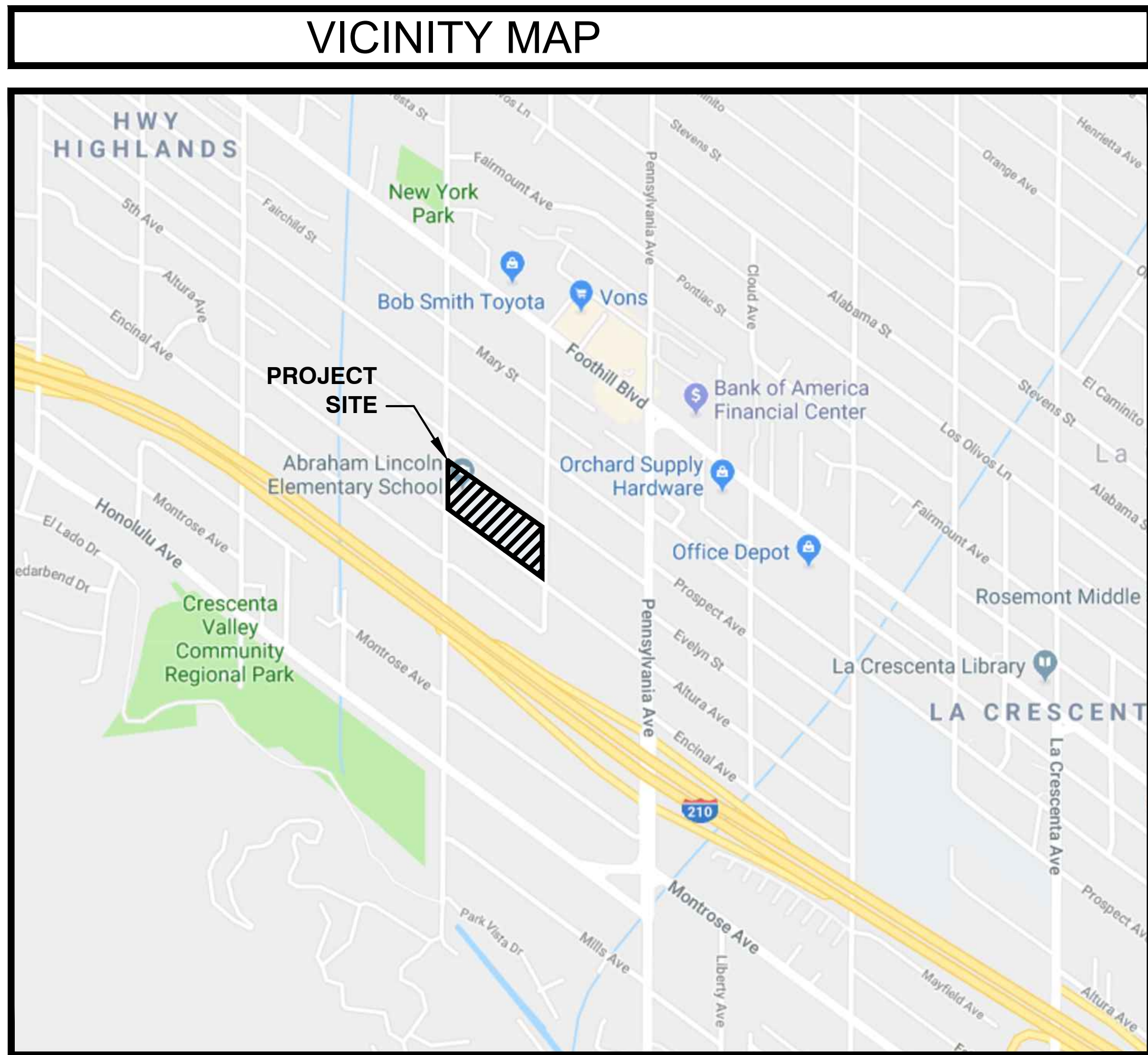


ABRAHAM LINCOLN ELEMENTARY SCHOOL

WINDOW REPLACEMENT

4310 NEW YORK AVENUE GLENDALE, CA 91214
GLENDALE UNIFIED SCHOOL DISTRICT



GENERAL NOTES

- ALL WORK SHALL CONFORM TO 2016 EDITION TITLE 24, CALIFORNIA CODE OF REGULATIONS (CCR).
- CHANGES TO THE APPROVED DRAWINGS AND SPECIFICATIONS SHALL BE MADE BY ADDENDA OR CHANGE ORDERS APPROVED BY THE OWNER.
- THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS THAT THE WORK OF THE ALTERATION, REHABILITATION OR RECONSTRUCTION IS TO BE IN ACCORDANCE WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS. SHOULD ANY EXISTING CONDITIONS SUCH AS DETERIORATION OR NON-COMPLYING CONSTRUCTION BE DISCOVERED WHICH IS NOT COVERED BY THE CONTRACT DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS, A CHANGE ORDER, OR A SEPARATE SET OF PLANS AND SPECIFICATIONS, DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY THE OWNER BEFORE PROCEEDING WITH THE WORK.

APPLICABLE CODES

PARTIAL LIST OF APPLICABLE CODES AS OF January 1, 2017

2016 California Administrative Code, Part 1, Title 24 C.C.R.*
2016 California Building Code (CBC), Part 2, Title 24 C.C.R.
(2015 International Building Code Volumes 1-2 and 2016 California Amendments)
2016 California Electrical Code (CEC), Part 3, Title 24 C.C.R.
(2014 National Electrical Code and 2016 California Amendments)
2016 California Mechanical Code (CMC) Part 4, Title 24 C.C.R.
(2015) Uniform Mechanical Code and 2016 California Amendments)
2016 California Plumbing Code (CPC), Part 5, Title 24 C.C.R.
(2015) Uniform Plumbing Code and 2016 California Amendments)
2016 California Energy Code (CEC), Part 6, Title 24 C.C.R.
2016 California Fire Code, Part 9, Title 24 C.C.R.
(2015 International Fire Code and 2016 California Amendments)
2016 California Green Building Standards Code, Part 11, Title 24 C.C.R.
2016 California Reference Standards, Part 12, Title 24 C.C.R.
Title 19 C.C.R., Public Safety, State Fire Marshal Regulations.
2013 ASME A17.1(w)/A17.1a/CSA B44-08 addenda) Safety Code For Elevators And Escalators

PARTIAL LIST OF APPLICABLE STANDARDS

| | | |
|-----------|---|--------------|
| NFPA 13 | Automatic Sprinkler Systems | 2016 Edition |
| NFPA 14 | Standpipe and Hose Systems | 2013 Edition |
| NFPA 17 | Dry Chemical Extinguishing Systems | 2013 Edition |
| NFPA 17a | Wet Chemical Extinguishing Systems | 2013 Edition |
| NFPA 20 | Stationary Pumps for Fire Protection | 2016 Edition |
| NFPA 22 | Water Tanks for Private Fire Protection | 2013 Edition |
| NFPA 24 | Private Fire Mains & Their Appurtenances | 2016 Edition |
| NFPA 25 | Standard for Inspection, Testing and Maintenance of Water-Based Fire Protection Systems | 2013 Edition |
| NFPA 72 | National Fire Alarm & Signaling Code | 2016 Edition |
| NFPA 80 | Fire doors and Other Opening Protectives | 2016 Edition |
| NFPA 92 | Standard for Smoke Control Systems | 2015 Edition |
| NFPA 253 | Critical Radiant Flux of Floor Covering Systems | 2015 Edition |
| NFPA 2001 | Clean Agent Fire Extinguishing Systems | 2015 Edition |
| ICC 300 | ICC Standards on Bleachers, Folding and Telescoping Seating and Grand Stands | 2012 Edition |
| UL 300 | Fire Testing of Fire Extinguishing Systems for Protection of Restaurant Cooking Areas | 2005 Edition |
| UL 464 | Audible Signal Appliances | 2003 Edition |
| UL 521 | Heat Detectors for Fire Protective Signaling Systems | 1999 Edition |

Reference code section for NFPA Standards— 2016 CBC (SFM) Chapter 35.
See Chapter 35 for State of California amendments to NFPA Standards.

*California Administrative Code, Part 1, Chapter 10, Administrative Regulations for the California Energy Commission (CEC).

SHEET INDEX

ARCHITECTURAL

- T-1 TITLE SHEET
- A-2.0 DEMO, RENOVATION PLANS & ELEVATIONS
- A-2.1 EXISTING WINDOW DETAILS
- A-6.0 EXTERIOR AND INTERIOR ELEVATIONS
- A-7.0 WINDOW DETAILS
- A-7.1 WINDOW TYPES, SCHEDULE AND REQUIREMENTS

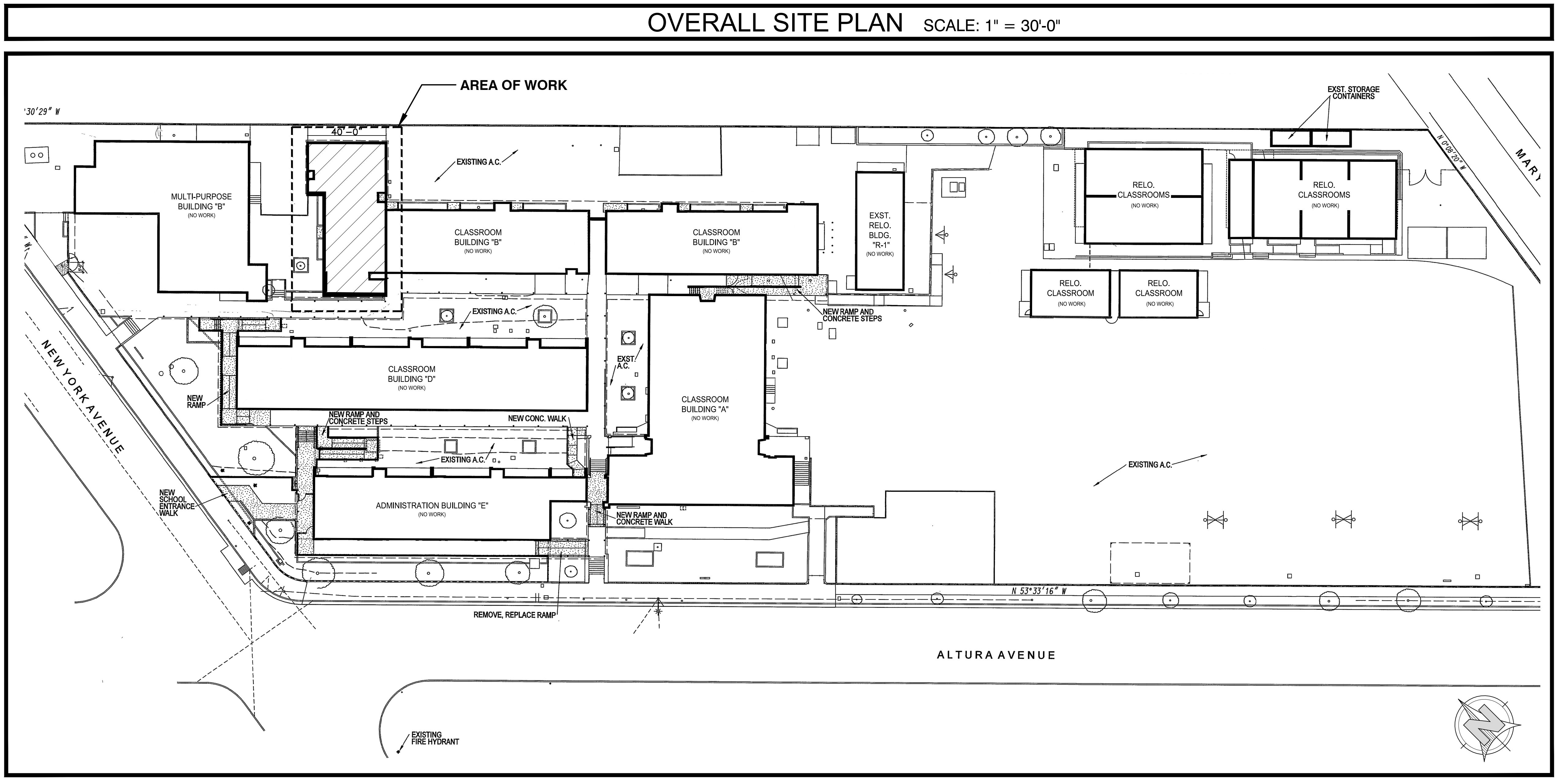
PROJECT DIRECTORY

CLIENT / OWNER:
GLENDALE UNIFIED SCHOOL DISTRICT
349 MAGNOLIA AVE.
GLENDALE, CA 91204
(818) 507-0201
(818) 507-4911

ARCHITECT:
DC ARCHITECTS
820 N. MOUNTAIN AVE., SUITE 200
UPLAND, CALIFORNIA 91786
(909) 985-6939
(909) 985-0864 FAX
RICHARD DUNCAN

ABBREVIATIONS

| | | | | | |
|---------|-----------------------|---------|-------------------------|--------|---------------------------|
| @ | AT THE RATE OF | F.D. | FLOOR DRAIN | S.A.T. | SUSPENDED ACOUSTICAL TILE |
| A.C. | ASPHALTIC CONCRETE | F.F. | FACTORY FINISH | S.C. | SOLID CORE |
| A.C.C. | ACCESSIBLE | F.G. | FINISH GRADE | S.D. | STORM DRAIN |
| ACT. | ACOUSTIC TILE | FIN. | FINISH | S.S. | SERVICE SINK |
| A.D. | AREA DRAIN | FL. | FLOW LINE | S.V. | SHEET VINYL |
| ADJ. | ADJUSTABLE | F.R. | FLOOR | T.C. | TOP OF CONC. OR CURB |
| AFF | ABOVE FINISHED FLOOR | F.O.C. | FACE OF CONCRETE | T.O.R. | TOP OF RIDGE |
| ALUM. | ALUMINUM | F.O.S. | FACE OF STUD | T.O.S. | TOP OF SHEATHING |
| ANOD. | ANODIZED | F.V. | FIELD VERIFY | TYP. | TYPICAL |
| ARCH. | ARCHITECT | G.A. | GRADE | U.B.C. | UNIFORM BUILDING CODE |
| BC | BOOK CASE | GL. | GLASS | UNO | UNLESS NOTED OTHERWISE |
| BD./BID | BOARD | GYP./BD | GYP/SUM BOARD | V.T. | VINYL TILE |
| B.M. | BENCH MARK | H.C. | HOLLOW CORE | W/ | WITH |
| CAB. | CABINET | H.M. | HOLLOW METAL | W.C. | WATER CLOSET |
| CL.G. | CERAMIC TILE | INSUL. | INSULATION | WD. | WOOD |
| CL. | CENTER LINE | L.V. | LAVATORY | W.D. | WINDOW |
| C.O. | CLEAN OUT | L.P. | LAMINATED PLASTIC | W.H. | WATER HEATER |
| COL. | COLUMN | MET. | METAL | W.P. | WATERPROOF |
| CONT. | CONTINUOUS | MFR. | MANUFACTURER | W.R. | WATER RESISTANT |
| CONC. | CONCRETE | MIN. | MINIMUM | | |
| CONTR. | CONTRACTOR | MISC. | MISCELLANEOUS | | |
| CFCI | CONTRACTOR FURNISHED, | MTD. | MOUNTED | | |
| | CONTRACTOR INSTALLED | MTL. | METAL | | |
| | | (N) | NEW | | |
| CPT. | CARPET | N.I.C. | NOT IN CONTRACT | | |
| CT. | CERAMIC TILE | O.C. | ON CENTER | | |
| DET. | DETAIL | OFCI | OWNER FURNISHED, | | |
| DIM. | DIMENSION | | CONTRACTOR INSTALLED | | |
| DR. | DOOR | OFOI | OWNER FURNISHED, | | |
| D.S. | DOWNSPOUT | | OWNER INSTALLED | | |
| DWG. | DRAWING | O.F.D. | OVERFLOW DRAIN | | |
| EA. | EACH | PH | PANIC HARDWARE ON DOORS | | |
| (E.) | EXISTING | PLYWD. | PLYWOOD | | |
| ELECT. | ELECTRICAL | P.S. | PRESSED STEEL | | |
| EQ. | EQUAL | PTD. | PAINTED | | |
| | | T.V. | THERMAL VALVE | | |
| | | R.B. | RUBBER BASE | | |
| | | R.D. | ROOF DRAIN | | |



SCOPE OF WORK

- REMOVE EXISTING WINDOWS AND WINDOW FRAMES AND REPLACE WITH NEW WINDOW REPLACEMENTS AS INDICATED ON DRAWINGS. WINDOW FRAME COLOR TO MATCH EXISTING AND PER DISTRICTS STANDARD.
- REMOVE EXISTING VERTICAL VINYL BLINDS AND REPLACE AS NEEDED PER NEW REPLACEMENT WINDOWS AS SHOWN ON DRAWINGS. CONTRACTOR IS RESPONSIBLE TO REPAIR ANY EXISTING WINDOW TRIMS/SILLS/CASINGS AND ADJACENT AREAS WHERE DAMAGES OCCURRED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITIONS. PAINT COLORS TO MATCH EXISTING EXTERIOR AND/OR INTERIOR FINISHES.
- CONTRACTOR TO REMOVE AND DISPOSE OF ALL ASBESTOS, LEAD AND PCB CONTAMINATED MATERIAL ASSOCIATED WITH EXTERIOR WINDOW REPLACEMENT AS SHOWN ON DRAWINGS.

REVISONS

DC | ARCHITECTS

820 N. MOUNTAIN AVENUE
SUITE 200
UPLAND, CA 91786

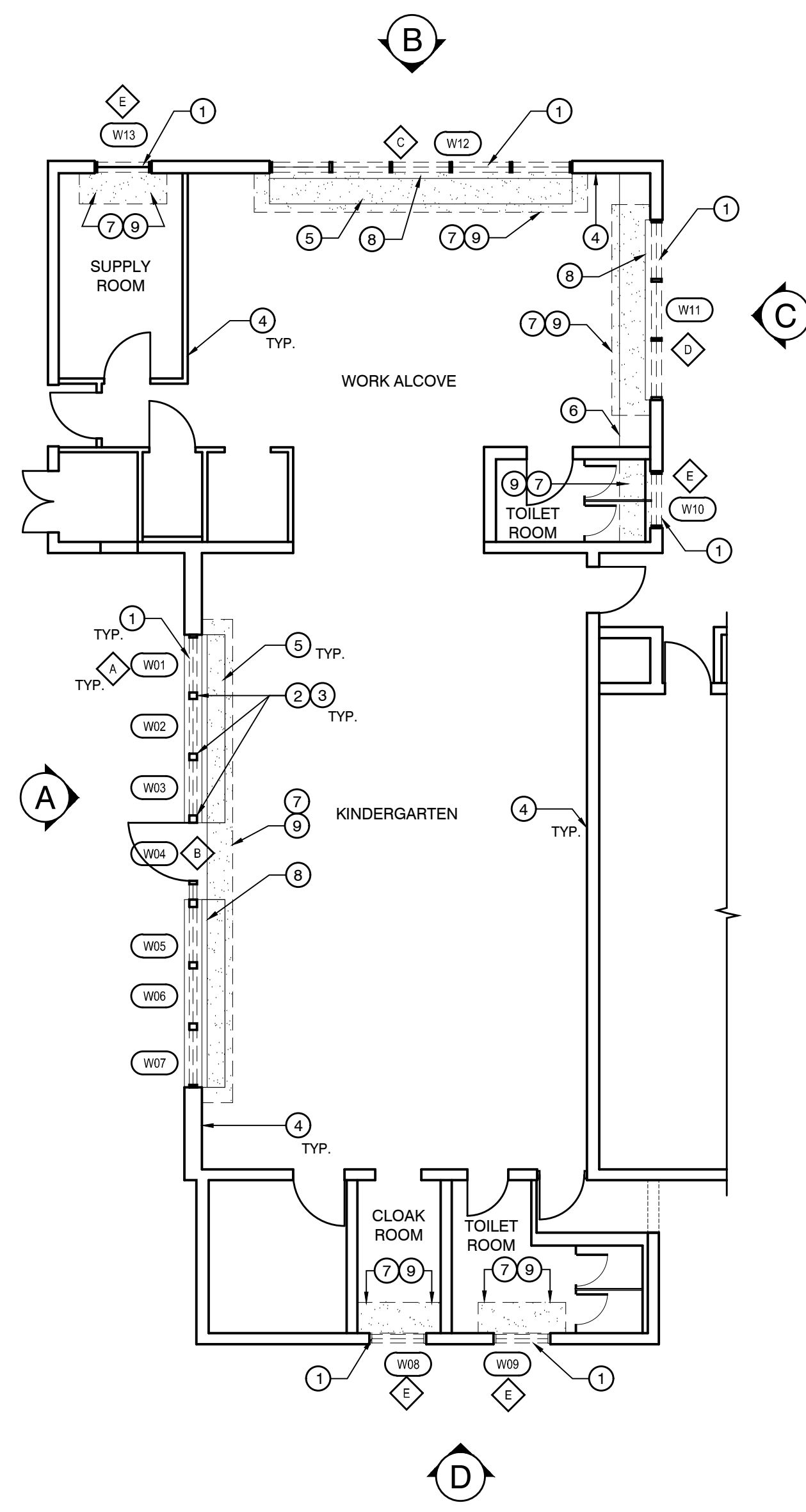
(909) 985-6939 OFFICE
(909) 985-0864 FAX

