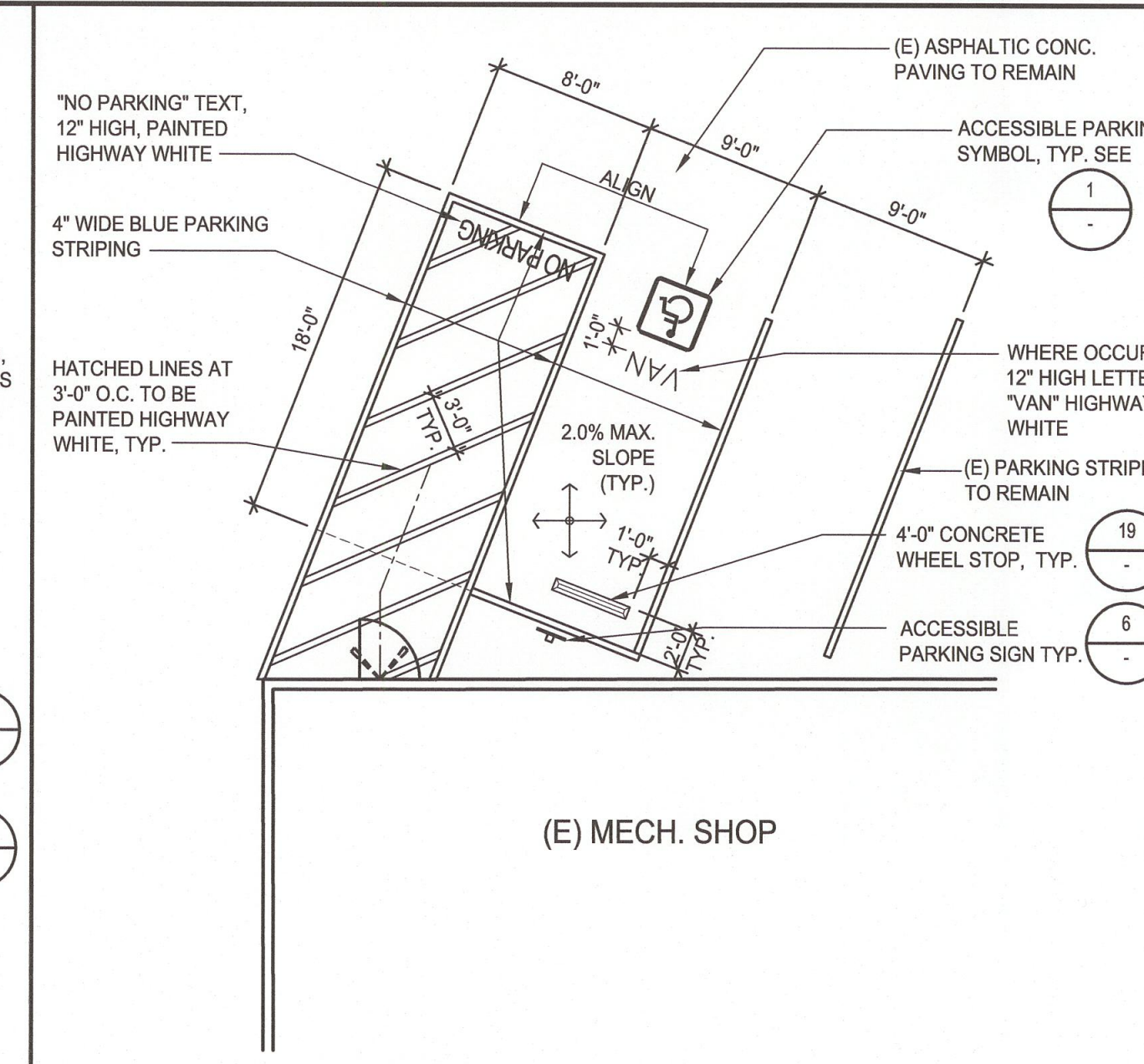
consultant



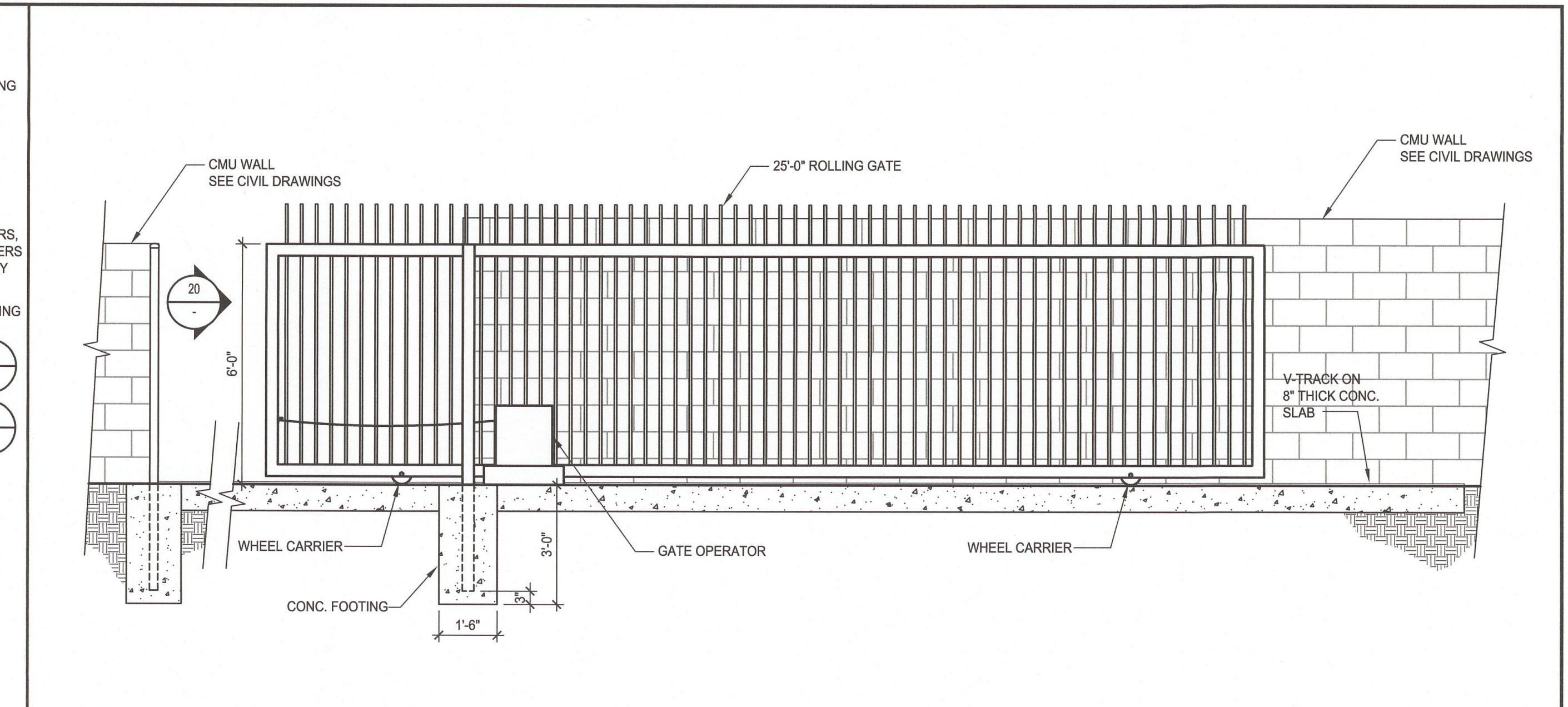
ACCESSIBLE PARKING EMBLEM SCALE: 1-1/2" = 1'-0" 1



