

City of Glendale

Public Works Department, Engineering Division
633 East Broadway Room 205, Glendale, California 91206-4388
Tel. No. (818) 548-3945 Fax No. (818) 242-7087

NPDES¹ Certification

As the project Owner/Developer, I certify that the following minimum requirements and/or Best Management Practices (BMPs) are effectively implemented at this(ese) construction site(s):

- Sediments generated on the project site shall be retained using adequate treatment control or structural control;
- Construction related materials, wastes, spills, or residues shall be retained at the project site to avoid discharge to streets, drainage facilities, receiving waters or adjacent properties by wind or runoff;
- Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained at the project site; and
- Erosion from slopes and channels shall be controlled by implementing an effective combination of BMPs such as the limiting of grading during rain events, planting and maintenance of vegetation on slopes, and covering erosion susceptible slopes.

I am aware that these BMPs if applicable, must be installed, monitored, and maintained to ensure their effectiveness. The BMPs not selected for implementation is considered redundant or deemed not applicable to the proposed construction activities.

Construction Site Address: 390 Magnolia AVE, Glendale, CA 91404

County Assessor Parcel Nos.: 5640007900

Building/Grading Permit Nos.: BB1821283

Applicant/Developer: TBP Architecture, Brett Houser

Property Owner: Glendale Unified School District

Contractor: TBD

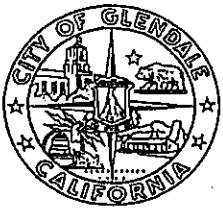
State Contractor License No.: _____

Signed: [Signature] KEITH C JONES Date: 20 NOV 18 1-24-M

Title: Assistant Director, Facilities and Support Operations

¹ National Pollutants Discharge Elimination System (NPDES) is the engine of the Clean Water Act that protects the receiving waters. The City of Glendale as a Permittee to the NPDES Municipal Storm Water and Urban Runoff Discharges Permit issued by the Los Angeles Regional Water Quality Control Board implement a program to control runoff from construction activity at all construction sites less than one acre within its jurisdiction.

For details and design criteria of these BMPs, you may refer to the current edition of the California Stormwater BMP Construction Handbook.



IMPORTANT PERMIT INFORMATION

THIS SHEET SHALL REMAIN ATTACHED TO THE FIELD SET OF PLANS
UNTIL FINAL INSPECTION IS APPROVED

The attached plans have been approved for construction using the following information:

ADDRESS: 349 MAGNOLIA AVE

BUILDING PERMIT(S) - BB 1821383 BB _____
BCB _____ BCB _____
BFW _____ BFW _____

TRADE PERMIT(S) - BE _____ BP _____
BM _____ BS _____
BSOLAR _____

ISSUE DATE: _____

ARCHIVE

SPECIAL CONDITIONS OF APPROVAL:

NONE

(Final inspection cannot be approved unless all
listed conditions are met)

SEE BELOW

SEE PLAN PAGE NO. _____

SEE REVERSE FOR GLENDALE CONSTRUCTION PROVISIONS



Permit Services Center
Public Works Department
CITY OF GLENDALE

IMPORTANT PERMIT INFORMATION

Keep Glendale Beautiful!

The Citizens of Glendale are proud of their City and want construction sites to be maintained as well as the adjoining properties. It is also expected that courtesy and respect be shown to the residences of all neighborhoods. We look forward to your anticipated cooperation.

Violations of the Building Code

Violation of the Glendale Building Code are misdemeanors punishable by a \$500 fine or 6 months in jail for each violation and each day a violation exists.

Permitted Work Hours

All exterior construction work within 500 feet of any residential property is limited to between 7:00 am and 7:00 pm Monday through Saturday. It is not permitted on Sundays or holidays.

Use of Sidewalks or Streets

A permit is required for all use of the public way for storage or trash containers.