WINDOW REPLACEMENT
LINCOLN ELEMENTARY SCHOOL
4310 NEW YORK AVENUE
LA CRESCENTA, CA 91214
GLENDALE UNIFIED SCHOOL DISTRICT

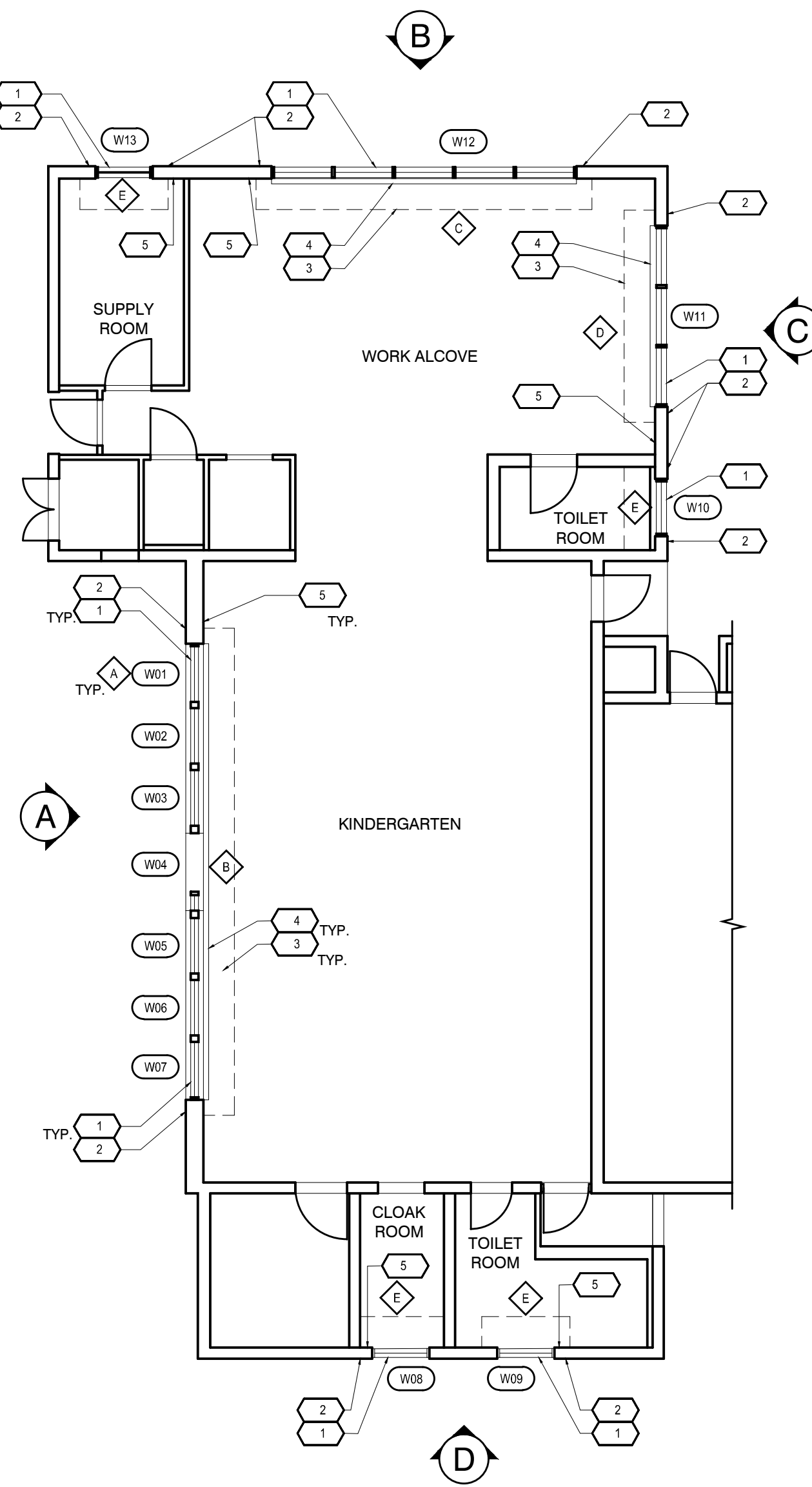
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2019-009
QUANTITY: ACT
DATE: 08/23/2019
SCALE:

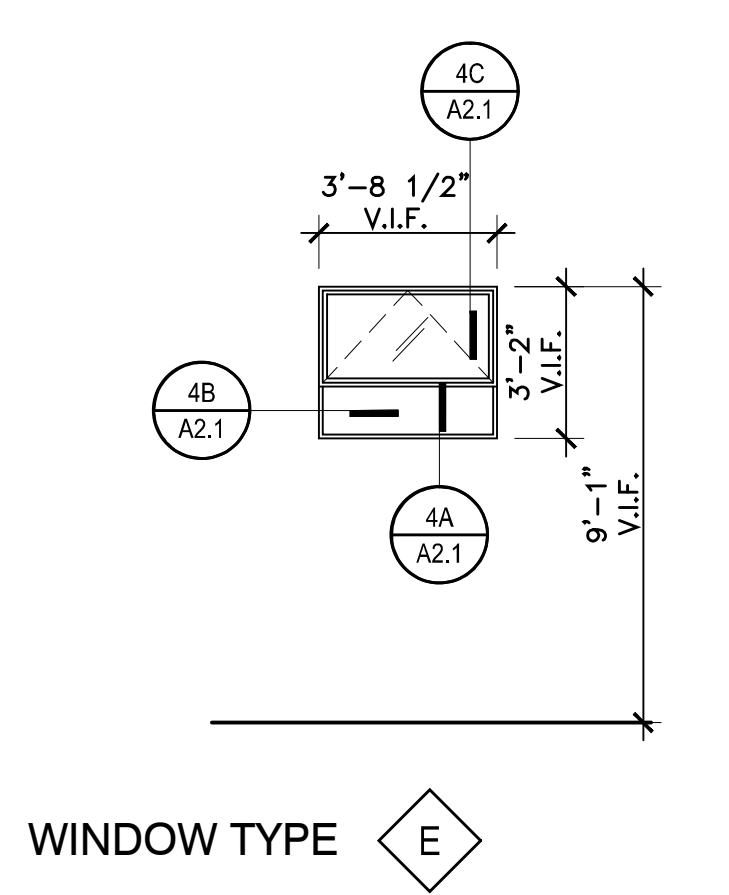
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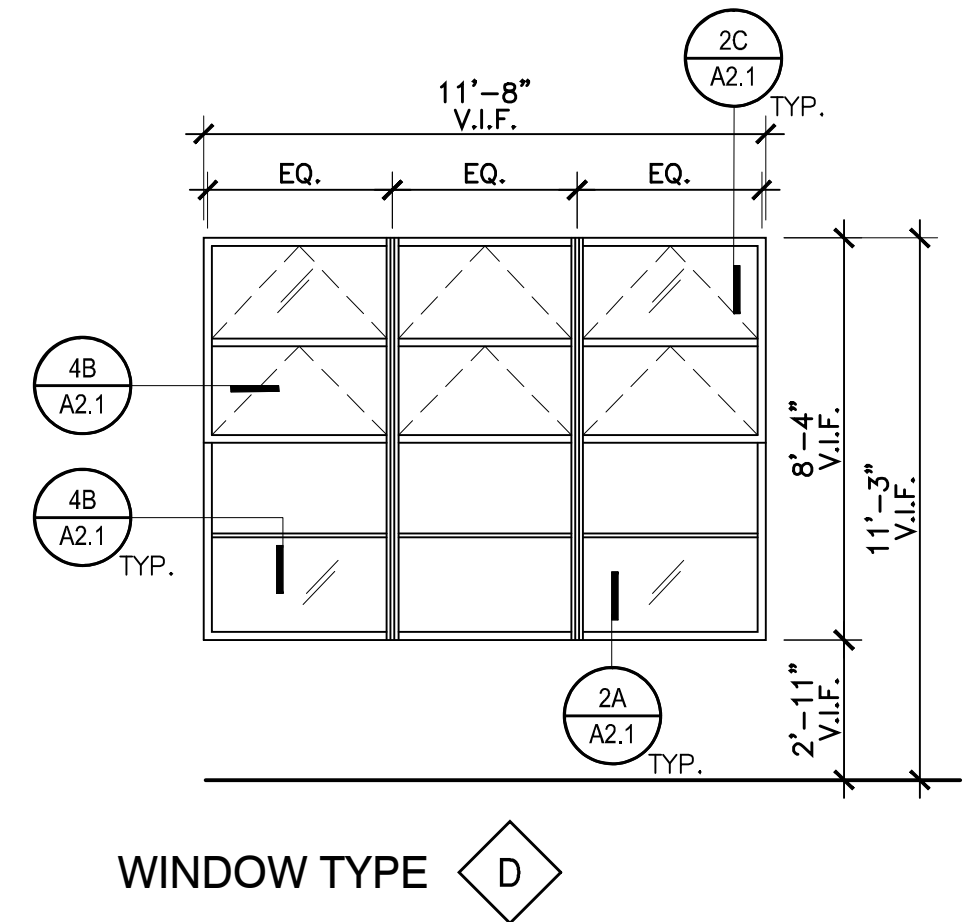
DEMOLITION PLAN 1/8"= 1'-0" 4



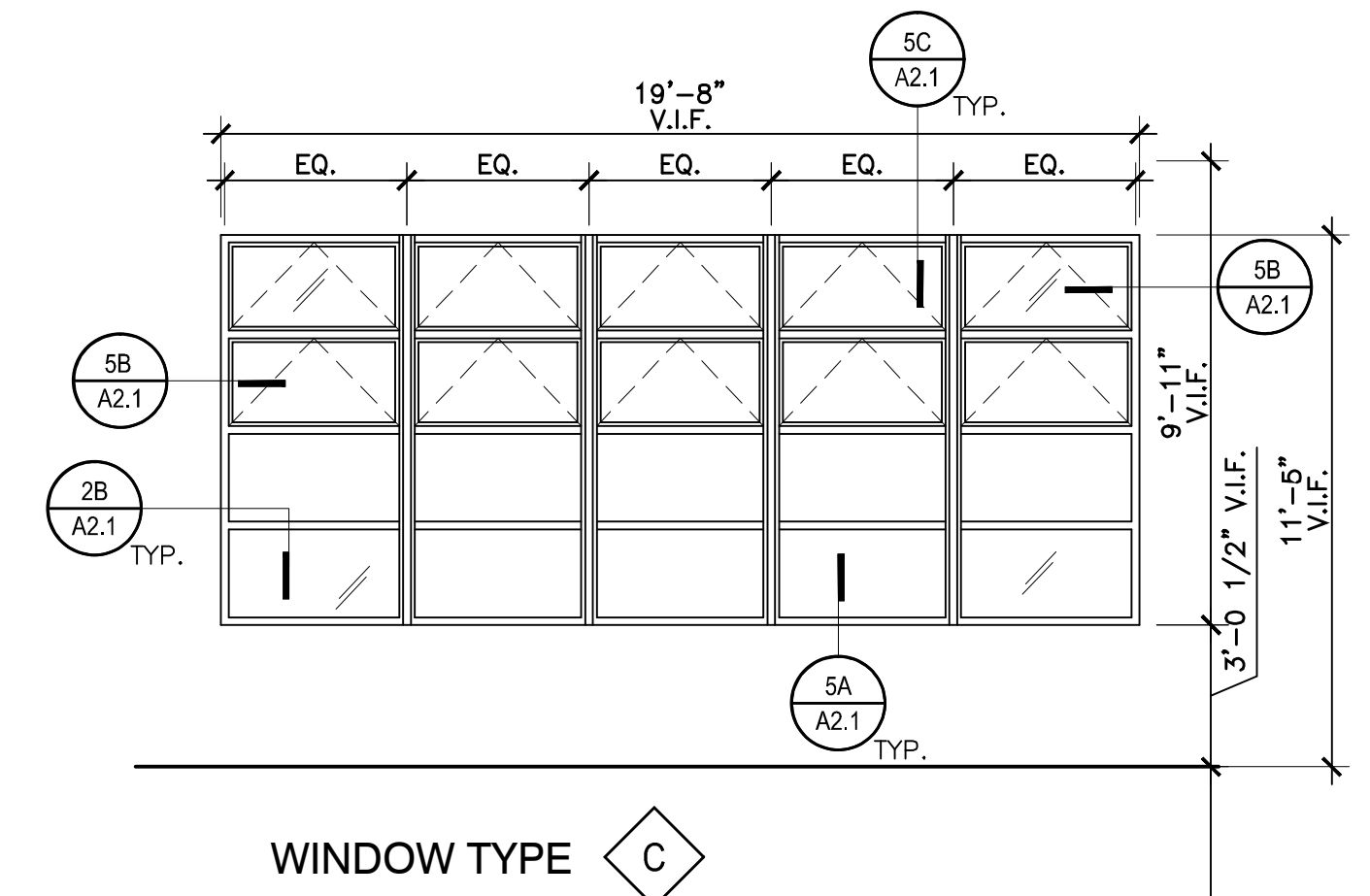
RENOVATION PLAN 1/8"= 1'-0" 1



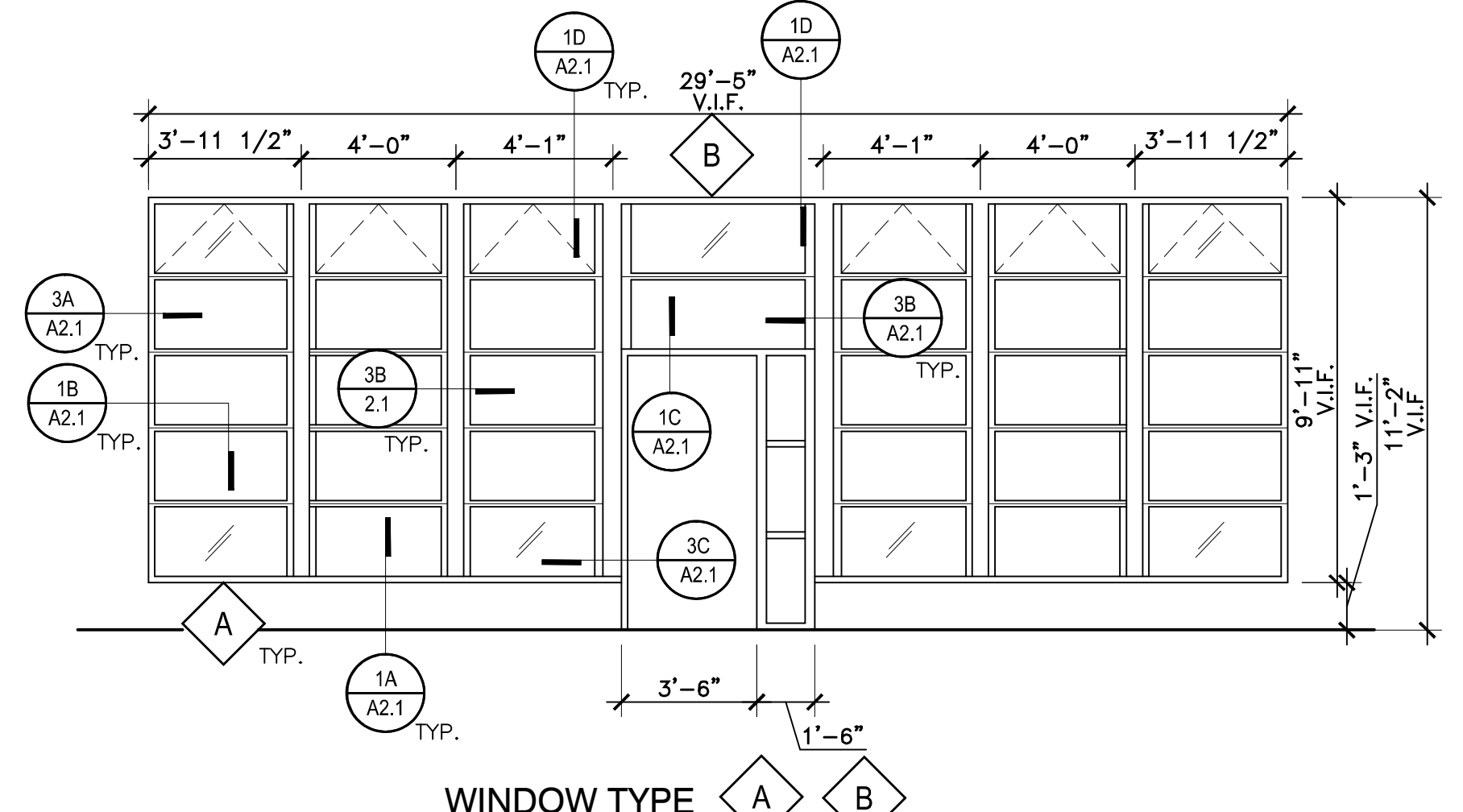
ELEVATION B/C/D 1/4"= 1'-0" 1



ELEVATION C 1/4"= 1'-0" 1



ELEVATION B 1/4"= 1'-0" 2



ELEVATION A 1/4"= 1'-0" 4

GENERAL NOTES

1. PROTECT ANY IMMEDIATE ADJACENT AREAS OF DEMOLITION WORK AND INTERIOR FINISHES FROM DAMAGE; COORDINATE DEMOLITION EFFORTS WITH NEW CONSTRUCTION.
2. IF SALVAGING MATERIALS, STORE SAFELY ON SITE TO AVOID DAMAGE.
3. GENERAL CLEANING OF ALL DEBRIS AND LOOSE ITEMS TO BE PART OF DEMOLITION IN PREPARATION AS REQUIRED FOR NEW WORK.
4. CLEAN EXISTING EXPOSED EXTERIOR AND INTERIOR BRICK, TILE OR DRY WALLS OF ALL PAINT.
5. CONTRACTOR SHALL CONTACT ARCHITECT AND OWNER REGARDING QUESTIONS TO DEMOLITION SCOPE OF WORK PRIOR TO PROCEEDING.
6. SEE ELEVATIONS FOR NOTES REGARDING ADDITIONAL INFORMATION FOR WINDOW REPLACEMENT AND EXTERIOR WALL REPAIR.
7. CONTRACTOR TO VISIT SITE TO FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS ASSOCIATED FOR REMOVAL OF ITEMS REQUIRED FOR THE NEW WORK.
8. AT ALL EXISTING PORTIONS TO REMAIN, REMOVE MOLD, MILDEW, ALGAE THROUGHOUT PRIOR TO CONSTRUCTING NEW WORK.
9. ALL DIMENSIONS TO BE FIELD VERIFIED PRIOR TO PROCEEDING THE WORK.
10. ALL WINDOW GLAZING TO BE 20% TINTED GLASS.

PLAN NOTES

- 1. REMOVE [E] WINDOW AT OPENING INDICATED, VERIFY EXISTING CONDITIONS AND CONFIGURATION OF EXISTING OPENING FOR CONFIRMATION OF HEAD, SILL, DETAILS, AND MEANS AND METHODS REQUIRED FOR INSTALLATION OF NEW WINDOWS.
- 2. SECURE OPENING WITH TEMPORARY CONSTRUCTION AS REQUIRED TO ENSURE OPENING REMAINS SECURE FROM INTRUSION AND WEATHER TIGHT.
- 3. PRIOR TO REMOVAL OF WINDOWS, THE ACTUAL SIZE AND LOCATION OF THE STRUCTURAL COMPONENTS AND LOAD BEARING CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR BY MEANS OF SELECTIVE DEMOLITION. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/DOWNER OF ANY UNUSUAL OR HAZARDOUS CONDITION INCLUDING BUT NOT LIMITED TO CRACKS, ABSENCE OF BRACING, OR LOOSE ELEMENTS AND COMPONENTS.
- 4. REMOVAL OF EXISTING WINDOWS AND ALL FIXED TO WINDOW INCLUDING BUT NOT LIMITED TO TRIM, SUBSILLS, ANCHORS, SEALANT RELATED TO THE WINDOW, ETC. EXTENT OF SELECTIVE DEMOLITION SHALL BE AS REQUIRED FOR INSTALLATION OF NEW WORK.
- 5. PREPARE AND PAINT SURFACES OF DAMAGED AREAS DURING DEMOLITION; PREP INCLUDES BUT NOT LIMITED TO REMOVAL OF ALL LOOSE PAINT [] OTHER MATERIAL TO FILL HOLES OR REPAIR DAMAGES OR ROTTED SUBSTRATES, AND REPLACEMENT OF SUBSTRATES IF NOT REPAIRABLE. NEW PAINT SHALL CONSIST OF ONE COAT PRIMER, TWO COATS FINISH. PAINT COLOR TO MATCH EXISTING.
- 6. PROTECT INTERIOR FINISHES DURING CONSTRUCTION.