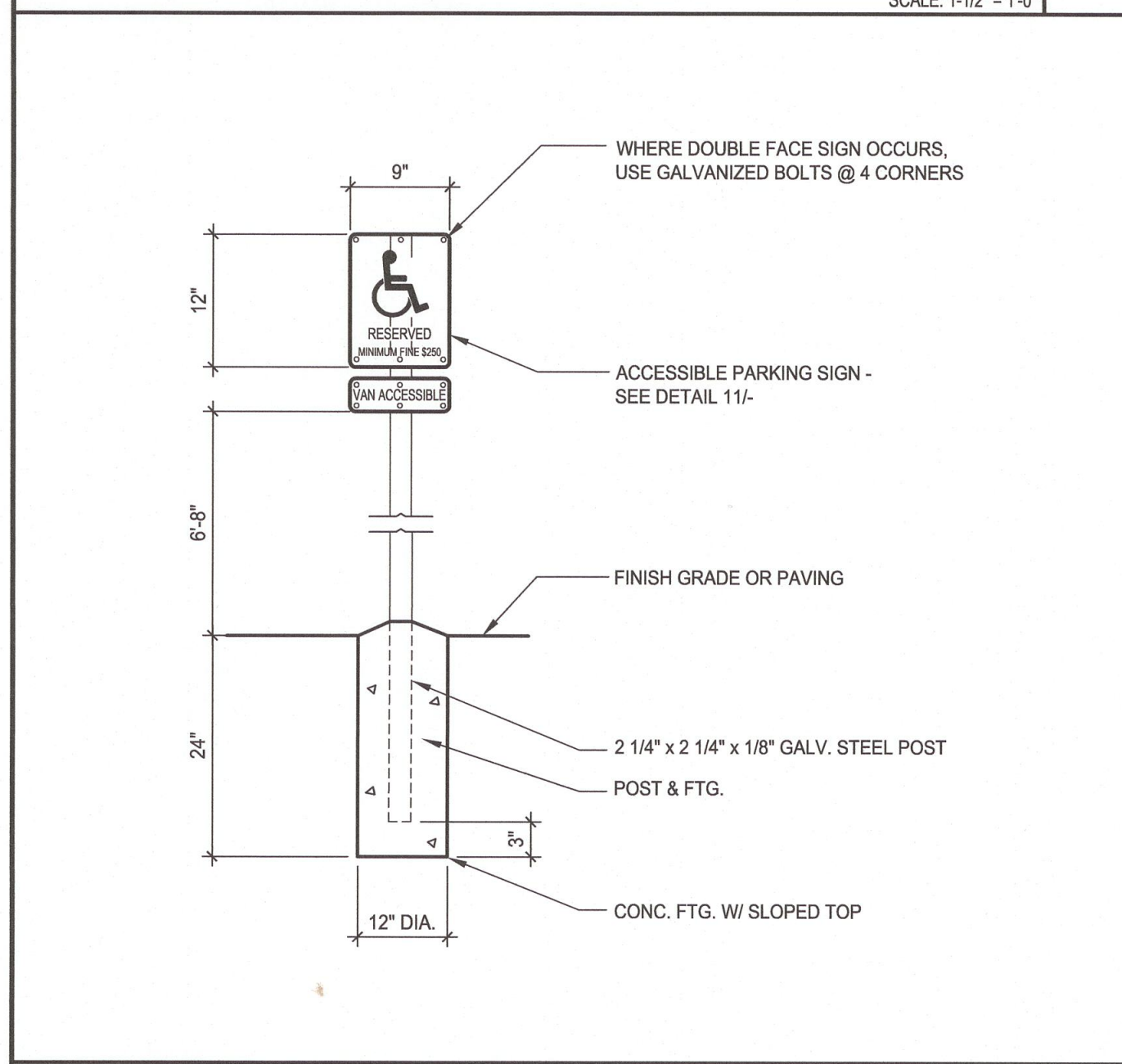
ACCESSIBLE PARKING STALL SCALE: 1/8" = 1'-0" 2



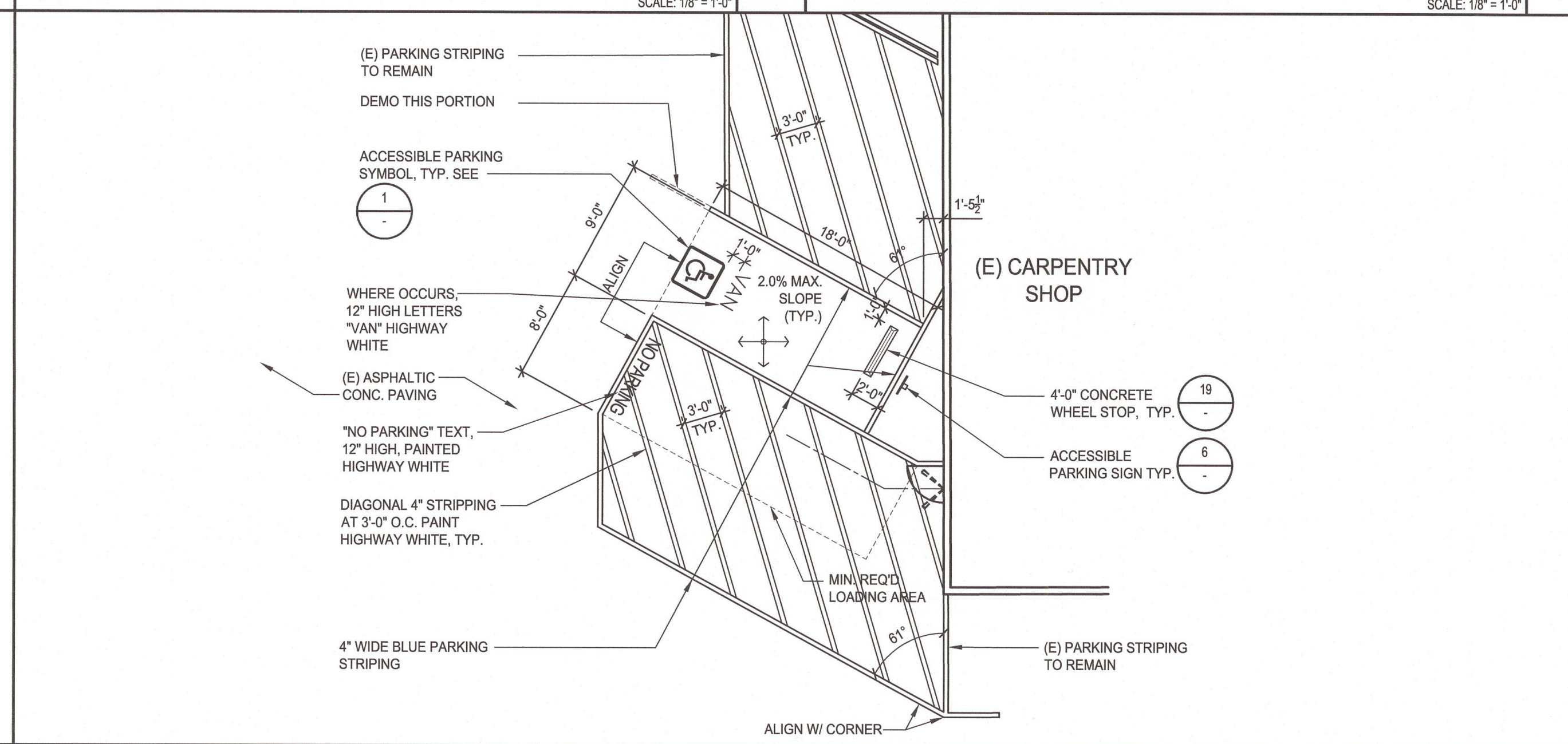
ACCESSIBLE PARKING STALL SCALE: 1/8" = 1'-0" 3