Plan Revisions

When you wish to change anything on the approved set of plans, PLEASE:

- 1. Check with your inspector:**
First ask your inspector if revised plans will be needed. For many types of small changes, nothing will be needed. However, new updated pages or sets of plans will be required for most changes.
- 2. All changes must be in writing:**
When updated plans are needed, make the changes to the current approved plans by copying the approved plans, making the changes and then clouding or highlighting all areas intended to be changed. (Make sure that you update all sheets affected by the changes.) Then make two copies of the revised plans. (If an Engineer or Architect prepared the plans, make sure that they stamp and sign the revised sheets of plans.)
- 3. Contact the original Plan Checker:**
After you make the updated copies, call the **PLAN REVIEW PERSON** who originally approved the plans to set an appointment to have the plans reviewed.
- 4. Don't forget the Approved Plans:**
Bring in the *two new copies of the revisions* AND the *approved set* of plans to your appointment with your Plan Review Person. The plan review person will review the changes and inform you of any other Departments that may need to review the changes. Make sure your appointment is scheduled for the morning so that if you need to have the changes reviewed by other agencies, they can do it in the same day.
- 5. Take the new set of approved plans to the Job Site:**
You will always need to have the most current set of approved plans on the site for the Building Inspector.

Roof Top Mechanical Equipment

Roof top equipment is not allowed on single family dwellings.

Sanitary Facilities

All construction sites shall be provided with sanitary facilities for the construction personnel for the project. Temporary facilities may not be located within the public way.

Fire Stopping

If required details for penetrations through rated walls are not specified on the plans, the product proposed to be used by the contractor shall be approved as a plan revision prior to installation by the contractor.

Survey of Property Line Location

A survey, by a person licensed by the State of California to perform surveys, may be required to locate the legal property lines for new foundations.

Control of site Debris

The person in charge of a construction project is responsible for prohibiting construction debris, (including dust, paper, materials, oil, or paint etc.) from leaving the site, including the public streets, alleys or adjoining parcels.

Use and Protection of Adjacent sites

No permit issued by the City of Glendale may authorize a person to use an adjoining property for the construction of a project nor does it permit you to restrict the use of a neighboring property by blocking access to the parcel. The persons in charge of construction projects are responsible for obtaining any approval for use of an adjoining property and for protecting the adjoining property from damage during a construction project.

Protection of the Public Property and Pedestrians.

Where any portion of the building or construction is closer than 6' to the Public Way or more than 8' high, construction barricades consisting of railings, fences or canopies may be required. A walkway not less than 4' wide must be maintained in the front of the site. The walkway surface must be durable and capable of supporting a live load of at least 150 psf. Space under canopies shall be well lighted continuously between sunset and sunrise.

Approved Plans

It is the responsibility of the person in charge of the project to insure that the approved plans are available on the site at the time of all inspections and are maintained in an organized, readable and complete manner.

Building Card

The building card shall be on-site and available to the inspector at the time of all inspections.

CITY OF GLENDALE
Building & Safety Division
633 E. Broadway, Room 101
Glendale, CA 91206

TBP ARCHITECTURE
4611 TELLER AVE
NEWPORT BEACH, CA 92660

CITY OF GLENDALE

Building & Safety Division

NOTICE

- Your Plans have been checked, corrections are ready for pick up.
- Your Plans have been checked, permit is ready to be issued.
- Your plan check has expired, plans will be disposed of

If not picked up by ____/____/____

Plan check or Permit # _____

Address: _____

Phone # 949 673-0300

— Cell # 714 277-8156

— E-mail Address: BHouser@TBPARCHITECTURE.COM

Inspector - Checker

____/____/____
Date



CITY OF GLENDALE - BUILDING AND SAFETY
633 E. Broadway, Room 101 Glendale, CA 91206 - (818) 548-3200, 548-4830 (Inspection)

FAST TRACK

BUILDING PERMIT WORKSHEET

Separate applications are required for Electrical, Plumbing, Heating/Air Conditioning, Fire Sprinklers, B R C, and Signs

Application No. B (B) 1821383

Please complete the section below clearly, legibly and in ink

PROJECT ADDRESS, CITY AND ZIP: 349 magnolia avenue, glendale, ca 91404 UNIT (SUITE) NO.: N/A

BLDG TYPE: DWELLING / DUPLEX COMMERCIAL APARTMENT / CONDO MIXED USE SCOPE OF CONSTRUCTION: ADDITION ALTERATION / REPAIR NEW DEMOLITION NO PLAN REQUIRED NEW C OF O

DESCRIPTION OF CONSTRUCTION ACTIVITY: New Site fence to replace existing. New landscaping & parking re-stripping in proximity of new fence.

Cost of Construction: (Includes all materials and labor costs. This may be revised by the Building Official.) \$60,000 Revised Valuation: \$ CHECK THIS BOX IF WORK HAS ALREADY STARTED. Double the permit fee will be charged for legalization.