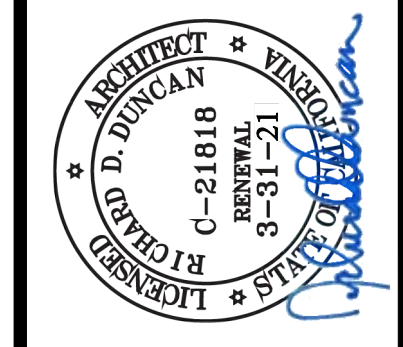
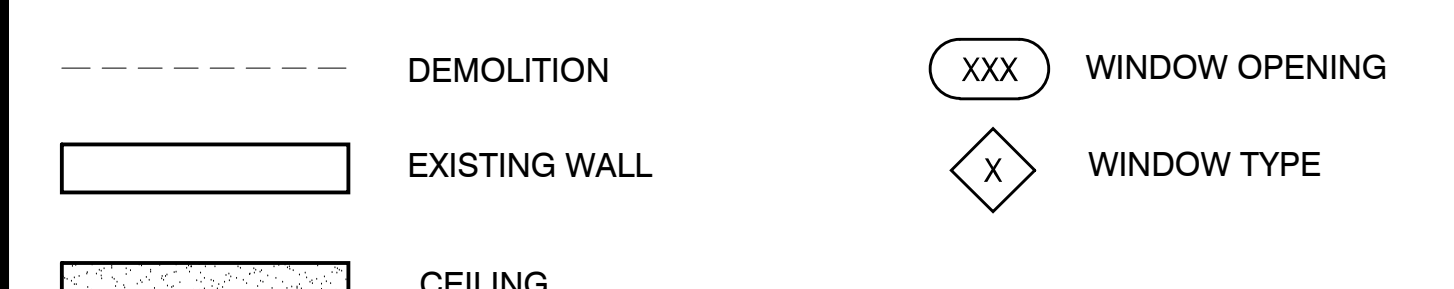
DEMOLITION NOTES

1. REMOVE EXISTING WINDOWS, WINDOW FRAMES, AND VERTICAL VINYL BLINDS AS REQUIRED TO RECEIVE NEW WORK.
2. REMOVE WOOD CLADDING SHOWN AS DASHED LINES AS REQUIRED FOR NEW WORK.
3. DO NOT DISTURB EXISTING STRUCTURAL COMPONENTS [STEEL COLUMN AND NAILERS] AS INDICATED ON PLAN. PROTECT IN PLACE.
4. INTERIOR WALL AND WALL FINISHES TO REMAIN. PROTECT IN PLACE.
5. EXISTING WINDOW SEAT TO REMAIN. PROTECT IN PLACE.
6. EXISTING COUNTER AT WORK ALCOVE TO REMAIN. PROTECT IN PLACE.
7. COORDINATE WITH OWNER'S FIRE PROTECTION CONSULTANT IF ANY CEILING DEMOLITION PRIOR TO PROCEEDING WITH THE WORK.
8. DRAPE POCKET TO REMAIN. PROTECT IN PLACE.
9. PORTION OF EXISTING ACOUSTICAL CEILING OR HARD-LID CEILING TO BE REMOVED DURING DEMOLITION AS REQUIRED FOR NEW WORK. PROTECT AND STORE REMOVED CEILING GRIDS, TILES AND CEILING COMPONENTS IN OWNER-APPROVED STAGING LOCATION DURING DEMOLITION PHASE.

RENOVATION NOTES

1. INSTALL REPLACEMENT WINDOWS AND WINDOW FRAMES PER SCHEDULE AND AS SHOWN ON DRAWINGS.
2. PATCH AND REPAIR ADJACENT WALLS WHERE DAMAGED DURING DEMOLITION. PAINT TO MATCH EXISTING WALL FINISH.
3. REINSTALL ACOUSTICAL CEILING OR HARD-LID CEILING SYSTEMS INCLUDING CEILING GRIDS, TILES, AND CEILING COMPONENTS TO THEIR ORIGINAL CONDITION. REPLACE ANY CEILING COMPONENTS WHERE AFFECTED DURING DEMOLITION.
4. INSTALL VERTICAL VINYL BLINDS. SEE DET. 2 [A-7.0 FOR ADDL INFO.
5. SAND ENTIRE WALL, PATCH HOLES AND DAMAGED AREAS WHERE OCCUR DURING DEMOLITION. PRIME AND PAINT WITH MINIMUM 2-COATS TYPICAL TO MATCH EXISTING FINISH.

LEGEND



| NO. | REVISIONS |
|-----|-----------|
| | |
| | |
| | |

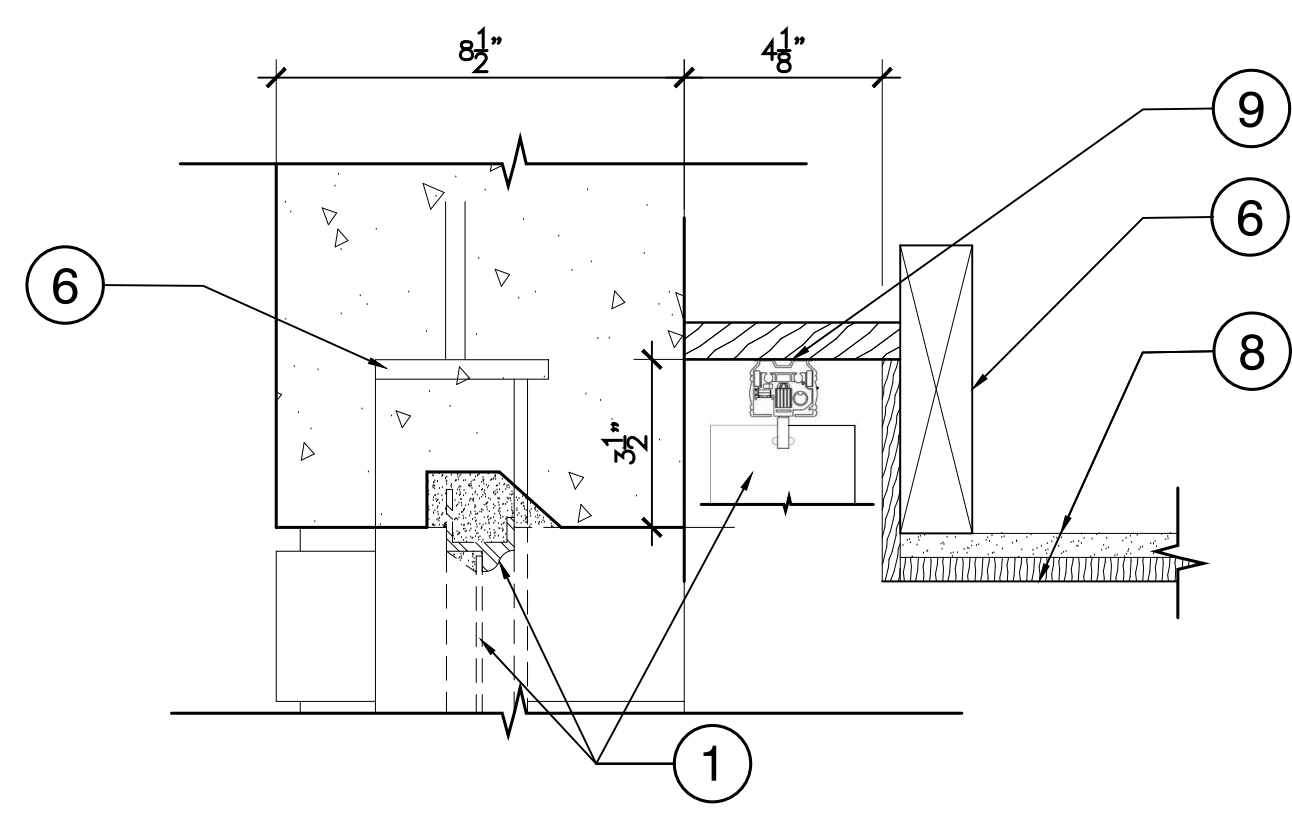
DC ARCHITECTS
 820 N. MOUNTAIN AVENUE
 SUITE 200
 UPLAND, CA 91786
 (909) 986-6838 OFFICE
 (909) 985-0864 FAX

WINDOW REPLACEMENT
 LINCOLN ELEMENTARY SCHOOL
 4310 NEW YORK AVENUE
 LA CRESENTA, CA 91214
 GLENDALE UNIFIED SCHOOL DISTRICT