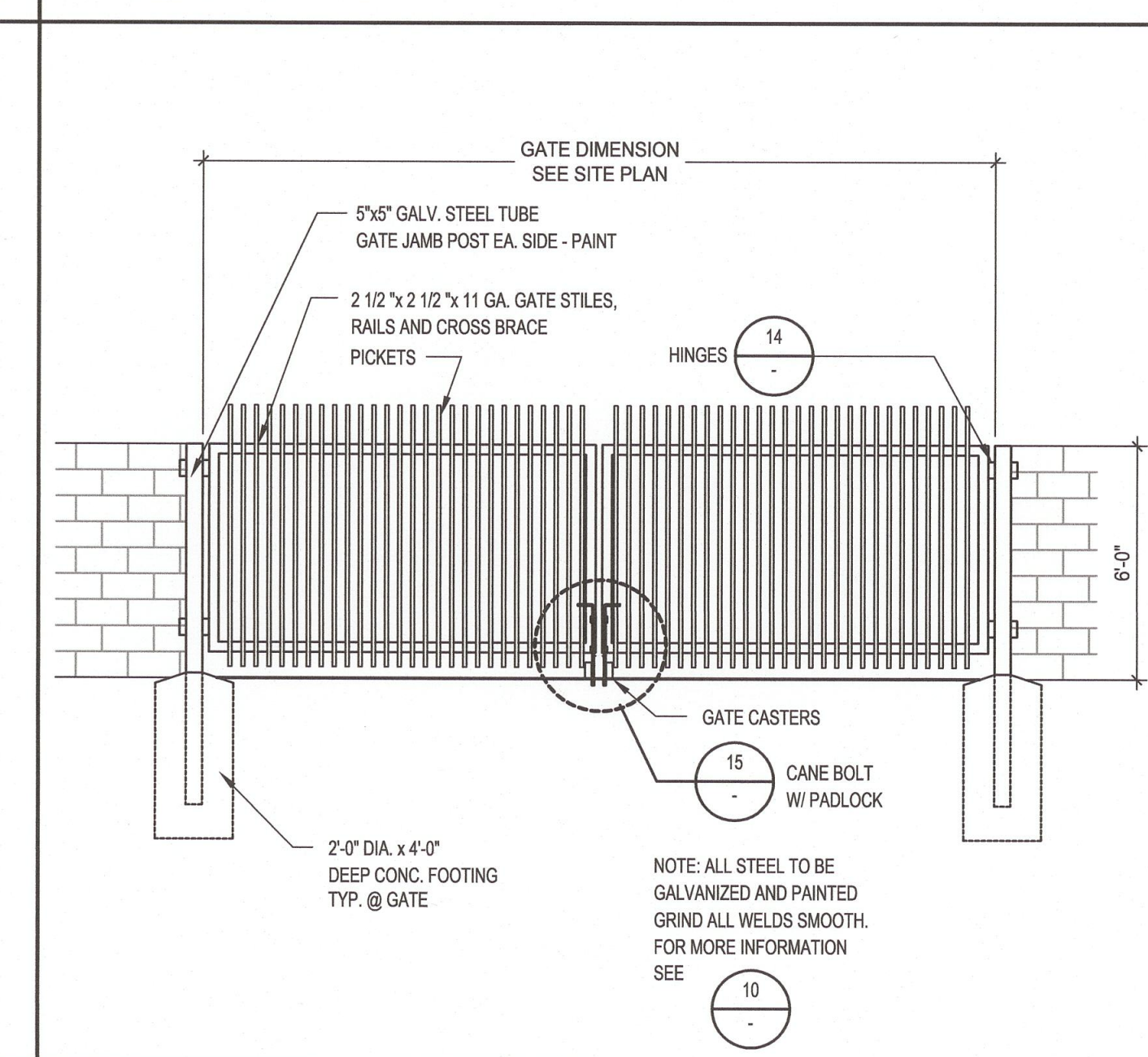
ROLLING GATE SCALE: 3/8" = 1'-0" 5



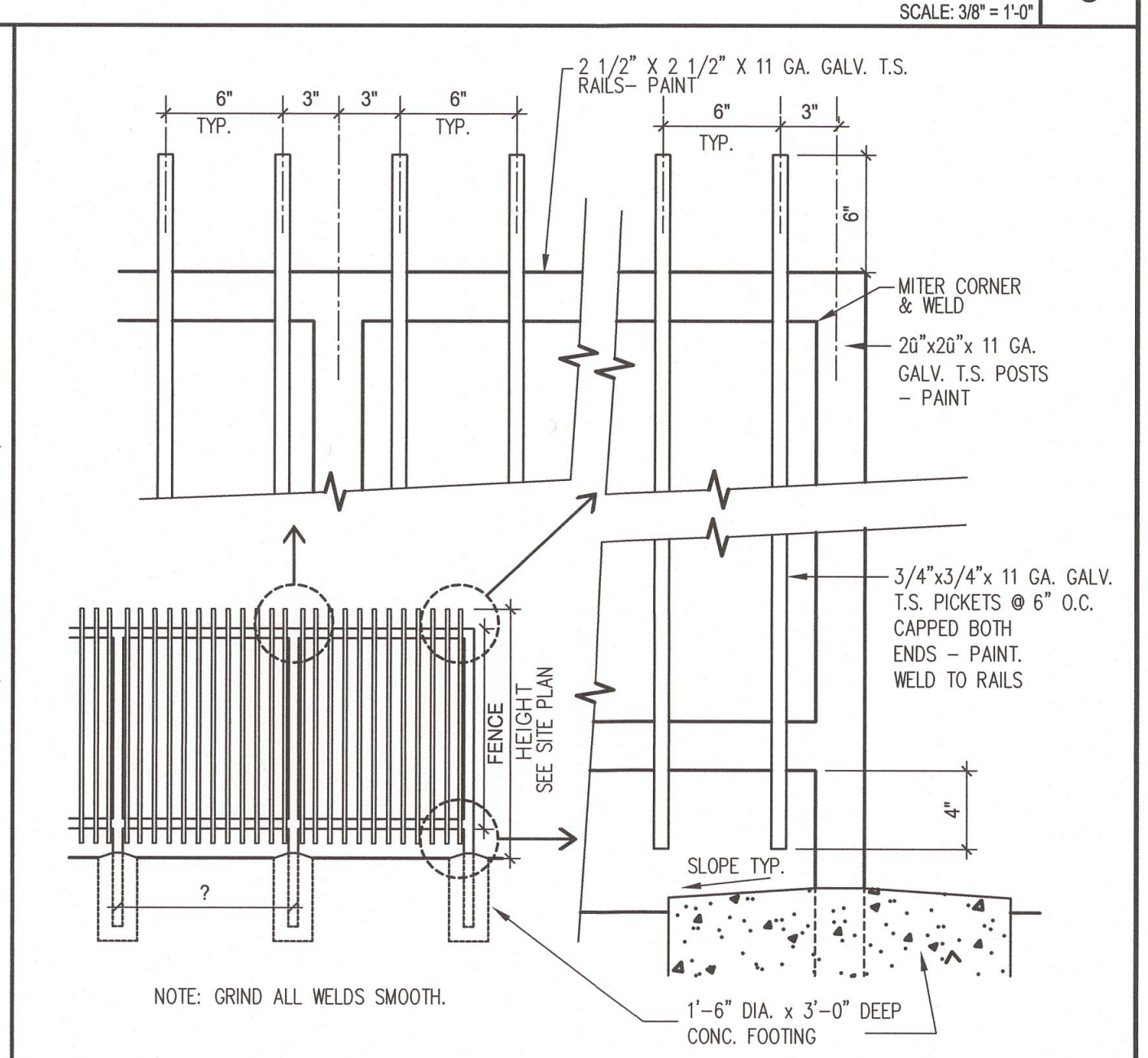
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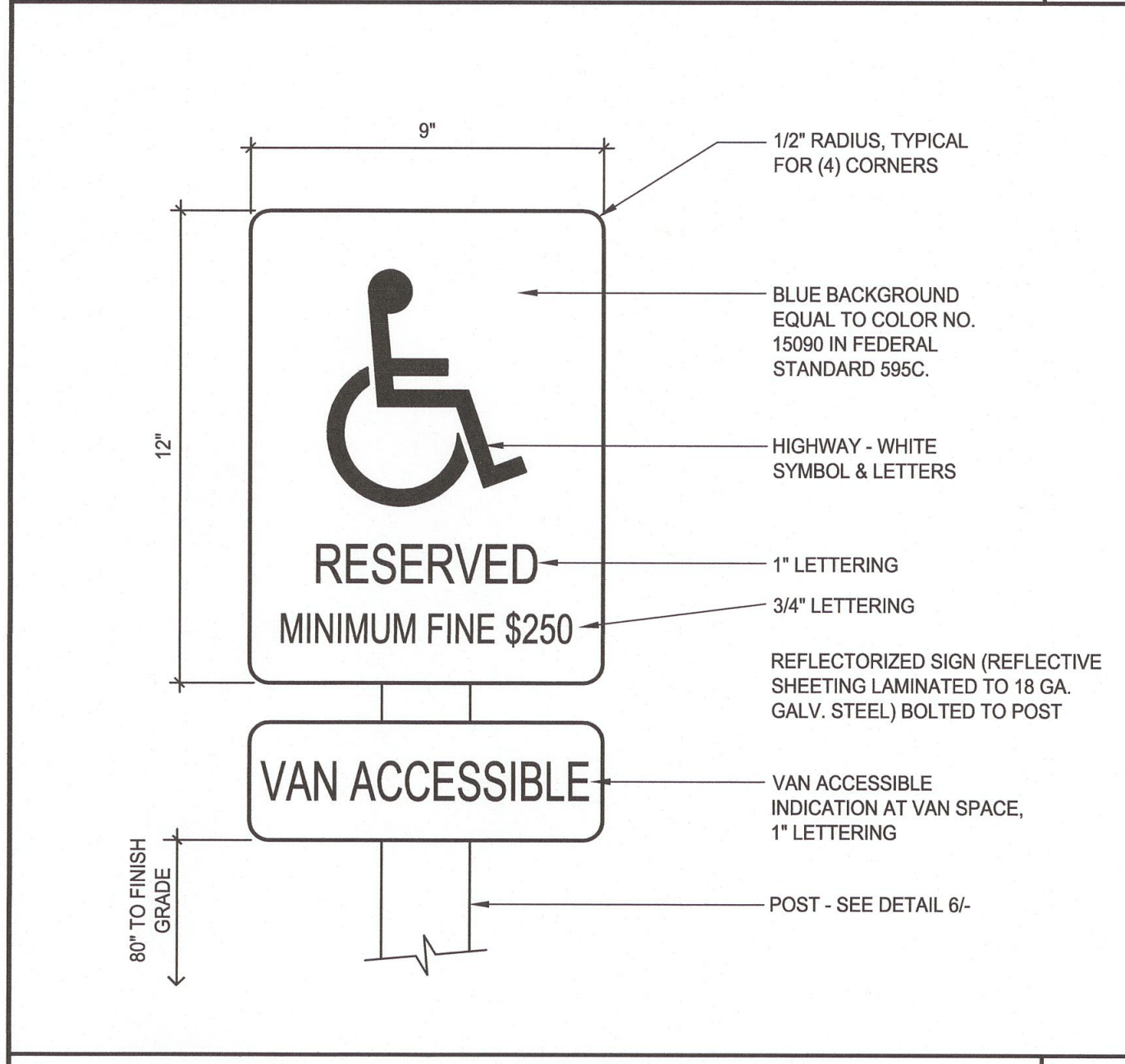
ACCESSIBLE PARKING STALL SCALE: 1/8" = 1'-0" 8