APPLICANT'S NAME: Brett Houser MAILING ADDRESS: 4611 Teller Avenue PHONE NO.: 949 673-0300
E-MAIL ADDRESS: bhouser@tbparchitecture.com
PROPERTY OWNER'S NAME: Glendale Unified School District MAILING ADDRESS: 349 Magnolia Avenue, Glendale, CA 91204
LICENSED DESIGN PROFESSIONAL (ARCHITECT OR ENGINEER IN CHARGE OF THE PROJECT) INFORMATION: NAME: Hung Cheng MAILING ADDRESS: 4611 Teller Avenue PHONE NO.: 949 673-0300 LICENSE NO.: C34187
E-MAIL ADDRESS: hcheng@tbparchitecture.com

CALIFORNIA LICENSED CONTRACTOR'S DECLARATION: I herby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

CONTRACTOR'S NAME: Public Bid COMPANY NAME: MAILING ADDRESS: PHONE NO.:
E-MAIL ADDRESS:
LICENSE CLASS AND NUMBER: CONTRACTOR SIGNATURE:

STAFF USE ONLY BELOW THIS LINE									
APN NO. 5640-007-900	LOT	TRACT NO.	HIGH FIRE / HAZARD ZONE <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		ZONE USE Comm	NAICS / STRUCTURE USE 1-5		P.C. FEE Y N	
STRUCT. OCC. 1-5	OCC. FLOOR AREA 1-5	OCC. LOAD 1-5	STORIES 1	BASEMENT P	MEZZ P	TYPE OF CONSTRUCTION 1 2		ACCESSIBILITY Y N	
GUSD FLOOR AREA COMM'L	RESIDENTIAL	BLDG. FLOOR AREA ABOVE GRADE		BELOW GRADE		ZONING BLDG. HEIGHT		ENERGY Y N	
FIRE SPRKLR	EDITION OF THE CODE 2017	STANDARD PARKING	ACTUAL	REQUIRED	DWELLING UNITS	BEDROOMS		CAL-GREEN Y N	
STAFF COMMENTS, (INITIALS) OK to 546mH K.M. 8/14/18								FIRE Y N	
								SOIL REPORT Y N	
								HOURS:	
								STRONG MOTION Y N	

OK TO SUBMIT/EXPRESS BY: [Signature] DATE: 8/14/18 ACCEPTED BY: [Signature] DATE: 8/14/18 RECEIPT NO.: 278995
ENGINEERING: [Signature] DATE: 1/24/2019 Plan Check Expiration Date: 8/14/19
ZONING: [Signature] DATE: 1/24/19
FIRE: [Signature] DATE: 8/14/18
DESIGN REVIEW: [Signature] DATE: 8/14/18
FOG: [Signature] DATE: 9/19/18
BLDG. PLAN CHECK: [Signature] DATE: 9/19/18
OK TO ISSUE PERMIT BY: [Signature] DATE: 9/19/18 ACCEPTED BY: [Signature] DATE: RECEIPT NO.:

SUPP. P.C. FEE	Y	N
PERMIT FEE	Y	N
ARCHIVE FEE (PAGES)	Y	N

RTI WITH DEPARTMENT APPROVALS.

ADDRESS: 349 Magnolia Avenue, Glendale, CA 91204

PERMIT NO. BB 1821383

Please Draw a Plot Plan: Locate all structures on lot



A large rectangular area with a black border, intended for drawing a plot plan. The area is mostly blank, with some faint, illegible handwritten markings and a small red dot near the bottom left corner.



BBP Architecture
4811 Tenth Avenue
Newport Beach, CA 92660
PH: 949.773.0000 FX: 949.773.3895