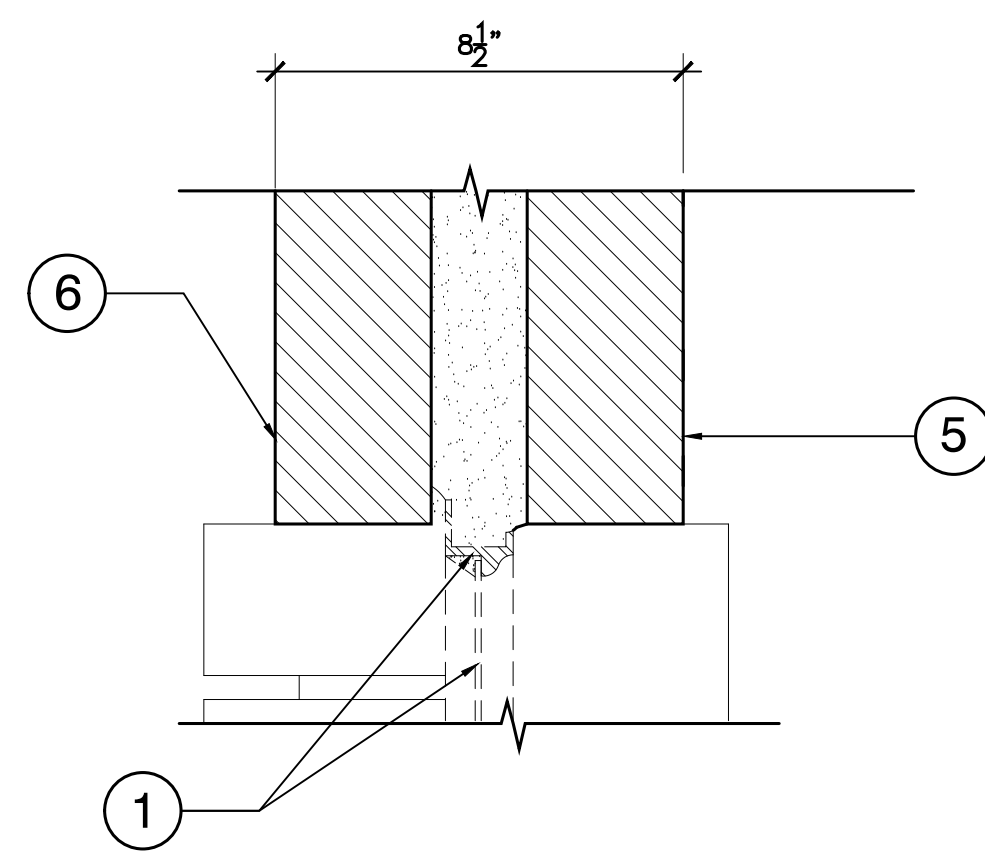
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NO. 2019-009
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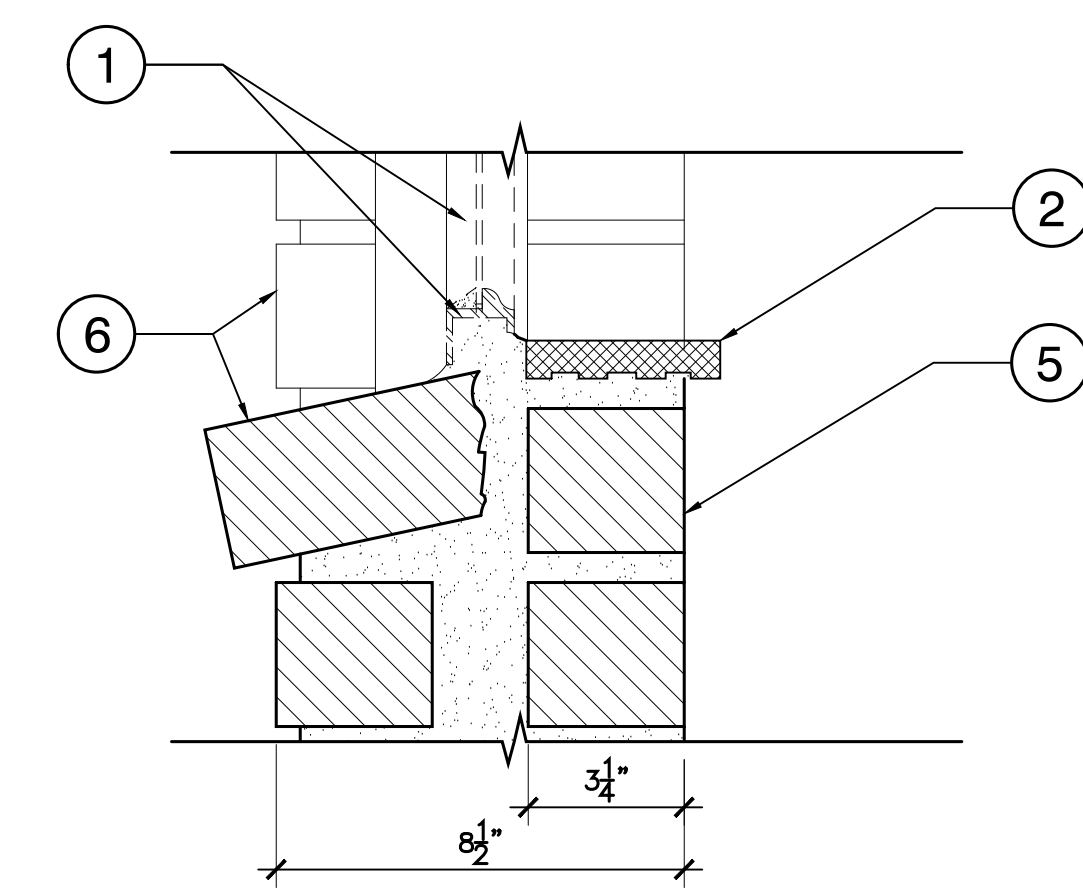
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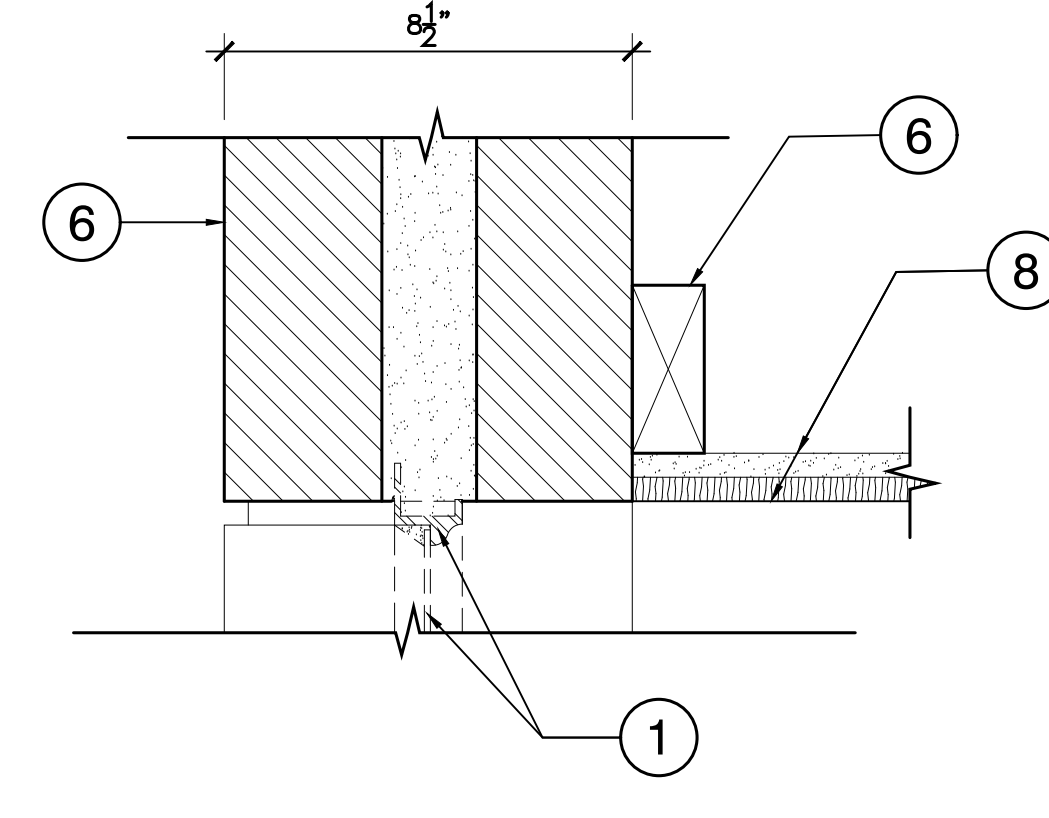
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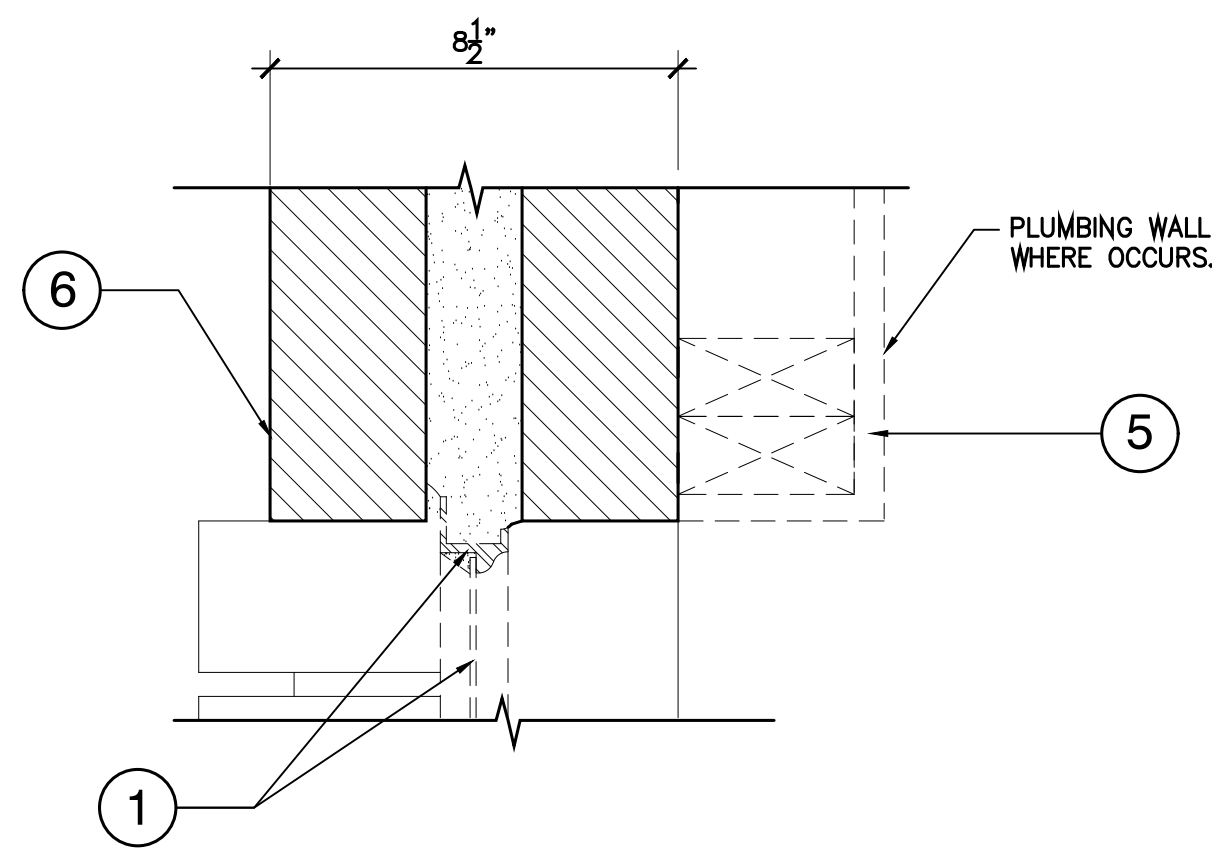
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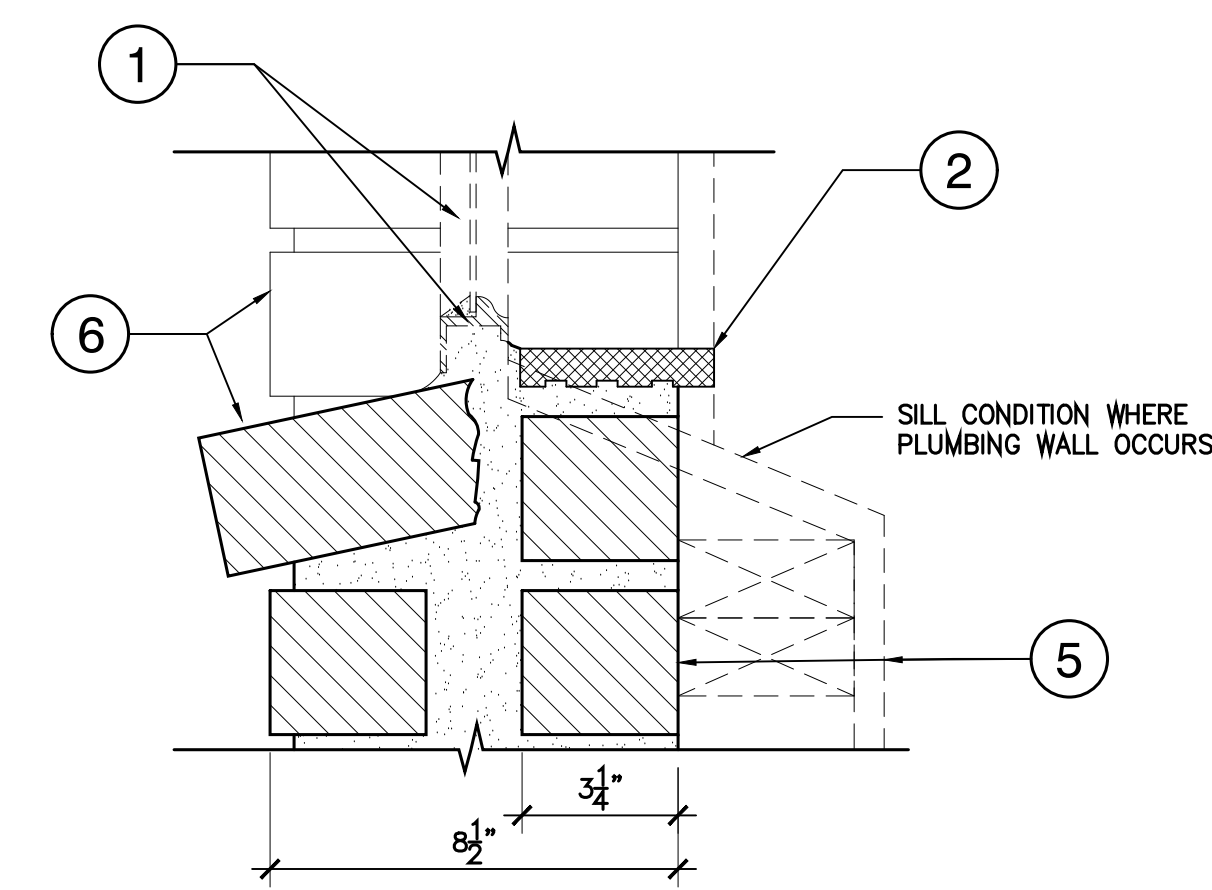
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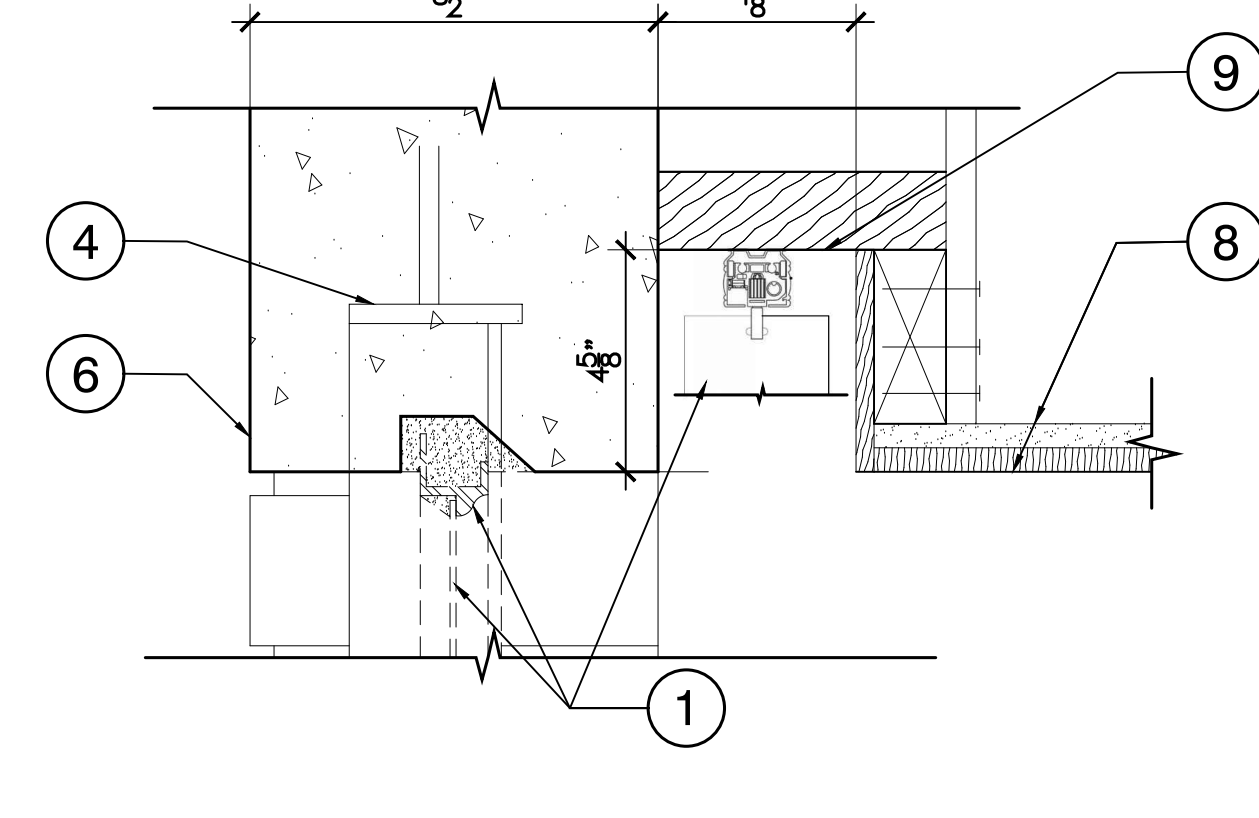
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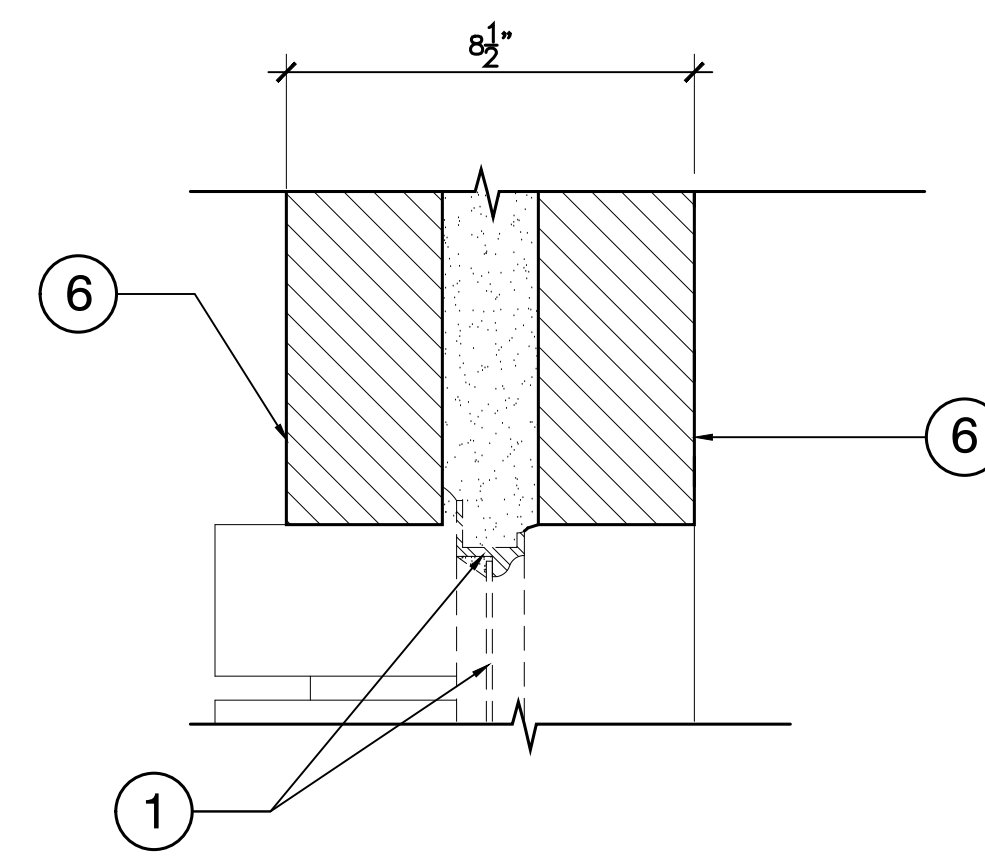
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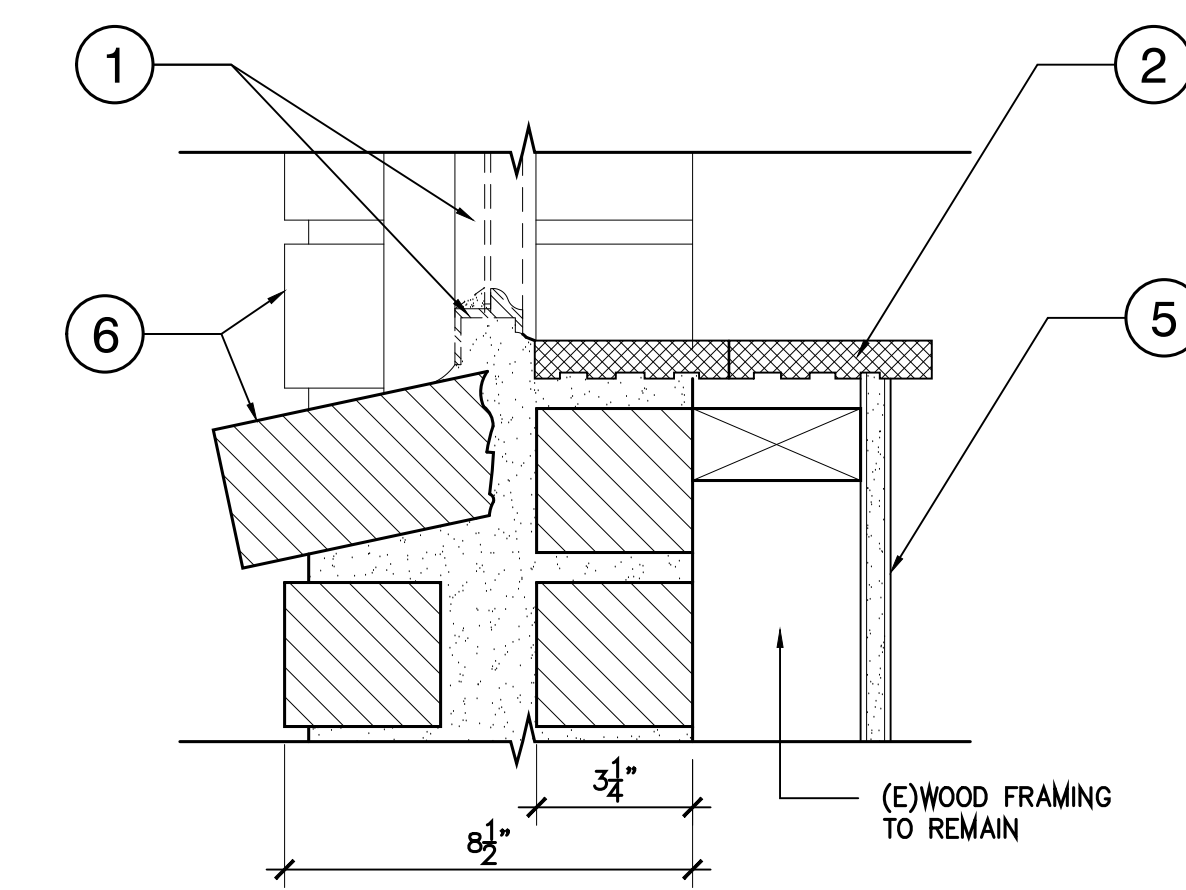
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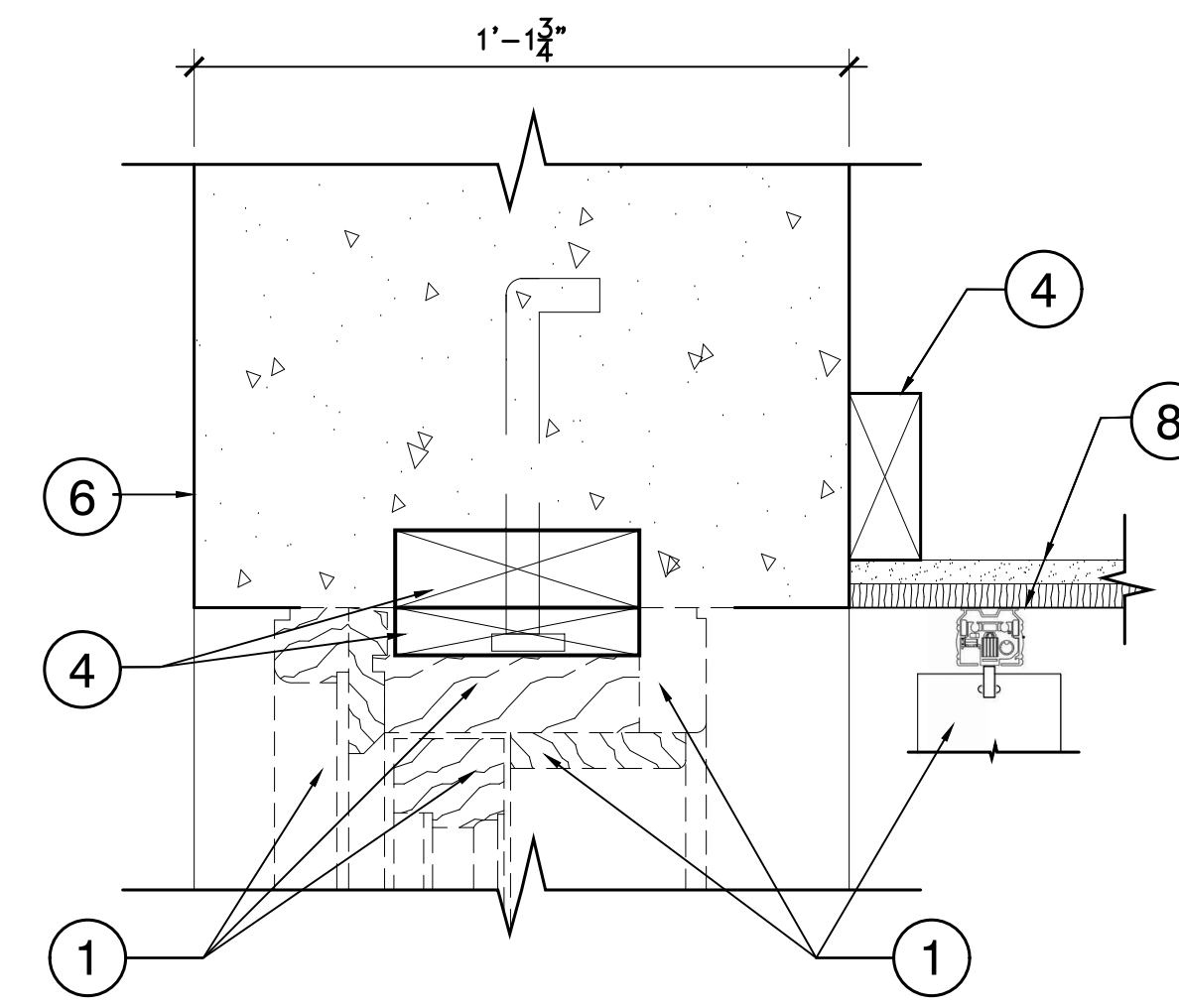
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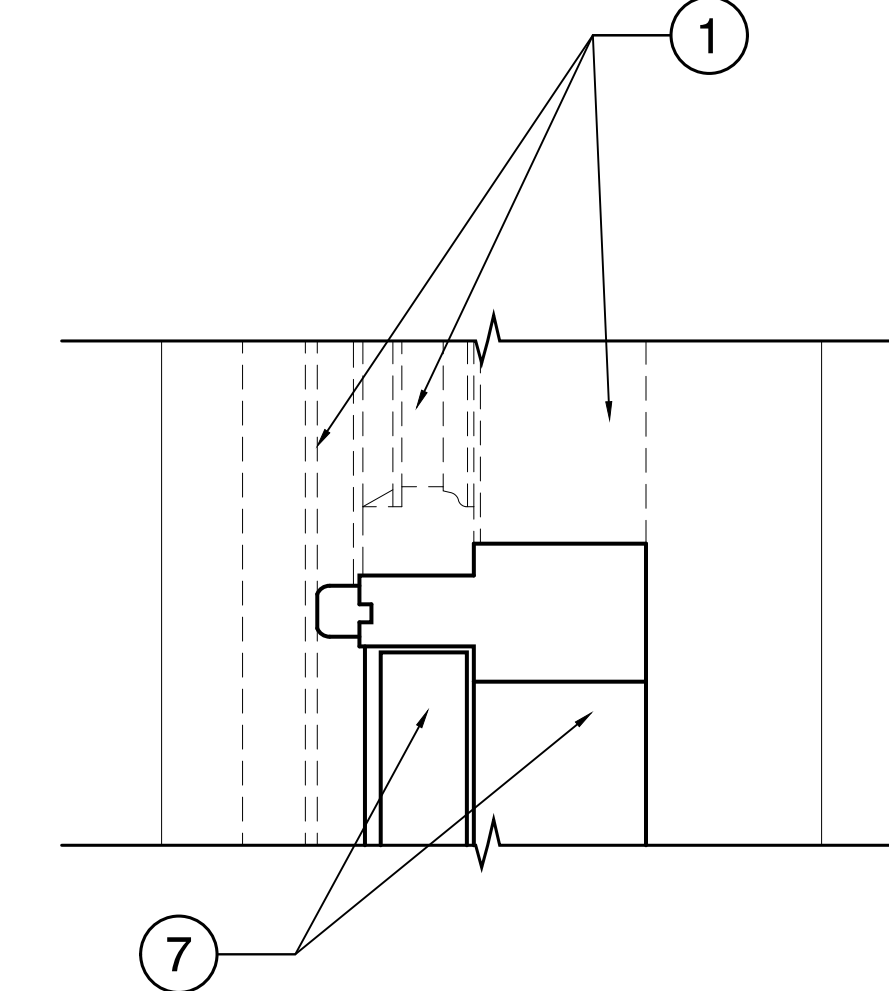
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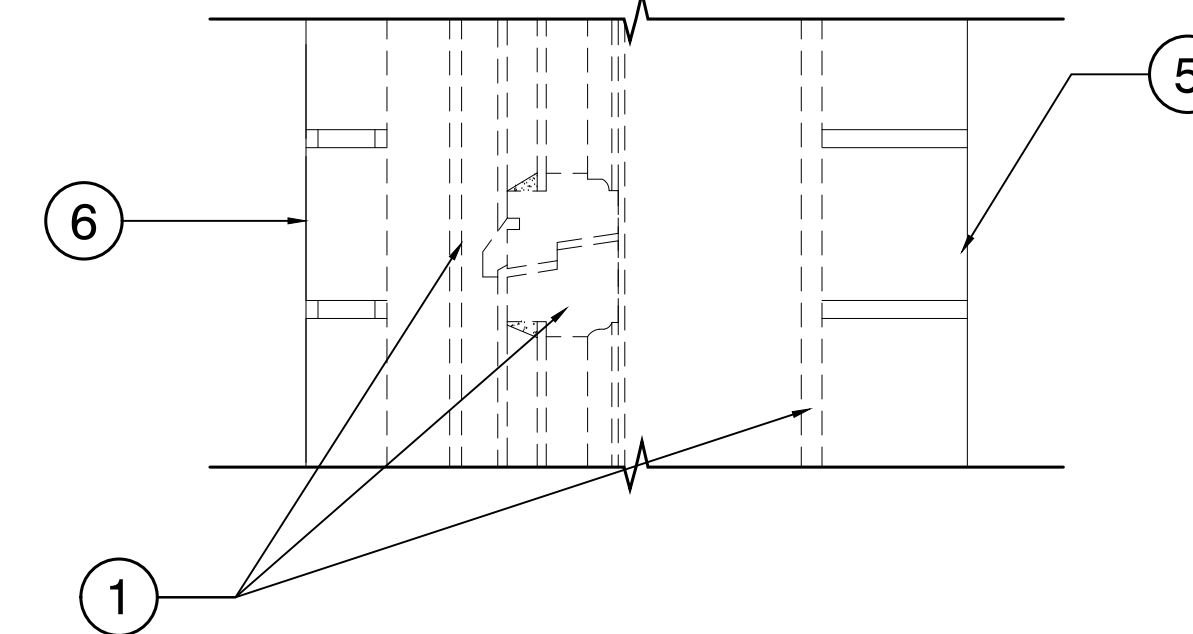
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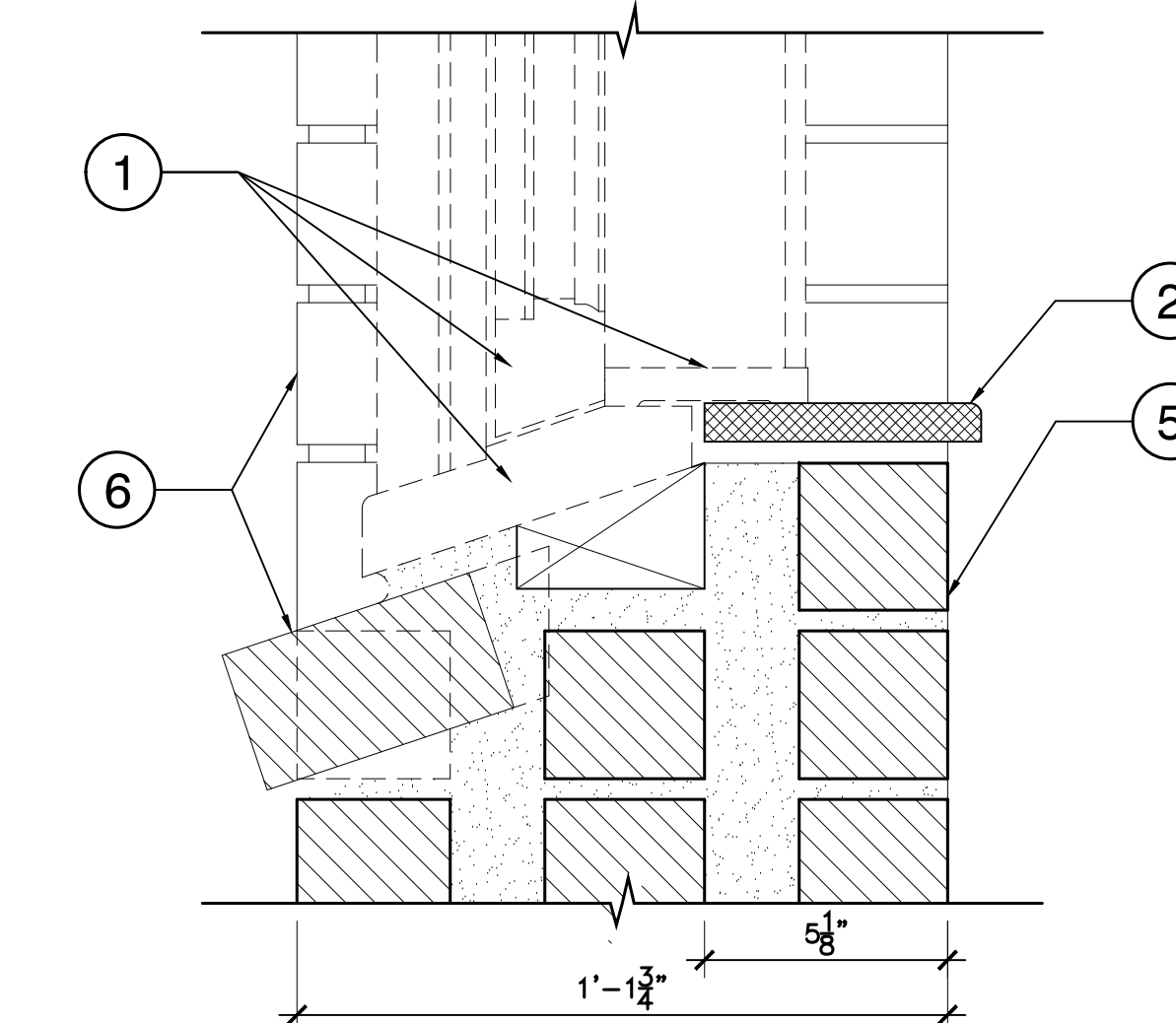
TYPE A & B HEAD D



TYPE B @ DOOR HEAD C



TYPE A MEETING RAILS B
TYPE B MUTIN (SIM.)