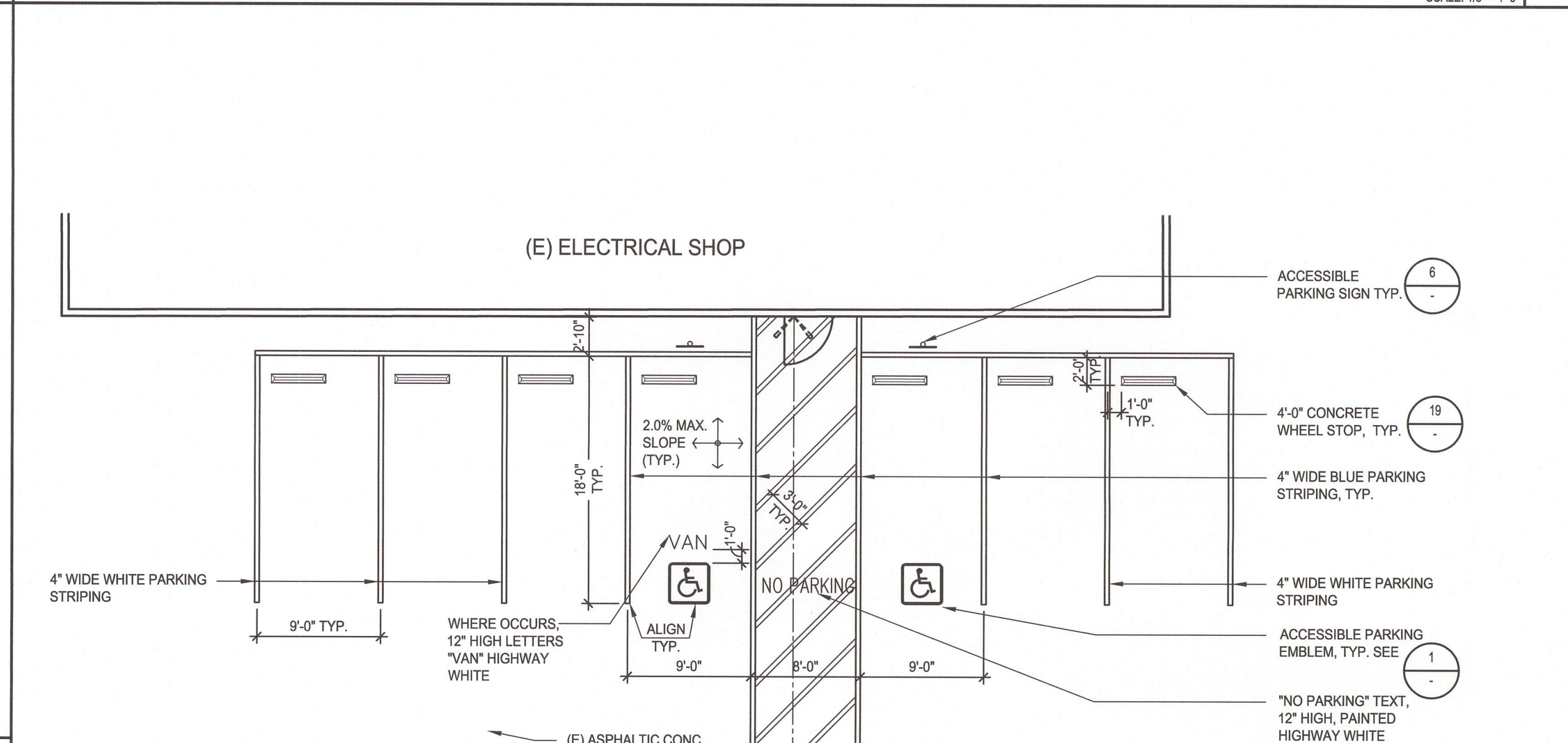
VEHICLE ENTRY GATES SCALE: 1/4" = 1'-0" 9