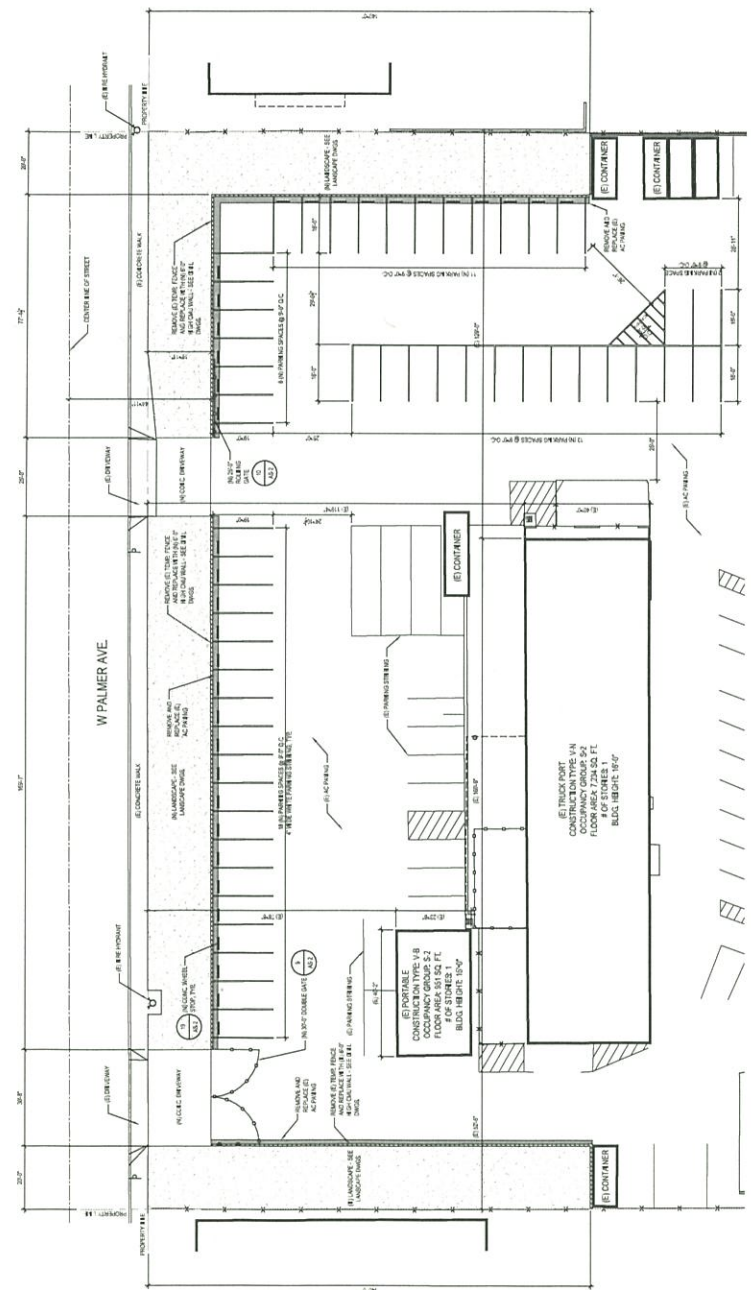
CONTRACT NO. _____
DATE: _____

GUSD FASO YARD
IMPROVEMENTS
349 MAGNOLIA AVENUE
GLENDALE, CA 91204

owner:	
BBP project number:	2886
drawn by:	checked by:
date: 04/20/18	
Rev. 1	date:
Rev. 2	date:
Rev. 3	date:
Rev. 4	date:
Rev. 5	date:
Rev. 6	date:
Rev. 7	date:
Rev. 8	date:
Rev. 9	date:
Rev. 10	date:
Rev. 11	date:
Rev. 12	date:
Rev. 13	date:
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Rev. 92	date:
Rev. 93	date:
Rev. 94	date:
Rev. 95	date:
Rev. 96	date:
Rev. 97	date:
Rev. 98	date:
Rev. 99	date:
Rev. 100	date:

drawing title:
ENLARGED SITE PLAN

drawing no.:
AS-1
drawing of



ENLARGED SITE PLAN
SCALE: 1/8" = 1'-0"

GENERAL NOTES

1. VERIFY ALL UTILITIES AND RECORDS BEFORE ANY CONSTRUCTION WORKING AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
2. LOCATIONS OF ALL UTILITIES SHOWN ARE PRELIMINARY. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES AND RECORDS BEFORE ANY CONSTRUCTION WORKING. CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL UTILITIES AND RECORDS. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES AND RECORDS BEFORE ANY CONSTRUCTION WORKING.
3. SEE THE CONTRACT FOR ALL MATERIALS, FINISHES, AND SPECIFICATIONS.
4. REFER TO THE CONTRACT FOR ALL MATERIALS, FINISHES, AND SPECIFICATIONS.