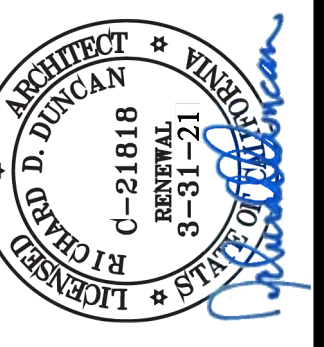
TYPE A SILL A

GENERAL NOTES

1. PROTECT ANY IMMEDIATE ADJACENT AREAS OF DEMOLITION WORK AND INTERIOR FINISHES FROM DAMAGE; COORDINATE DEMOLITION EFFORTS WITH NEW CONSTRUCTION.
2. IF SALVAGING MATERIALS, STORE SAFELY ON SITE TO AVOID DAMAGE.
3. GENERAL CLEANING OF ALL DEBRIS AND LOOSE ITEMS TO BE PART OF DEMOLITION IN PREPARATION AS REQUIRED FOR NEW WORK.
4. CLEAN EXISTING EXPOSED EXTERIOR AND INTERIOR BRICK, TILE OR DRY WALLS OF ALL PAINT.
5. CONTRACTOR SHALL CONTACT ARCHITECT AND OWNER REGARDING QUESTIONS TO DEMOLITION SCOPE OF WORK PRIOR TO PROCEEDING.
6. SEE ELEVATIONS FOR NOTES REGARDING ADDITIONAL INFORMATION FOR WINDOW REPLACEMENT AND EXTERIOR WALL REPAIR.
7. CONTRACTOR TO VISIT SITE TO FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS ASSOCIATED FOR REMOVAL OF ITEMS REQUIRED FOR THE NEW WORK.
8. AT ALL EXISTING PORTIONS TO REMAIN, REMOVE MOLD, MILDEW, ALGAE THROUGHOUT PRIOR TO CONSTRUCTING NEW WORK.
9. ALL DIMENSIONS TO BE FIELD VERIFIED PRIOR TO PROCEEDING THE WORK.
10. ALL WINDOW GLAZING TO BE 20% TINTED GLASS.

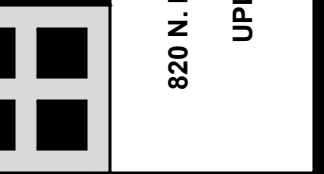
DEMOLITION NOTES

1. REMOVE EXISTING WINDOW AND WINDOW FRAME AND VERTICAL VINYL BLINDS AS REQUIRED TO RECEIVE NEW WORK.
2. EXISTING WINDOW WOOD & TILE SILLS AND WOOD STOOL/TRIM TO REMAIN, PROTECT IN PLACE. CONTRACTOR TO PATCH AND REPAIR ANY ADJACENT AFFECTED AREAS WHERE DAMAGED DURING DEMOLITION TO THEIR ORIGINAL CONDITION.
3. REMOVE WOOD CLADDING SHOWN AS DASHED LINES AS REQUIRED FOR NEW WORK.
4. DO NOT DISTURB EXISTING STRUCTURAL COMPONENTS (STEEL COLUMNS, NAILERS AND WOOD PLATES) AS INDICATED ON PLAN. PROTECT IN PLACE.
5. INTERIOR WALL AND WALL FINISHES TO REMAIN PROTECTED IN PLACE.
6. EXTERIOR WALL FINISH. PROTECT IN PLACE DURING CONSTRUCTION.
7. EXISTING DOOR, DOOR FRAME, THRESHOLD TO REMAIN PROTECTED IN PLACE.
8. EXISTING GYP. BOARDS, ACOUSTICAL CEILING SYSTEMS TO REMAIN. PROTECT IN PLACE. REMOVE PORTION OF EXISTING CEILING AS REQUIRED FOR NEW WORK. REINSTALL AND REPAIR REMOVED CEILING COMPONENTS IF DAMAGED DURING DEMOLITION.
9. (E) DRAPE PACKET TO REMAIN. PROTECT IN PLACE.



REVISIONS

DC ARCHITECTS



WINDOW REPLACEMENT
LINCOLN ELEMENTARY SCHOOL
4310 NEW YORK AVENUE
LA CRESENTA, CA 91214
GLENDALE UNIFIED SCHOOL DISTRICT

EXISTING WINDOW
DETAILS

DATE: 08.22.2018
SCALE:

TYPE C WINDOW DETAILS

3" = 1'-0"

5

TYPE E WINDOW DETAILS

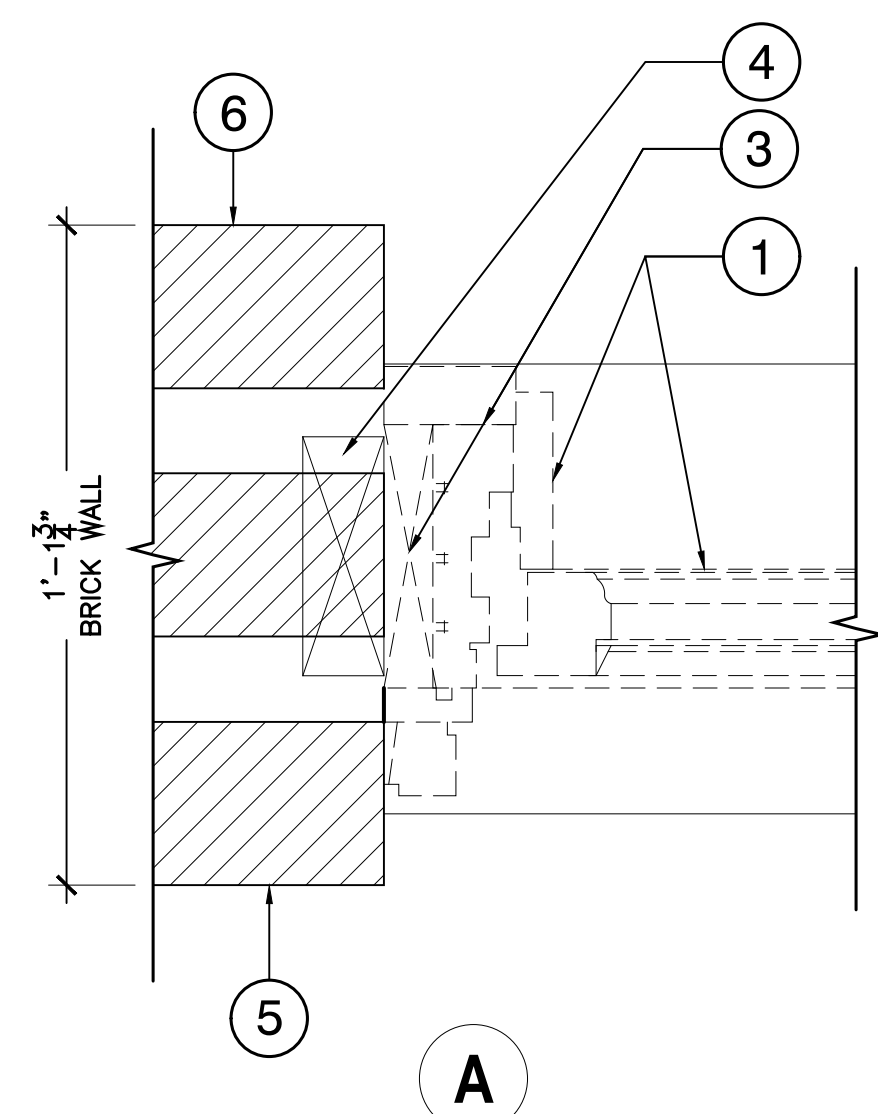
3" = 1'-0"

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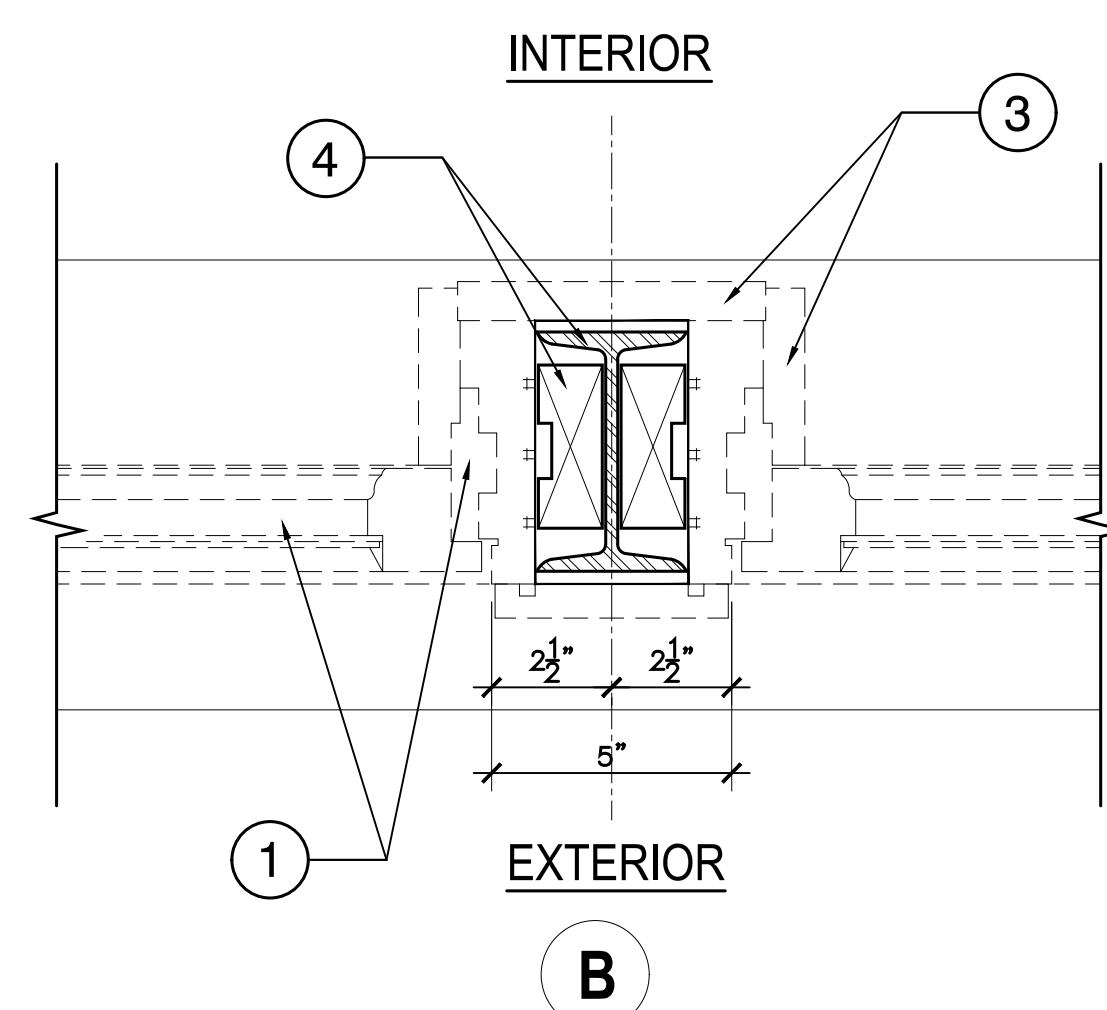
TYPE D WINDOW DETAILS

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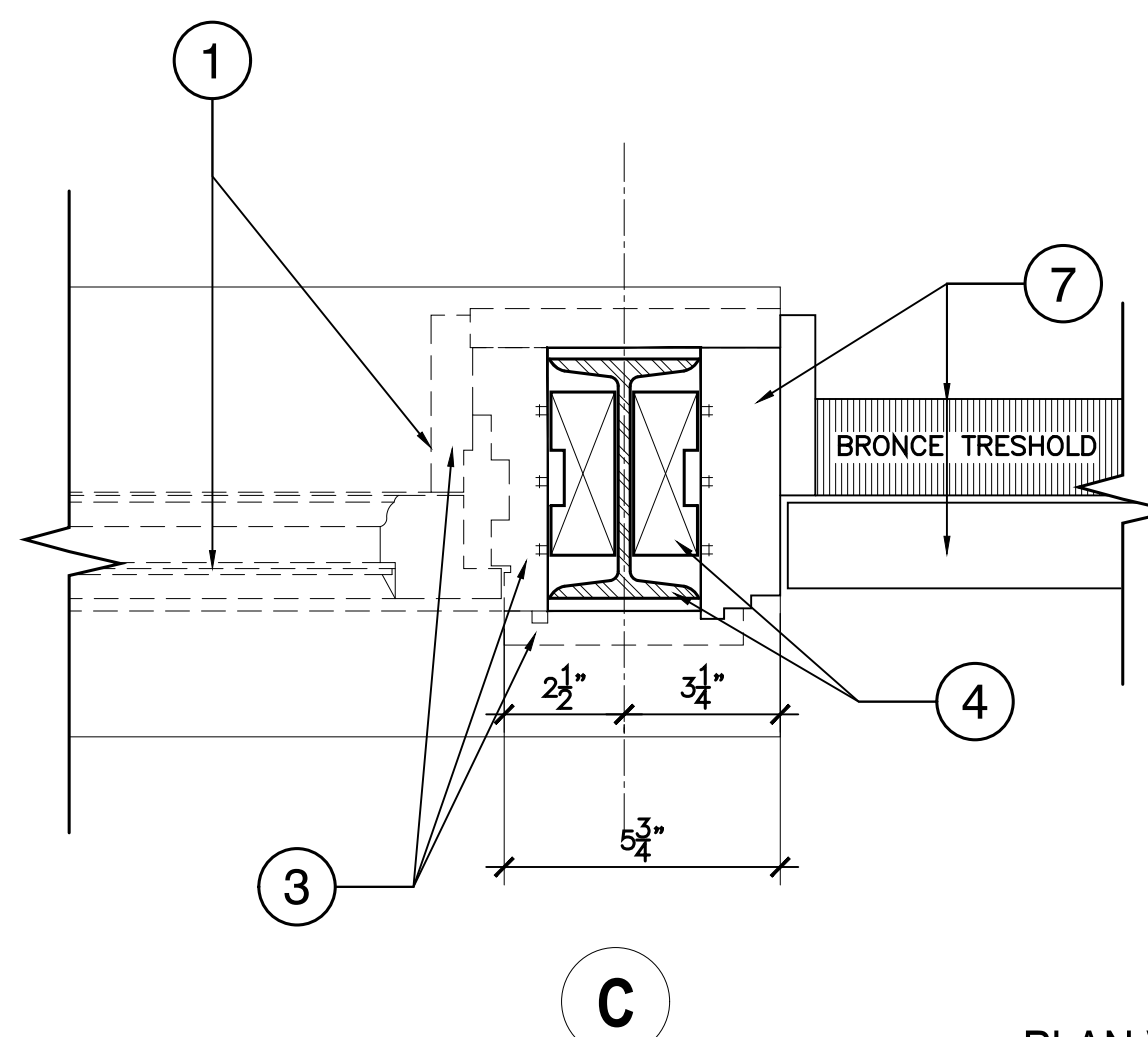
2



A



B



C

PLAN VIEW

WINDOW JAMB @ TYPE A AND B

3" = 1'-0"

3

TYPE A AND B WINDOW DETAILS

3" = 1'-0"

1

MULLION, TYP.

3" = 1'-0"

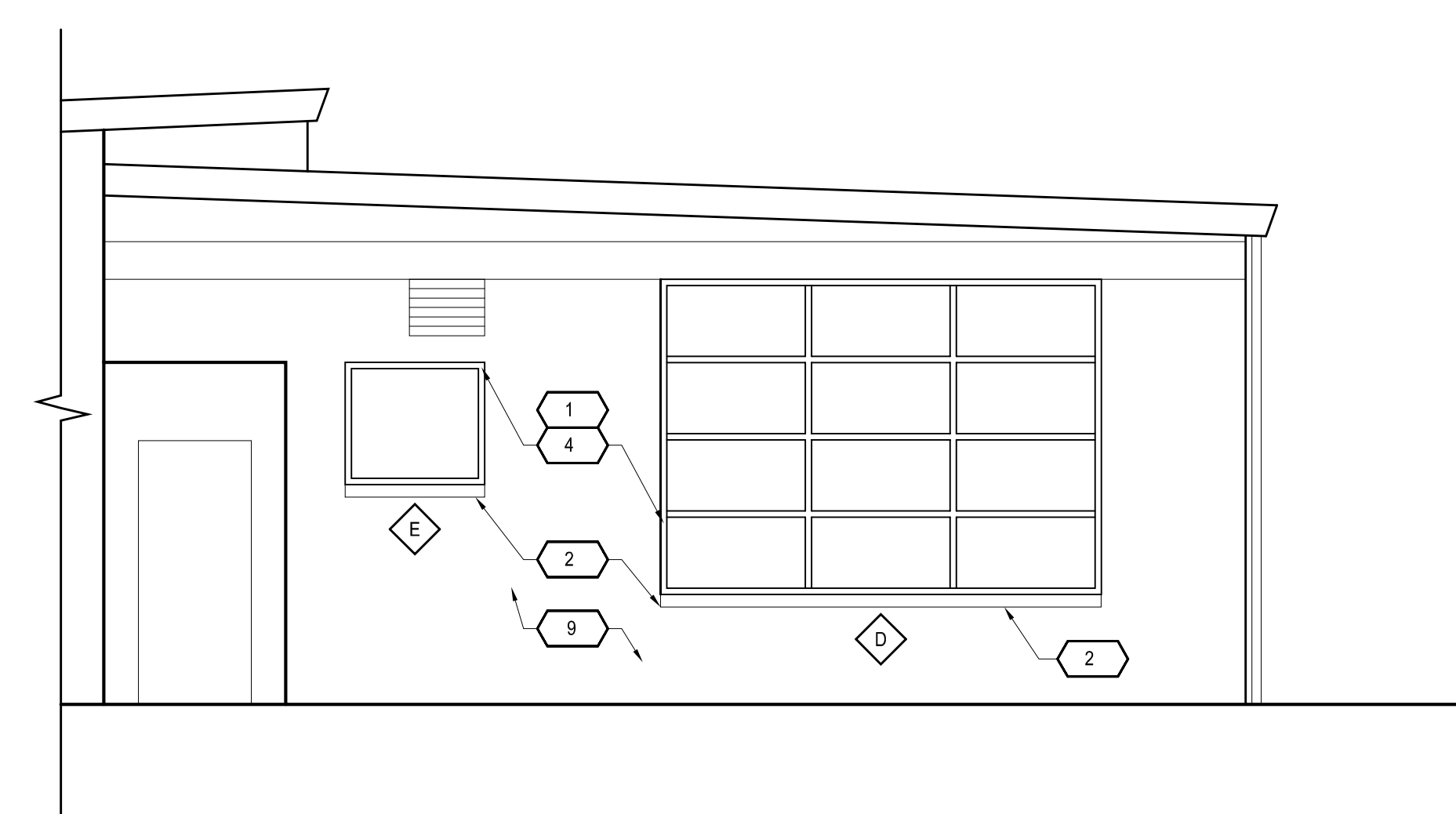
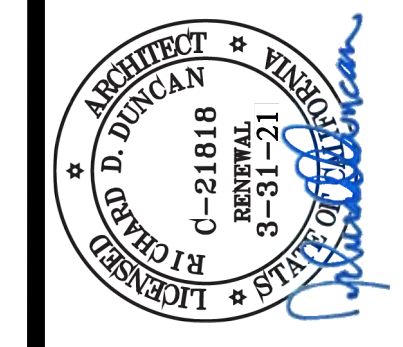
6