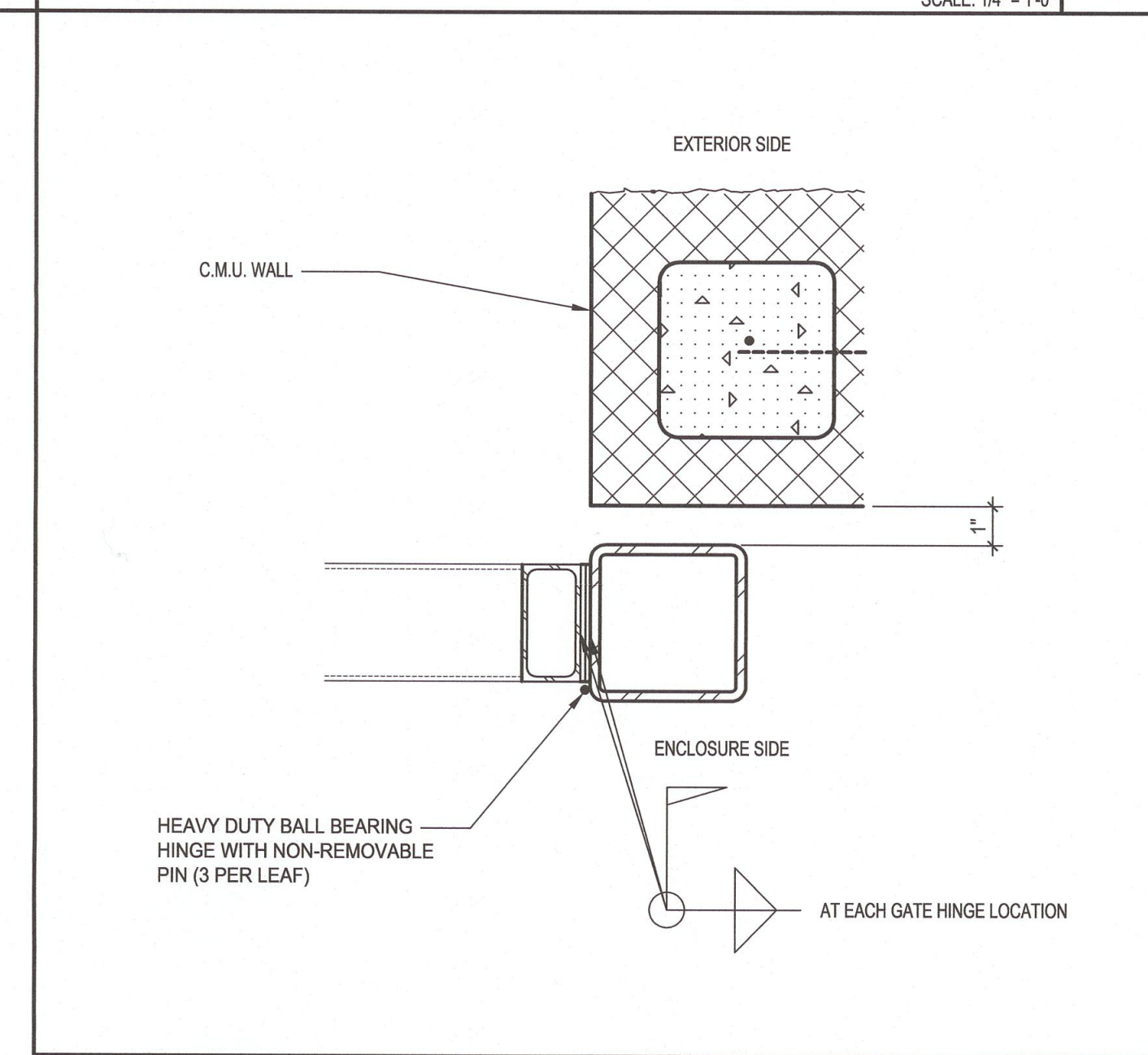
METAL FENCE SCALE: 1" = 1'-0" 10



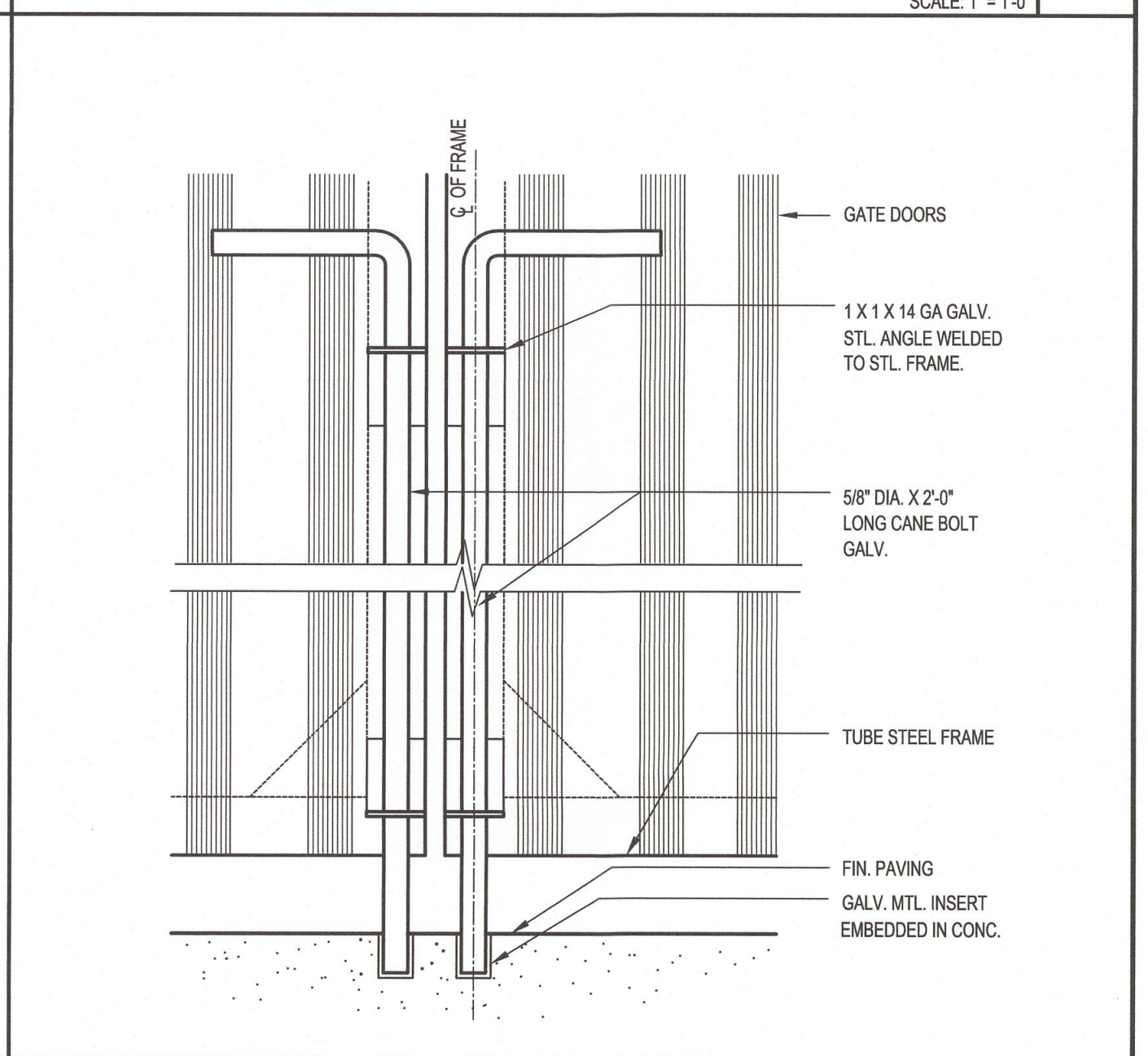