A-2.1

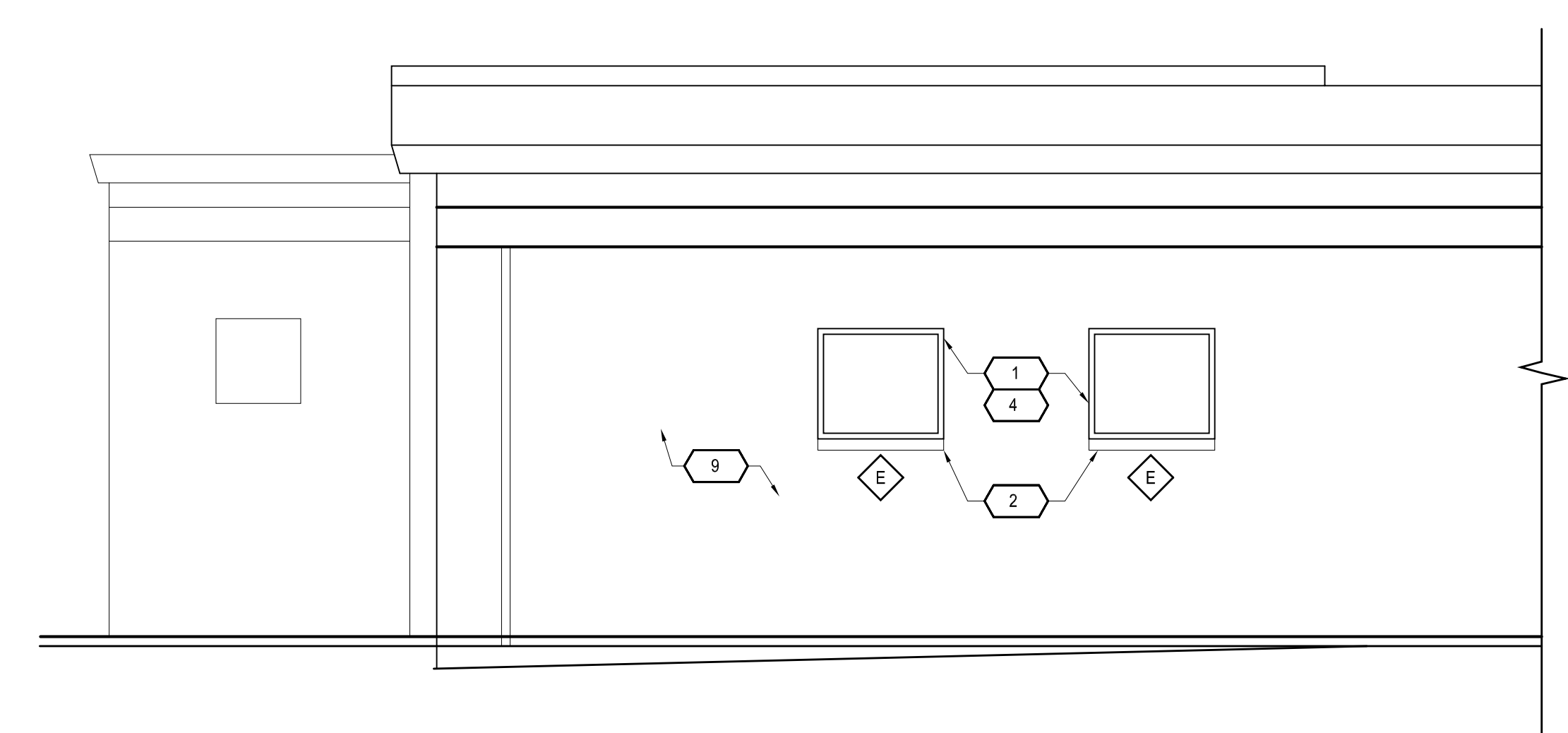
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KEYNOTES

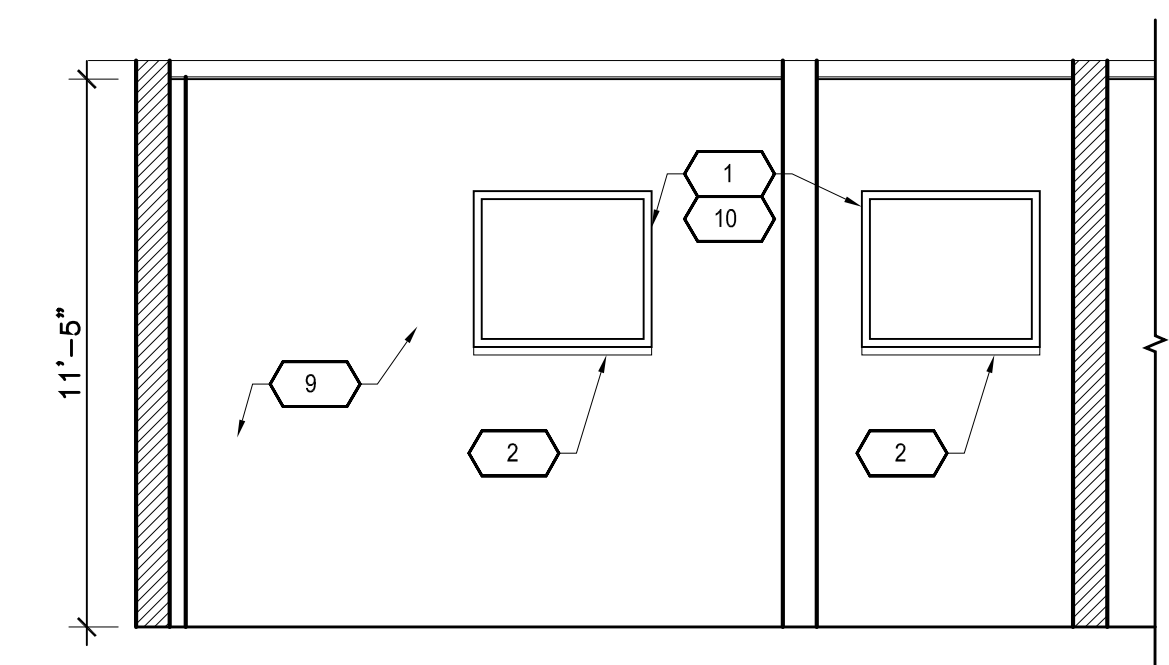
- 1 PREPARE OPENING AS REQUIRED TO RECEIVE NEW WORK.
- 2 CONTRACTOR TO PATCH AND REPAIR (E) WINDOW SILL/TRIM/TILE AND IMMEDIATE ADJACENT AREAS WHERE DAMAGED DURING DEMOLITION. PAINT TO MATCH EXISTING WALL FINISH.
- 3 REINSTALL ACOUSTICAL CEILING OR HARD-LID CEILING SYSTEMS INCLUDING CEILING GRIDS, TILES, AND CEILING COMPONENTS TO THEIR ORIGINAL CONDITION. REPLACE ANY CEILING COMPONENTS WHERE AFFECTED DURING DEMOLITION.
- 4 WINDOW FRAME COLOR PER DISTRICTS' STANDARD (HORIZON BLUE).
- 5 (E) WINDOW SEAT TO REMAIN. PROTECT IN PLACE
- 6 (E) COUNTER AT ALCOVE WORK AREA TO REMAIN. PROTECT IN PLACE
- 7 (E) DRAPE POCKET TO REMAIN. INSTALL VERTICAL VINYL BLINDS AS INDICATED ON PLAN.
- 8 SAND ENTIRE WALL, PATCH ANY HOLES. PRIME AND REPAINT MINIMUM 2-COATS TYP. PAINT TO MATCH EXISTING.
- 9 PATCH AND REPAIR EXISTING WALL WHERE DANGED DURING DEMOLITION. PAINT TO MATCH EXISTING WALL FINISH.
- 10 WINDOW FRAME COLOR PAINT TO MATCH (E) WALL FINISH.



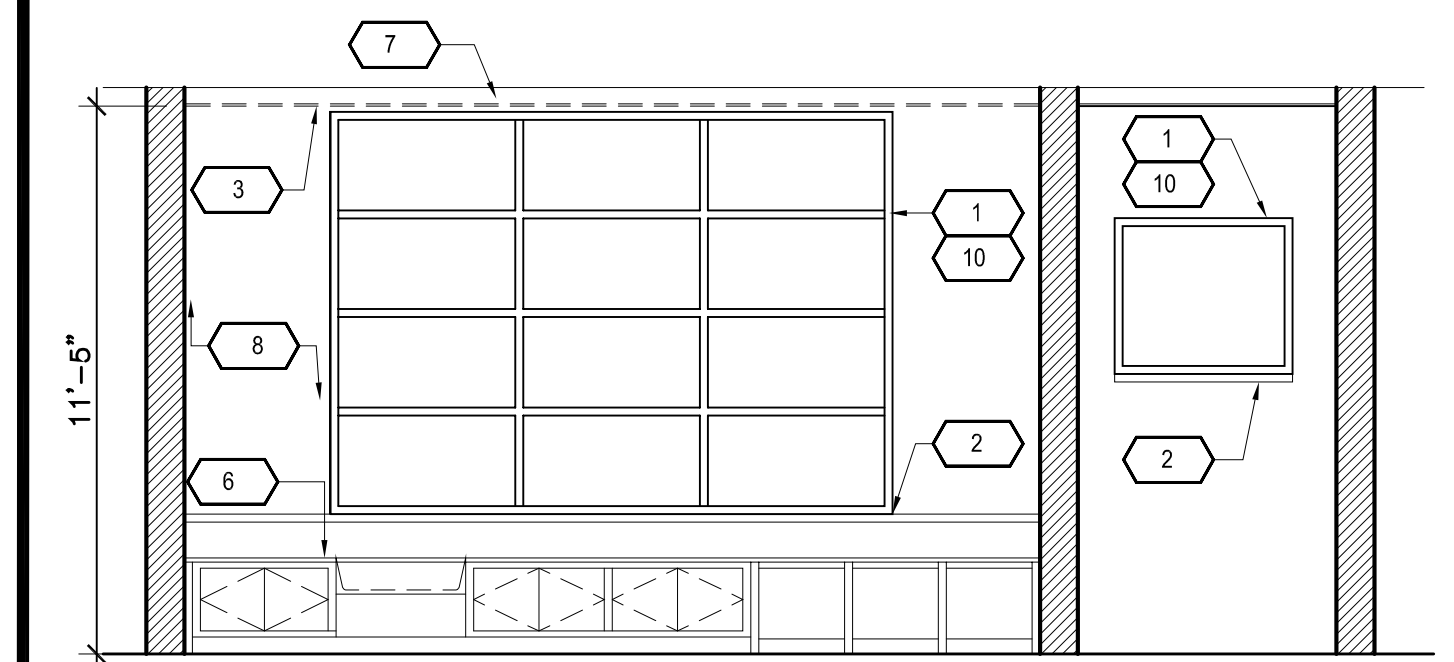
ELEVATION C 1/4"= 1'-0" 5



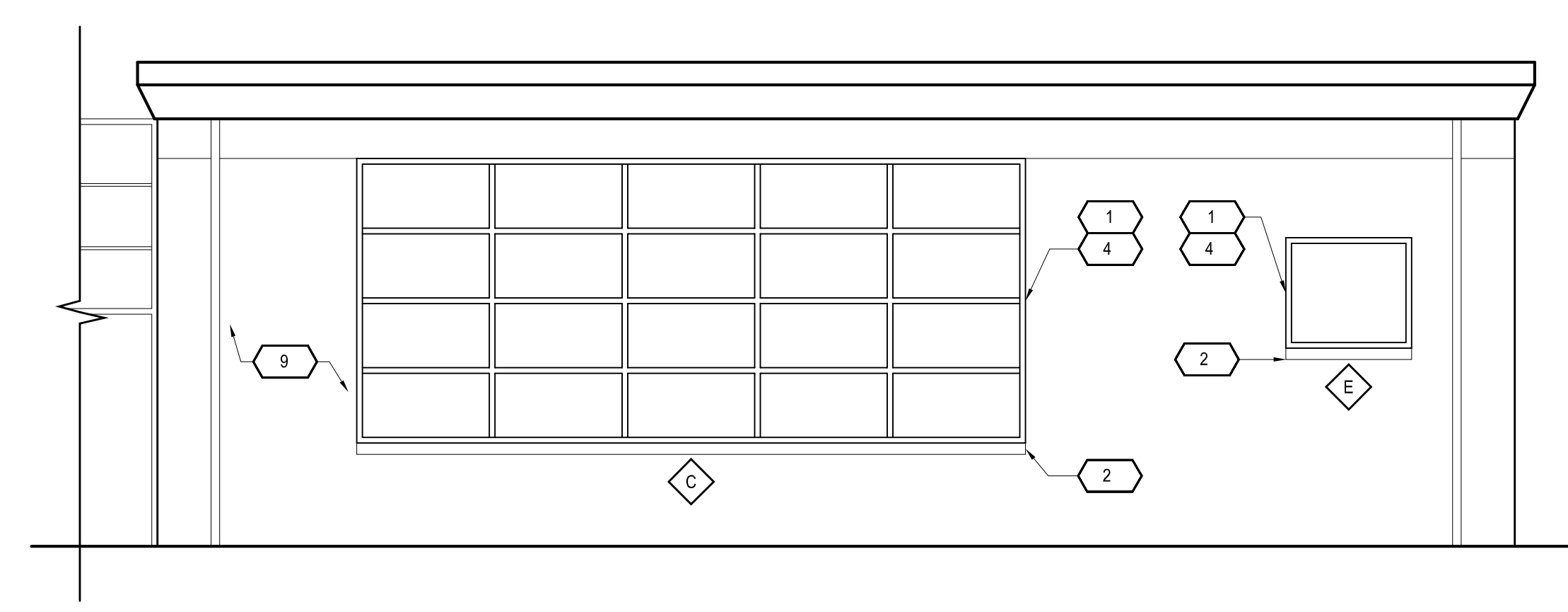
ELEVATION D 1/4"= 1'-0" 6



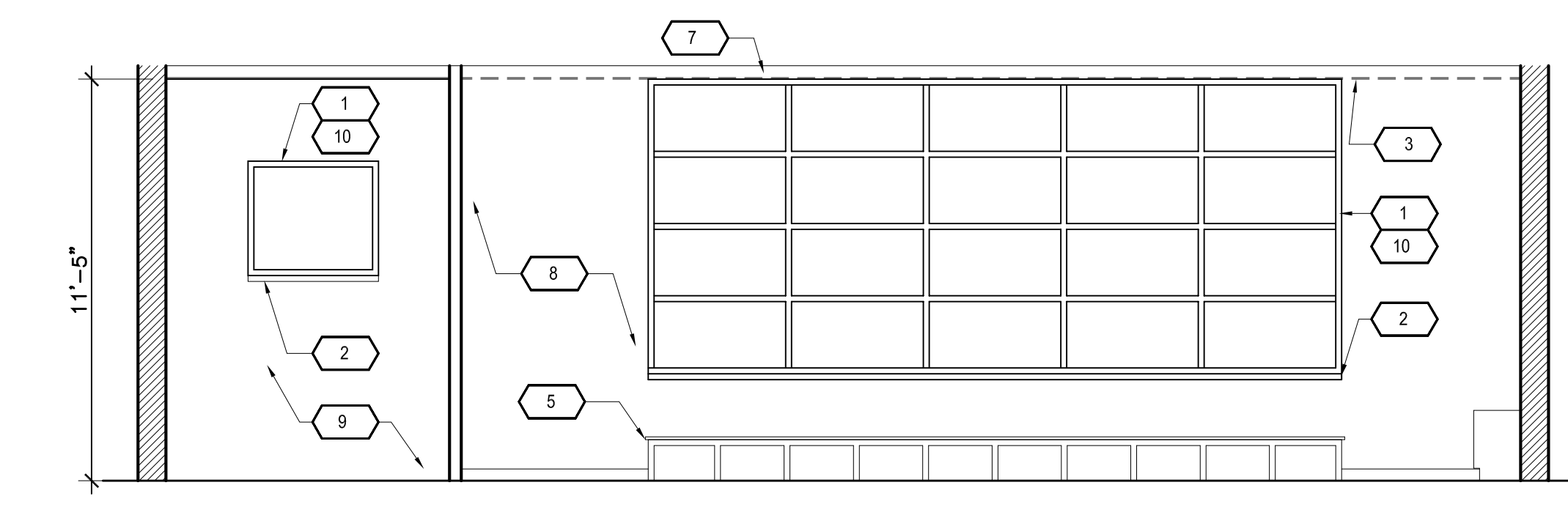
SOUTH INTERIOR ELEVATION 1/4"= 1'-0" 4



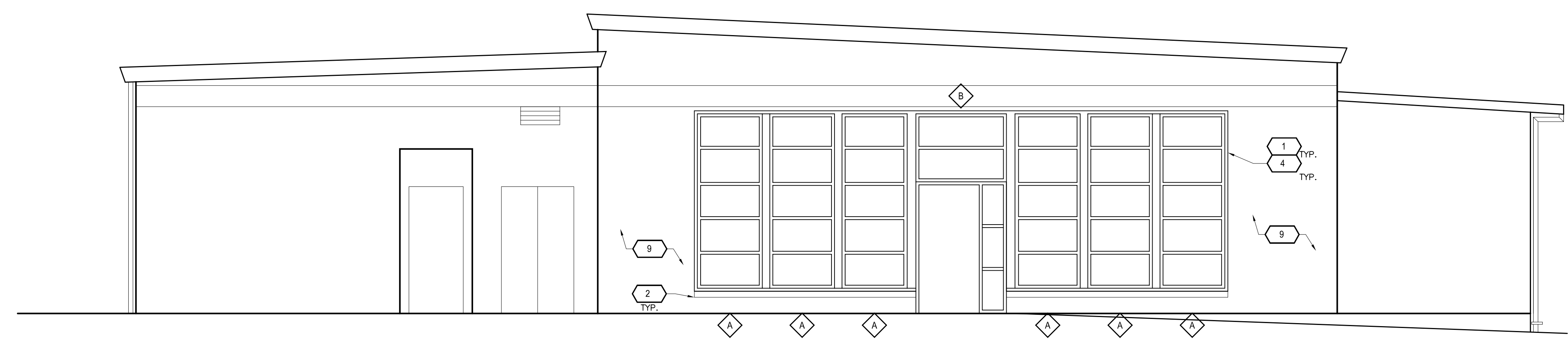
EAST INTERIOR ELEVATION 1/4"= 1'-0" 1



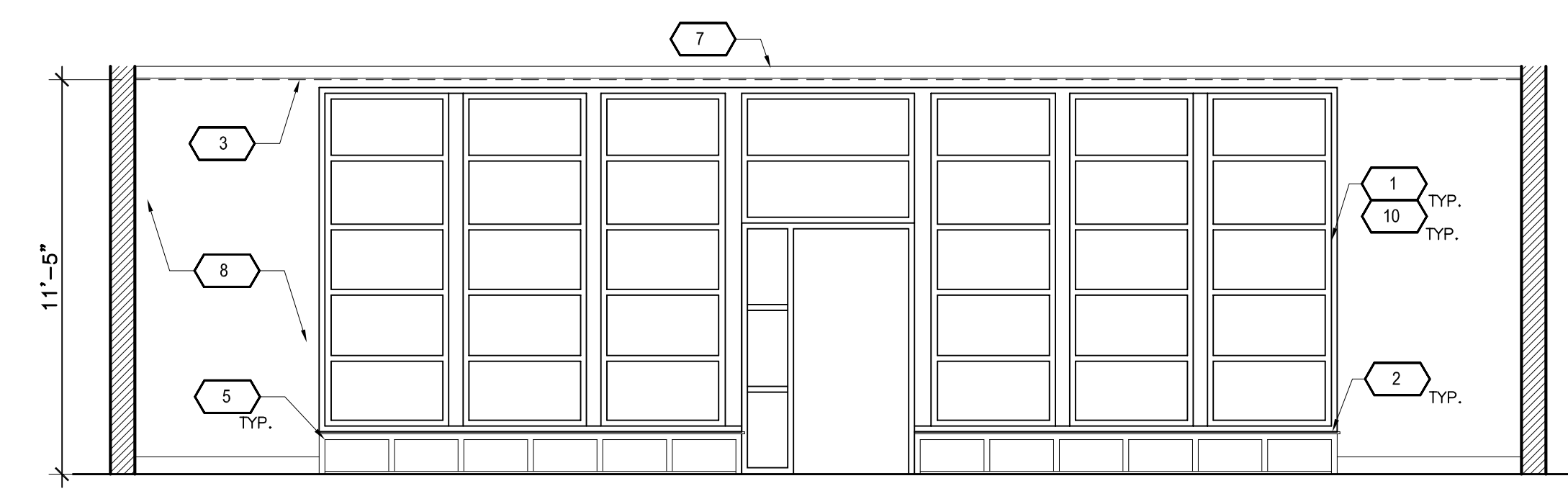
ELEVATION B 1/4"= 1'-0" 7



NORTH INTERIOR ELEVATION 1/4"= 1'-0" 2



ELEVATION A 1/4"= 1'-0" 8



WEST INTERIOR ELEVATION 1/4"= 1'-0" 3

REVISIONS

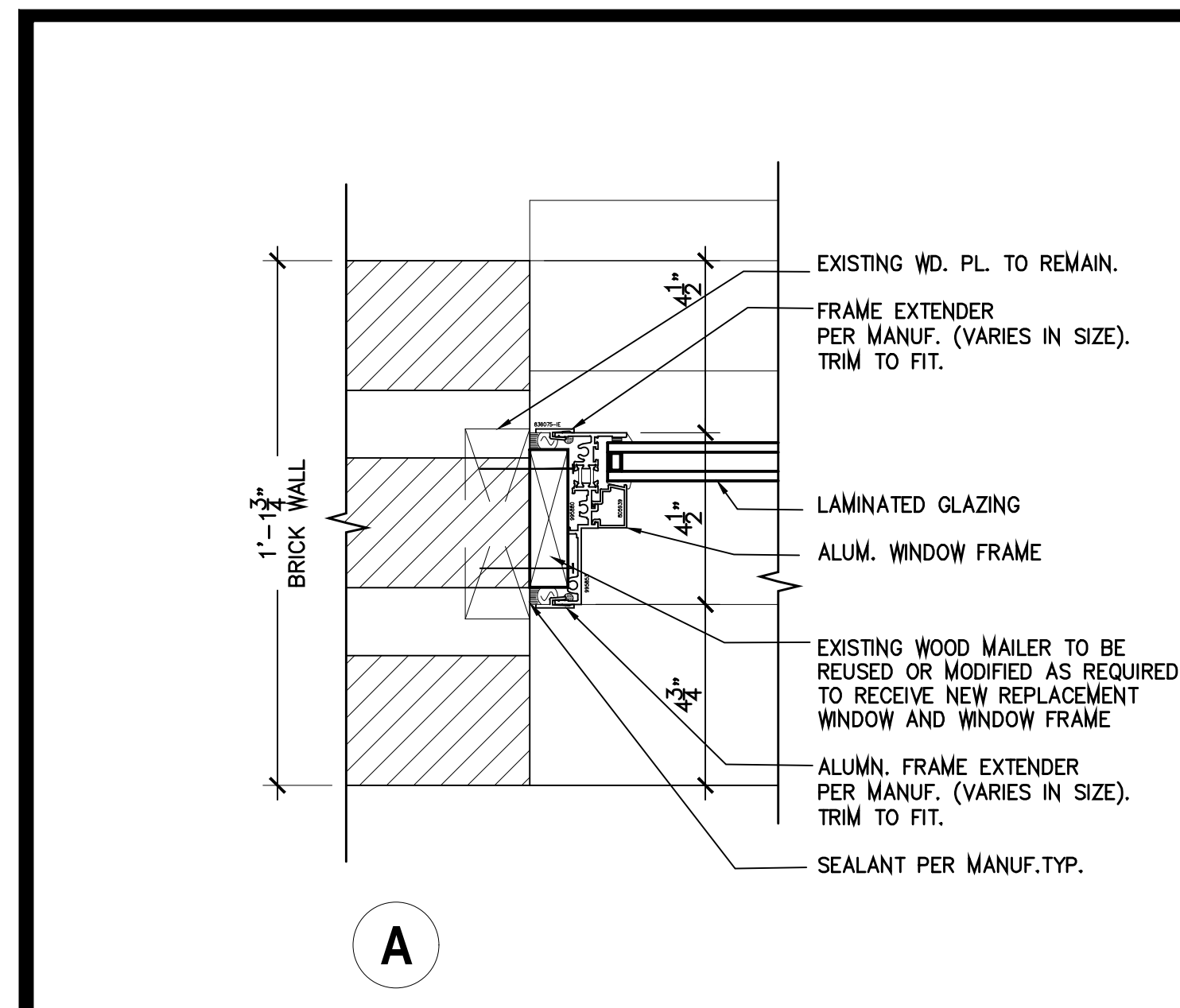
DC ARCHITECTS
820 N. MOUNTAIN AVENUE
SUITE 200
UPLAND, CA 91786
(909) 985-6333 OFFICE
(909) 985-0864 FAX

WINDOW REPLACEMENT
LINCOLN ELEMENTARY SCHOOL
4310 NEW YORK AVENUE
LA CRESENTA, CA 91214
GLENDALE UNIFIED SCHOOL DISTRICT

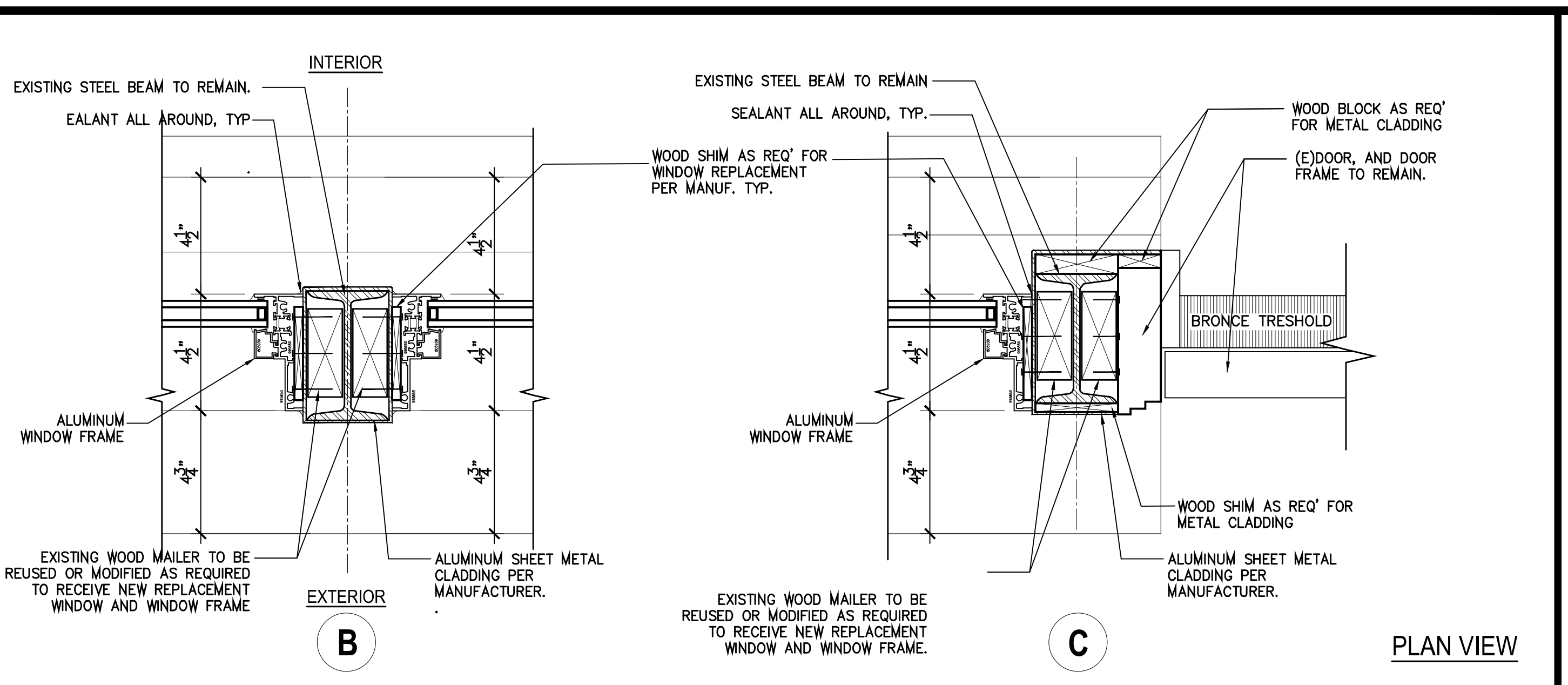
EXTERIOR AND INTERIOR
ELEVATIONS

JOB NUMBER: 2019-009
DRAWN BY: JCT
DATE: 09/23/2019
SCALE:

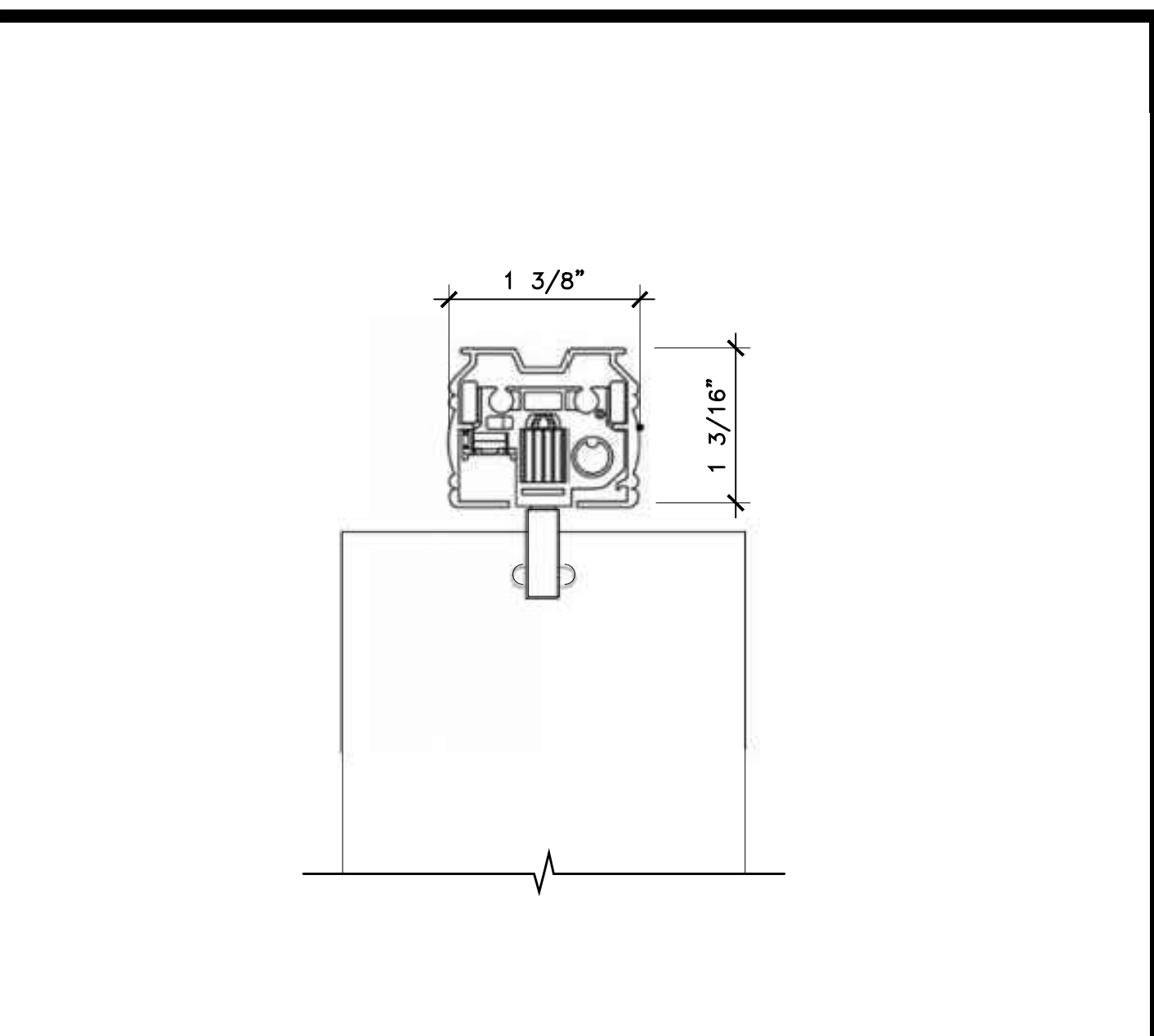
A-6.0
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JAMB DETAILS WINDOW TYPE A B