ACCESSIBLE PARKING STALL SIGNAGE SCALE: 3" = 1'-0" 11



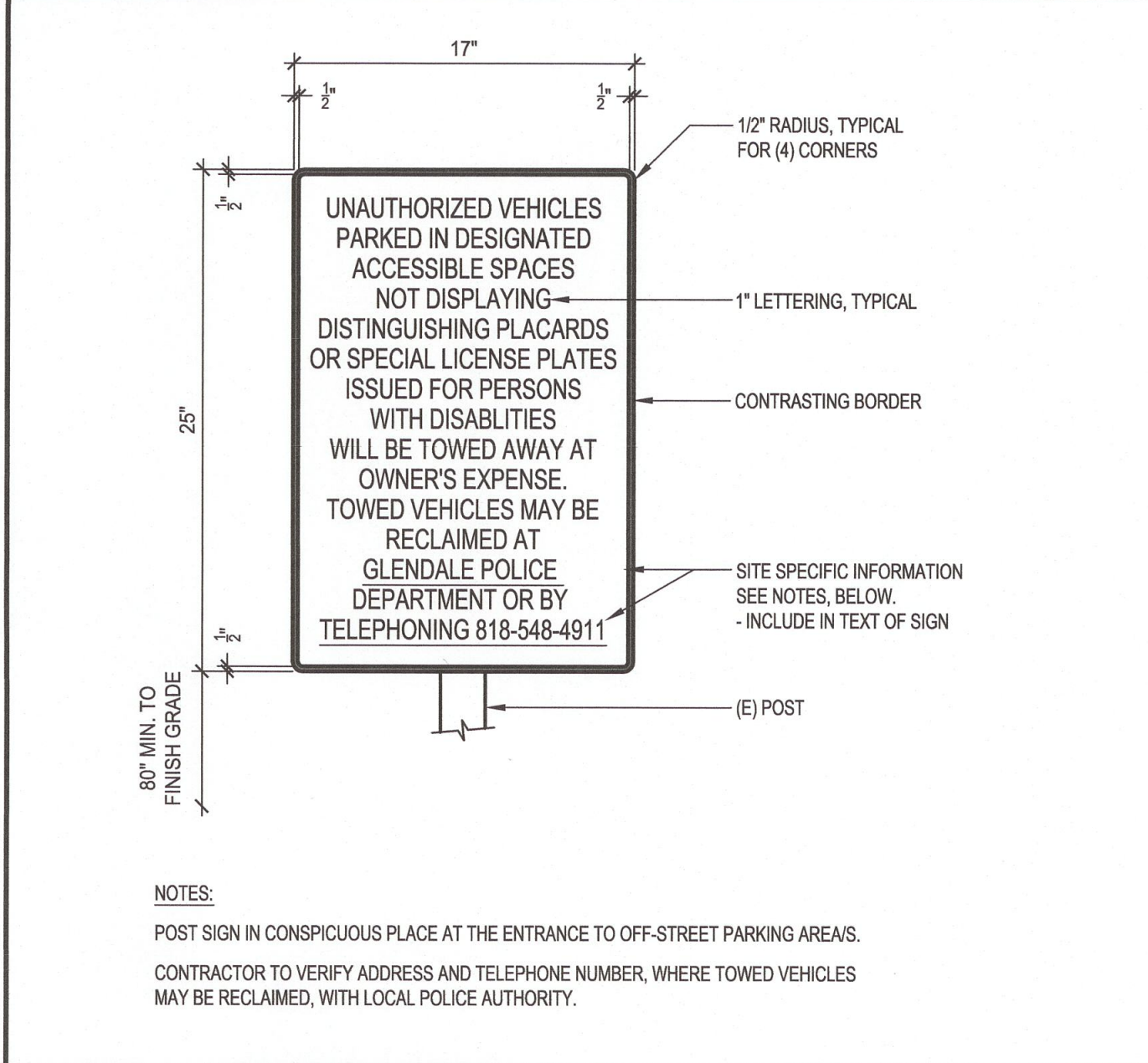
ACCESSIBLE PARKING STALL SCALE: 1/8" = 1'-0" 18



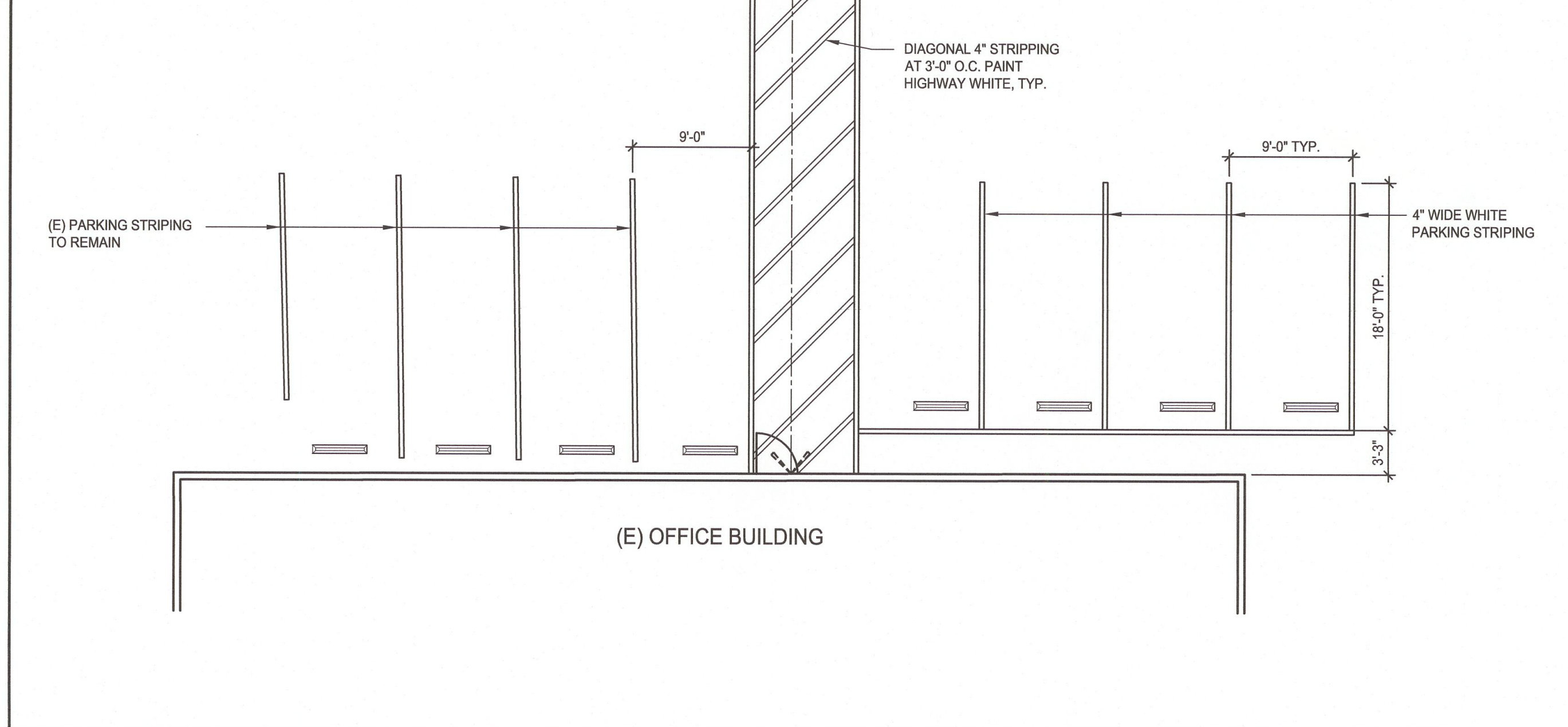
HINGE DETAIL SCALE: 3" = 1'-0" 14



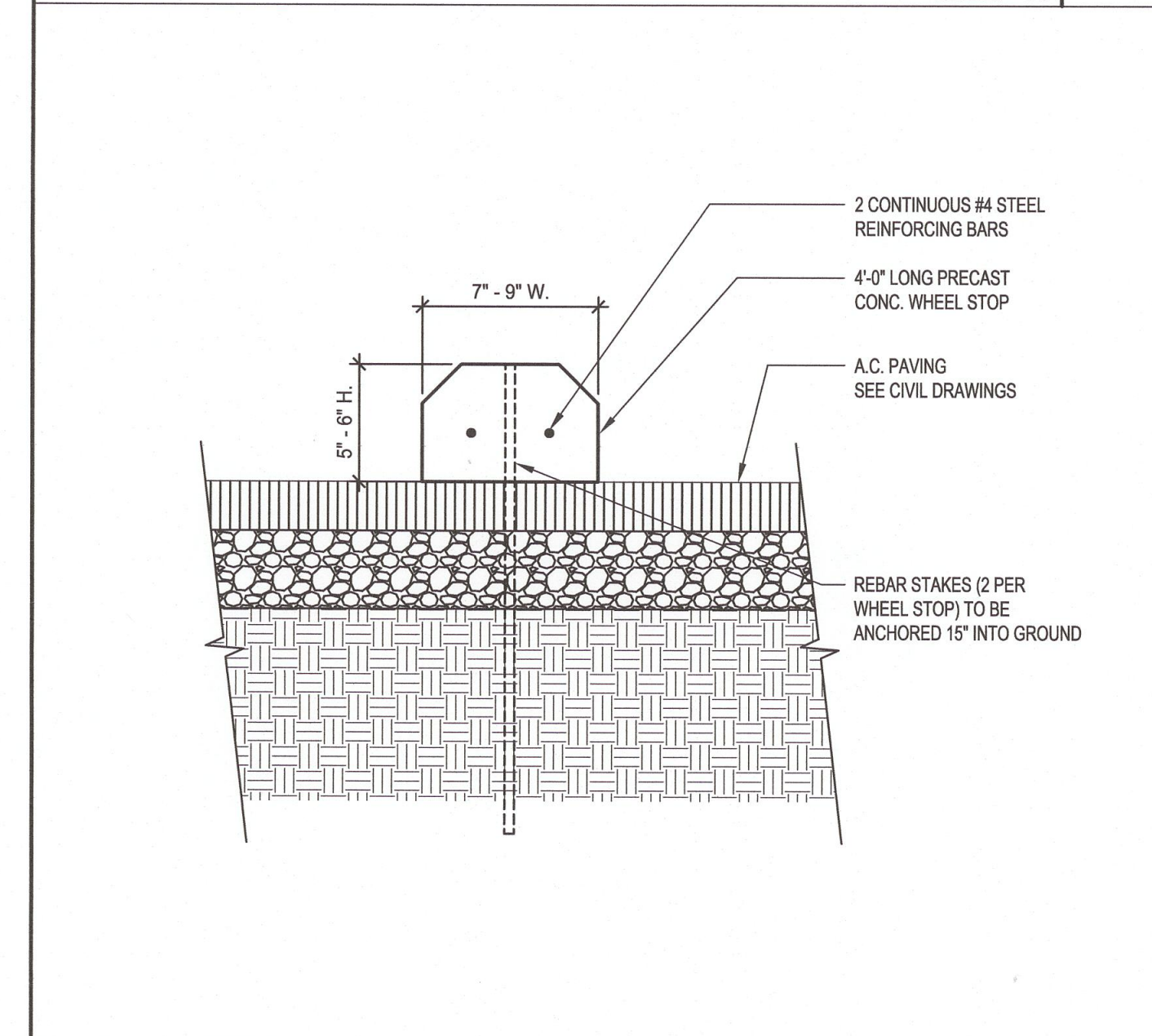
CANE BOLT DETAIL SCALE: 3" = 1'-0" 15



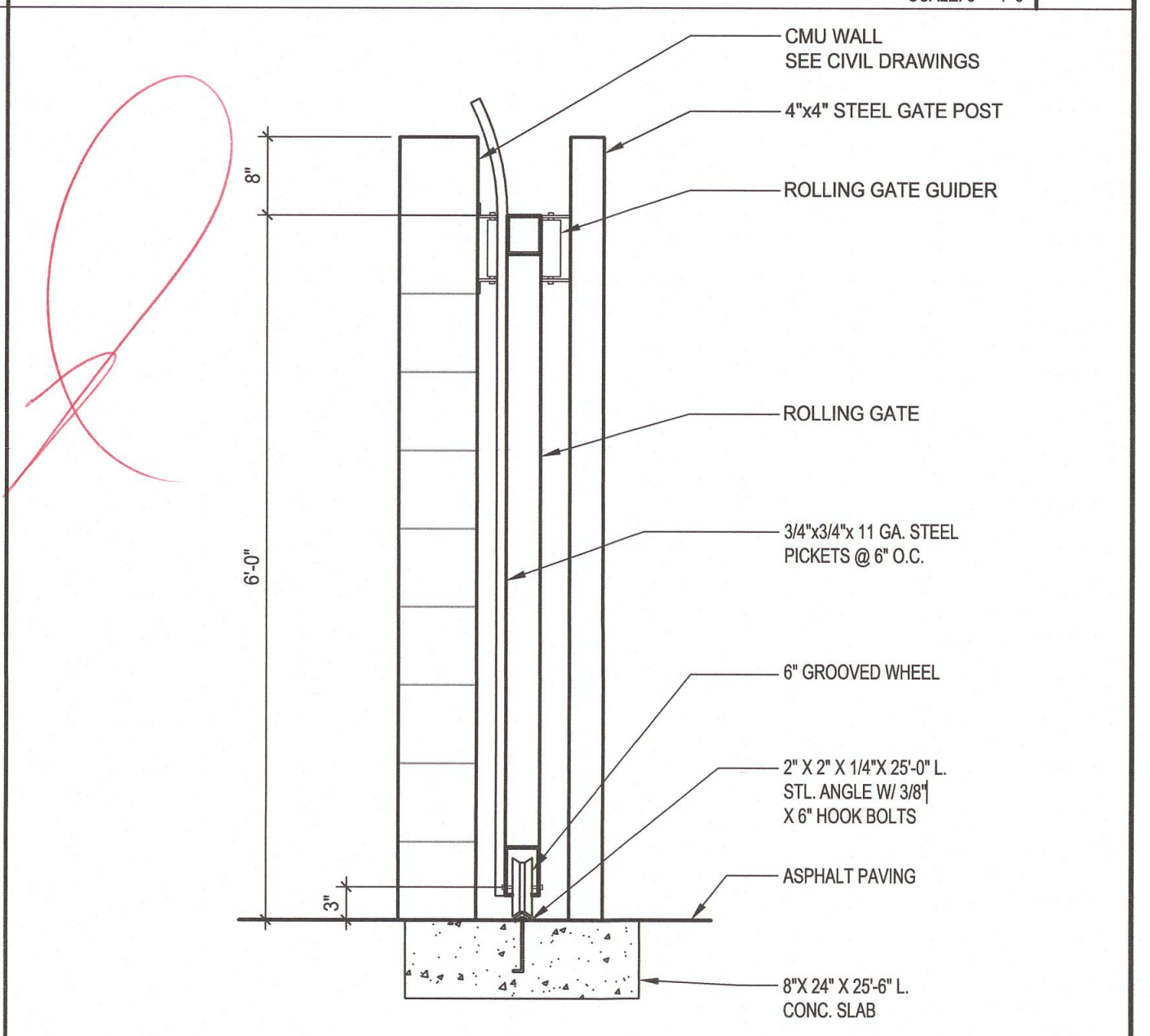
TOW AWAY ACCESSIBLE SIGN SCALE: 1-1/2" = 1'-0" 16



ACCESSIBLE PARKING STALL SCALE: 1/8" = 1'-0" 18



CONCRETE WHEEL STOP SCALE: 1-1/2" = 1'-0" 19



ROLLING GATE SCALE: 3/4" = 1'-0" 20

tBP

architecture
planning
interiors

ARCHITECT & INTERIORS
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architect

consultant

GUSD FASO YARD IMPROVEMENTS

GLENDALE UNIFIED SCHOOL DISTRICT
349 MAGNOLIA AVENUE
GLENDALE, CA 91204

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IBP project number : 20996.00

file name:

drawn by: checked by:

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Rev: date: description:

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drawing title:
DETAILS

drawing no.:
AS-2
drawing of