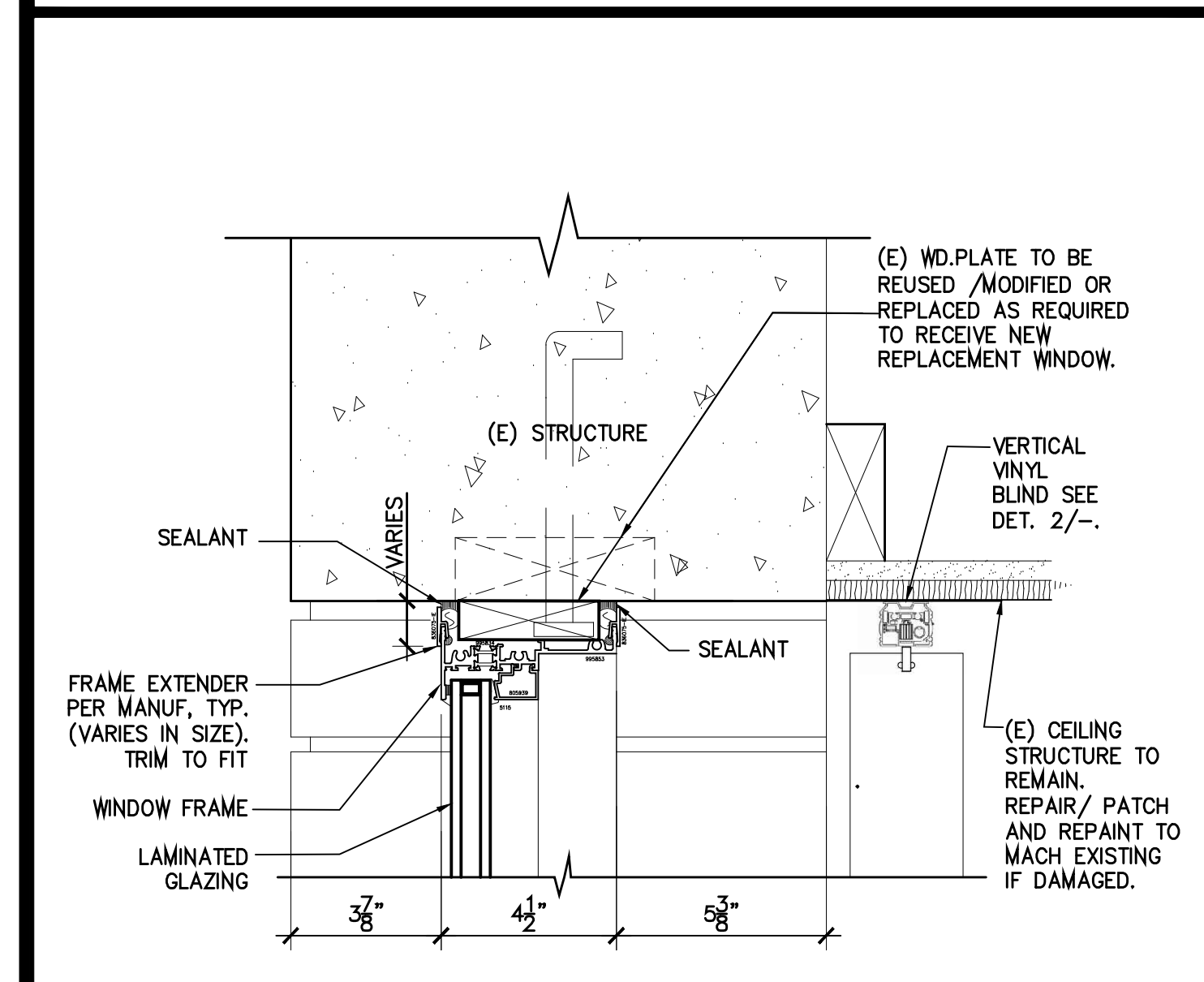


3" = 1'-0" 4

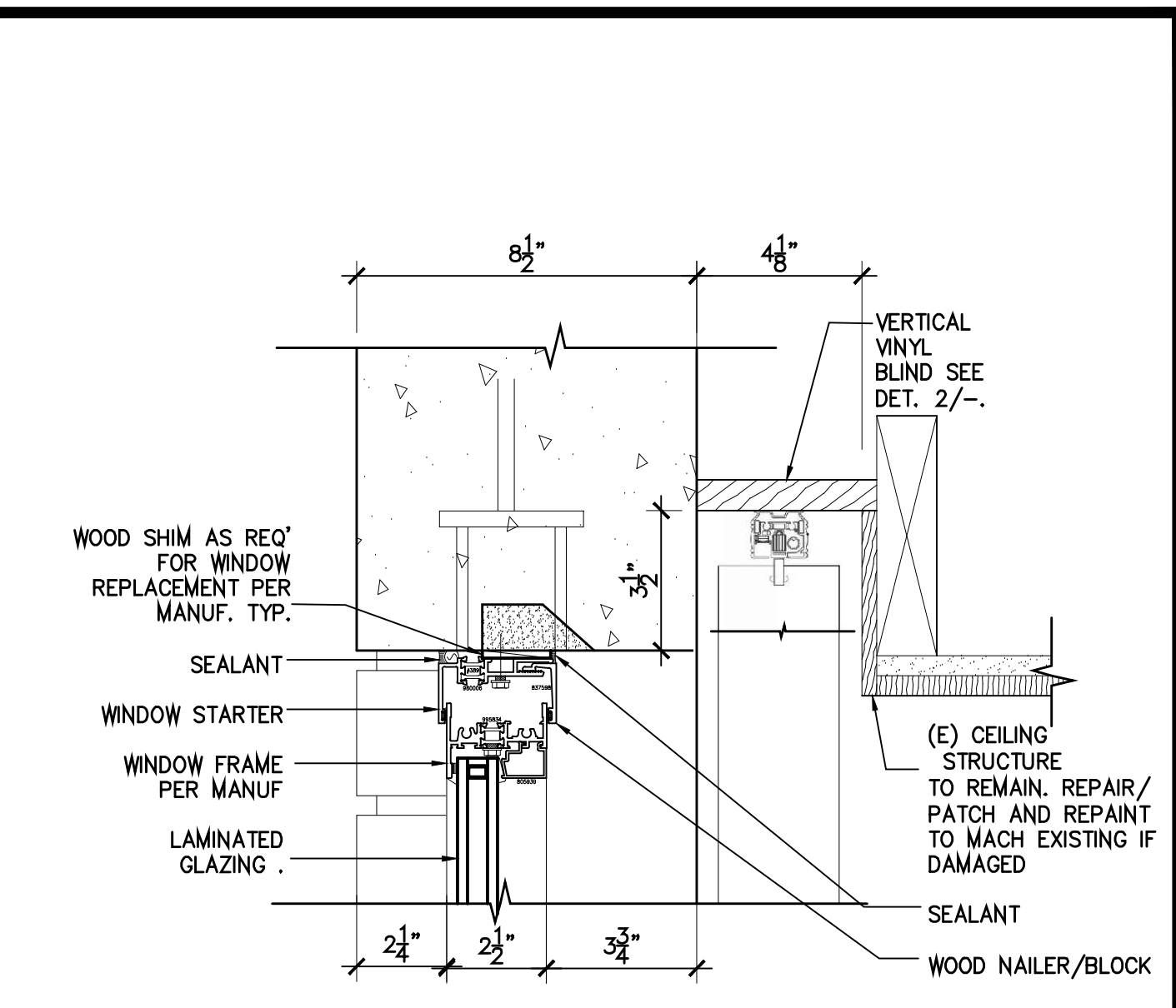


PLAN VIEW

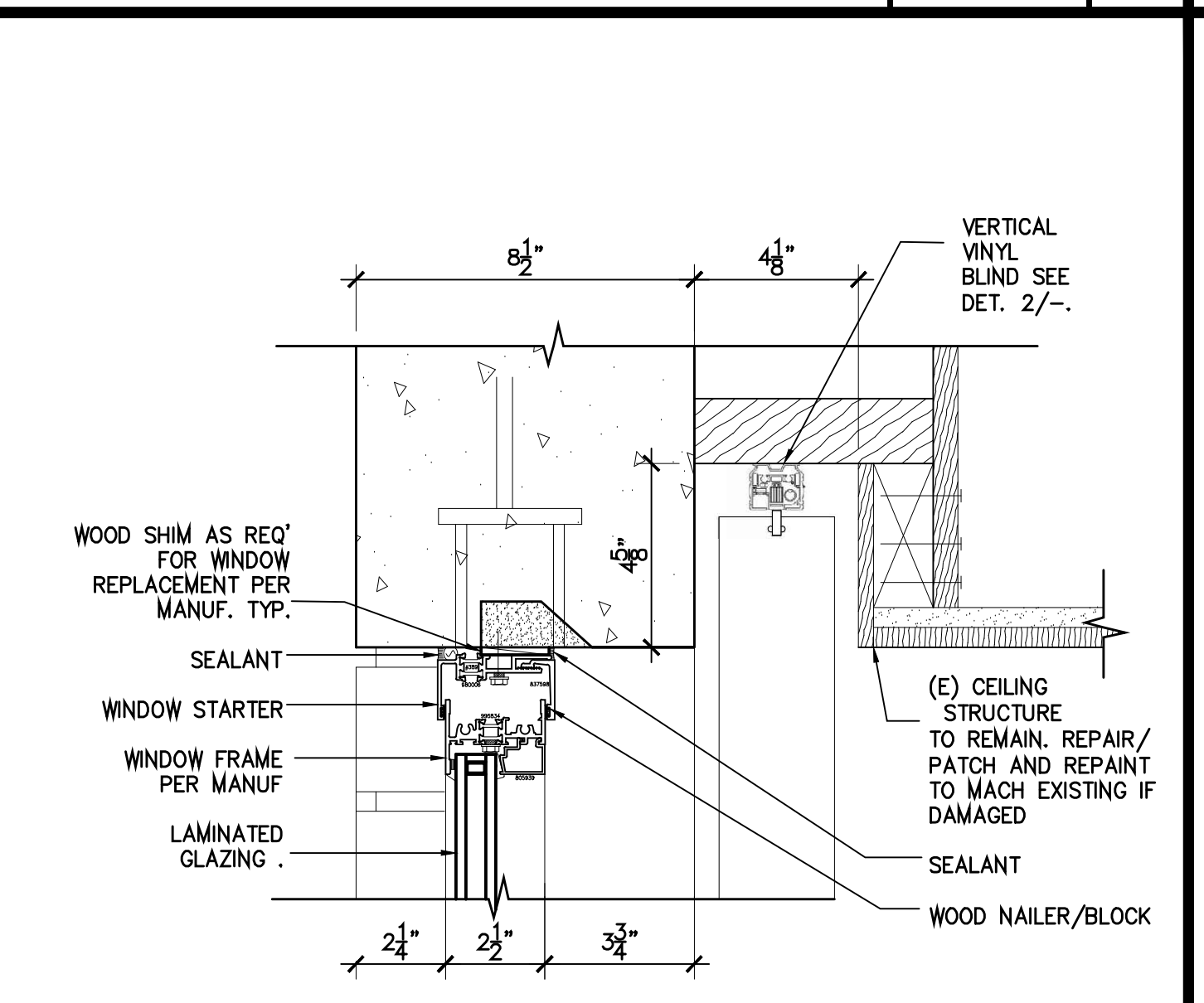
- ### GENERAL NOTES
1. PROTECT ANY IMMEDIATE ADJACENT AREAS OF DEMOLITION WORK AND INTERIOR FINISHES FROM DAMAGE; COORDINATE DEMOLITION EFFORTS WITH NEW CONSTRUCTION.
 2. IF SALVAGING MATERIALS, STORE SAFELY ON SITE TO AVOID DAMAGE.
 3. GENERAL CLEANING OF ALL DEBRIS AND LOOSE ITEMS TO BE PART OF DEMOLITION IN PREPARATION AS REQUIRED FOR NEW WORK.
 4. CLEAN EXISTING EXPOSED EXTERIOR AND INTERIOR BRICK, TILE OR DRY WALLS OF ALL PAINT.
 5. CONTRACTOR SHALL CONTACT ARCHITECT AND OWNER REGARDING QUESTIONS TO DEMOLITION SCOPE OF WORK PRIOR TO PROCEEDING.
 6. SEE ELEVATIONS FOR NOTES REGARDING ADDITIONAL INFORMATION FOR WINDOW REPLACEMENT AND EXTERIOR WALL REPAIR.
 7. CONTRACTOR TO VISIT SITE TO FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS ASSOCIATED FOR REMOVAL OF ITEMS REQUIRED FOR THE NEW WORK.
 8. AT ALL EXISTING PORTIONS TO REMAIN, REMOVE MOLD, MILDEW, ALGAE THROUGHOUT PRIOR TO CONSTRUCTING NEW WORK.
 9. ALL DIMENSIONS TO BE FIELD VERIFIED PRIOR TO PROCEEDING THE WORK.
 10. ALL WINDOW GLAZING TO BE 20% TINTED GLASS.



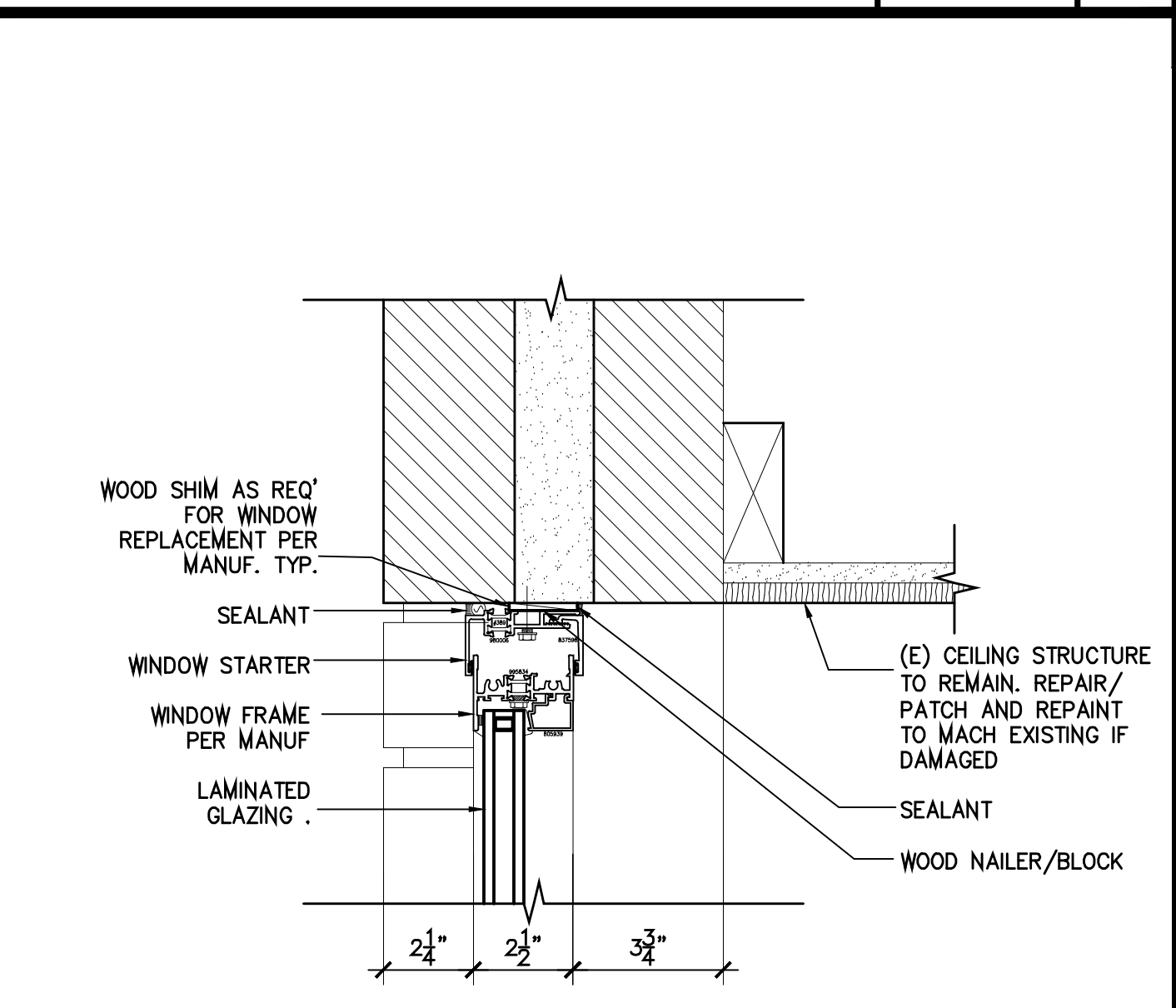
HEAD C



HEAD C

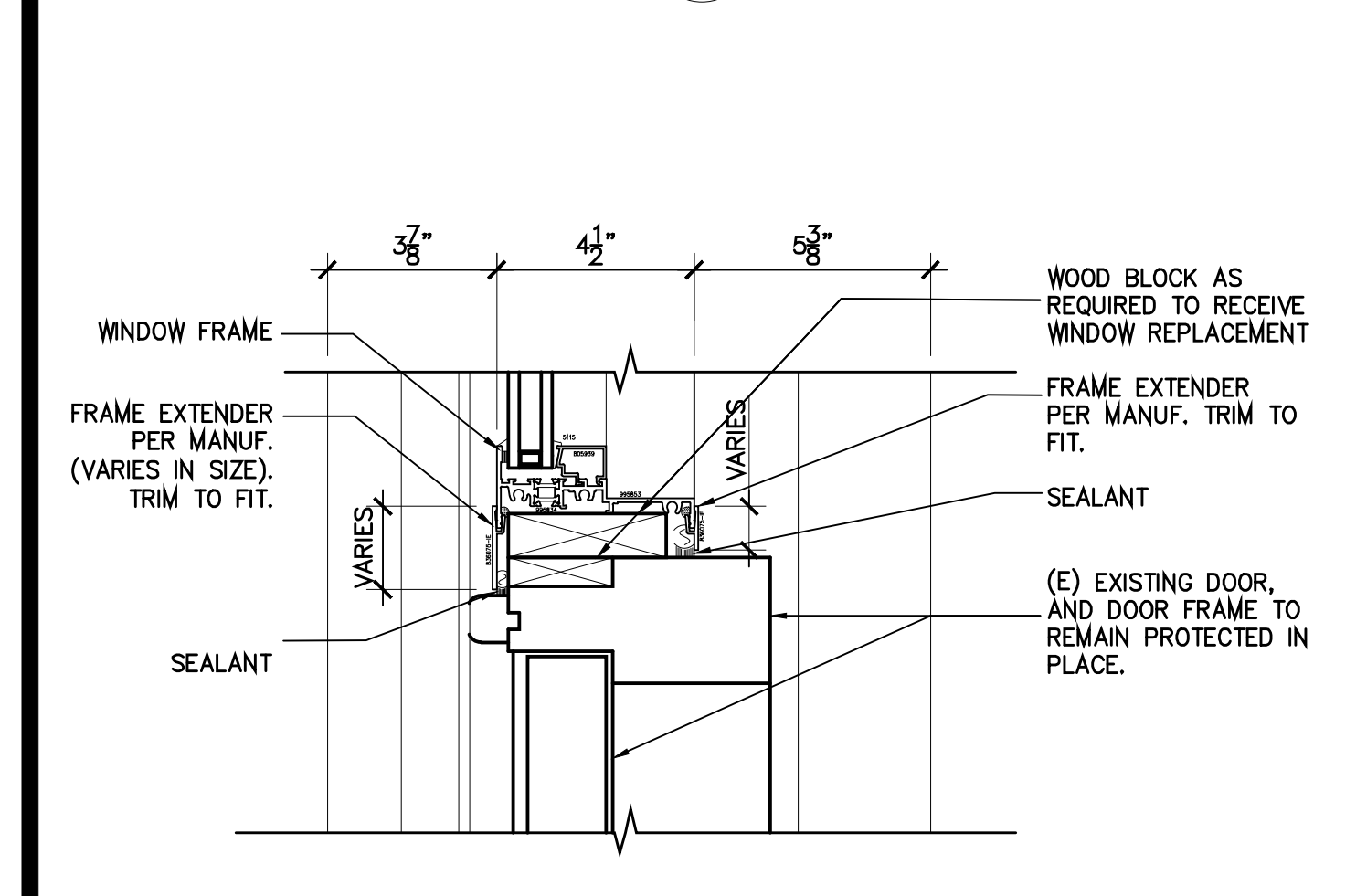


HEAD C

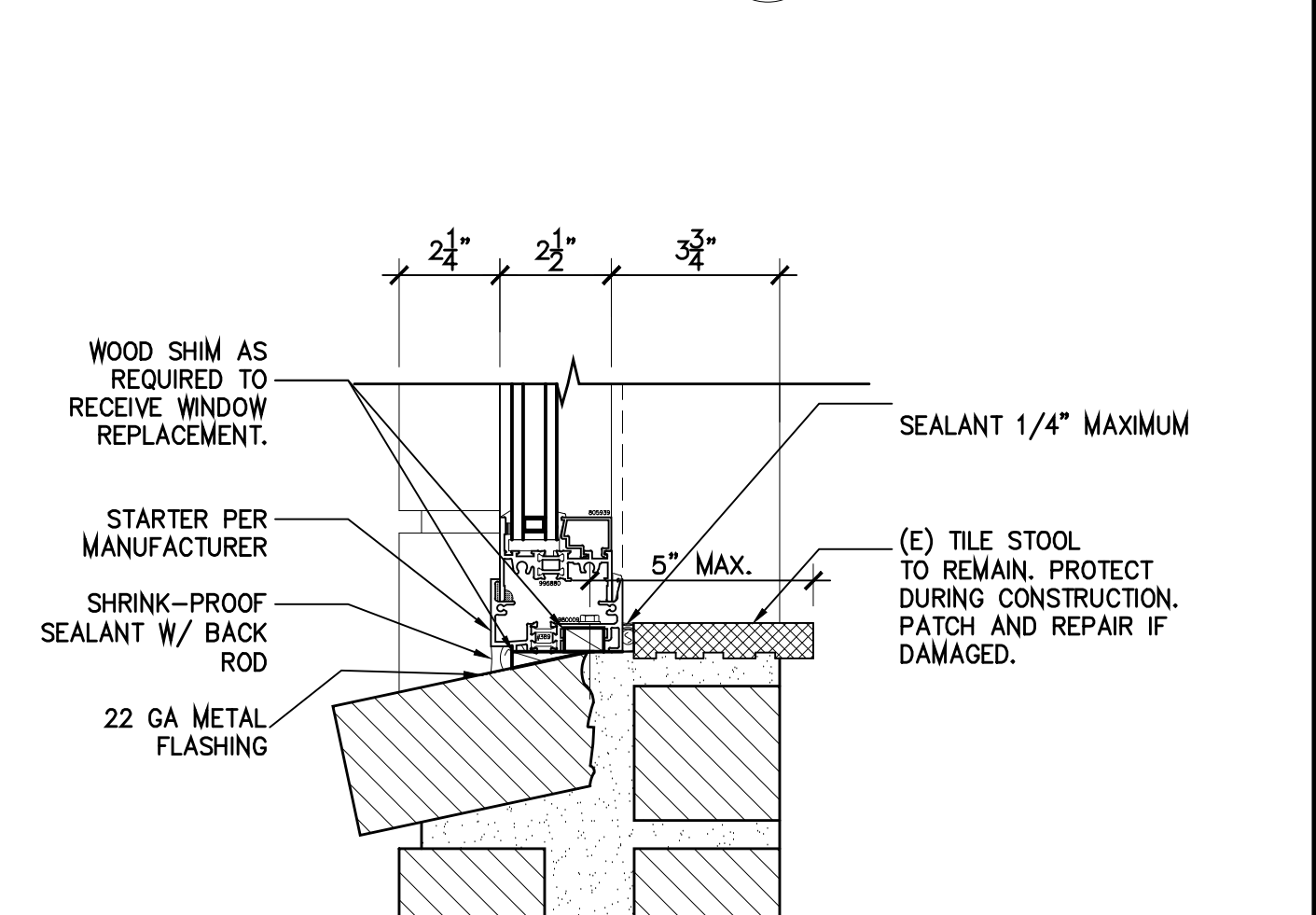


HEAD C

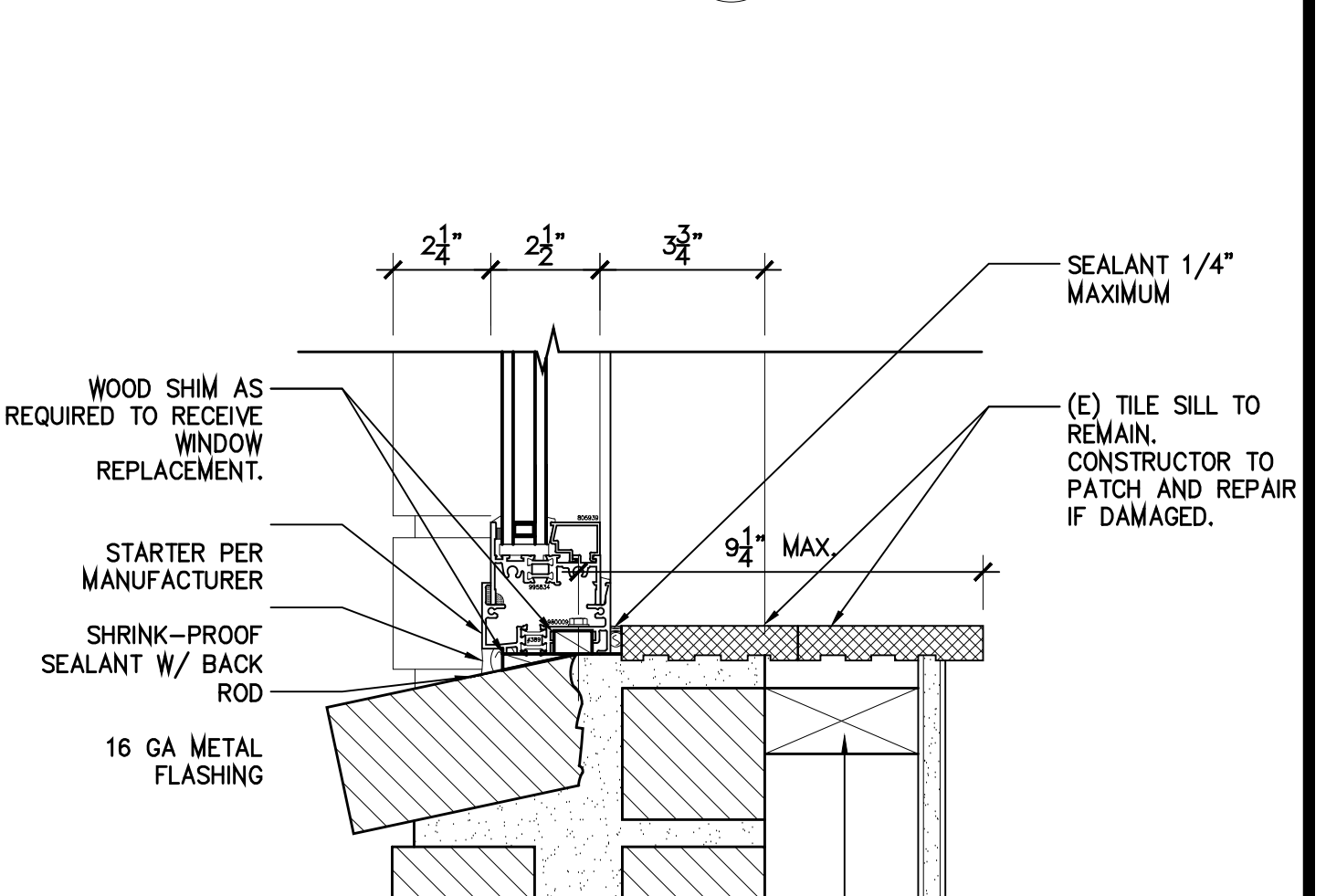
- ### PLAN NOTES
- REMOVE [E] WINDOW AT OPENING INDICATED, VERIFY EXISTING CONDITIONS AND CONSTRUCTION CONFIGURATION OF EXISTING OPENING FOR CONFIRMATION OF HEAD, JAMB, AND SILL DETAILS; AND MEANS AND METHODS REQUIRED FOR INSTALLATION OF NEW WINDOWS.
 - SECURE OPENING WITH TEMPORARY CONSTRUCTION AS REQUIRED TO ENSURE OPENING REMAINS SECURE FROM INTRUSION AND WEATHER TIGHT.
 - PRIOR TO REMOVAL OF WINDOWS, THE ACTUAL SIZE AND LOCATION OF THE STRUCTURAL COMPONENTS AND LOAD BEARING CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR BY MEANS OF SELECTIVE DEMOLITION. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/OWNER OF ANY UNUSUAL OR HAZARDOUS CONDITION INCLUDING BUT NOT LIMITED TO CRACKS, ABSENCE OF BRACING, OR LOOSE ELEMENTS AND COMPONENTS.
 - REMOVAL OF EXISTING WINDOWS AND ALL FIXED TO WINDOW INCLUDING BUT NOT LIMITED TO TRIM, SUBSILLS, ANCHORS, SEALANT RELATED TO THE WINDOW, ETC. EXTENT OF SELECTIVE DEMOLITION SHALL BE AS REQUIRED FOR INSTALLATION OF NEW WORK.
 - PREPARE AND PAINT SURFACES OF DAMAGED AREAS DURING DEMOLITION; PREP INCLUDES BUT NOT LIMITED TO REMOVAL OF ALL LOOSE PAINT [] OTHER MATERIAL TO FILL HOLES OR REPAIR DAMAGES OR ROTTED SUBSTRATES, AND REPLACEMENT OF SUBSTRATES IF NOT REPAIRABLE. NEW PAINT SHALL CONSIST OF ONE COAT PRIMER, TWO COATS FINISH. PAINT COLOR TO MATCH EXISTING.
 - PROTECT INTERIOR FINISHES DURING CONSTRUCTION.



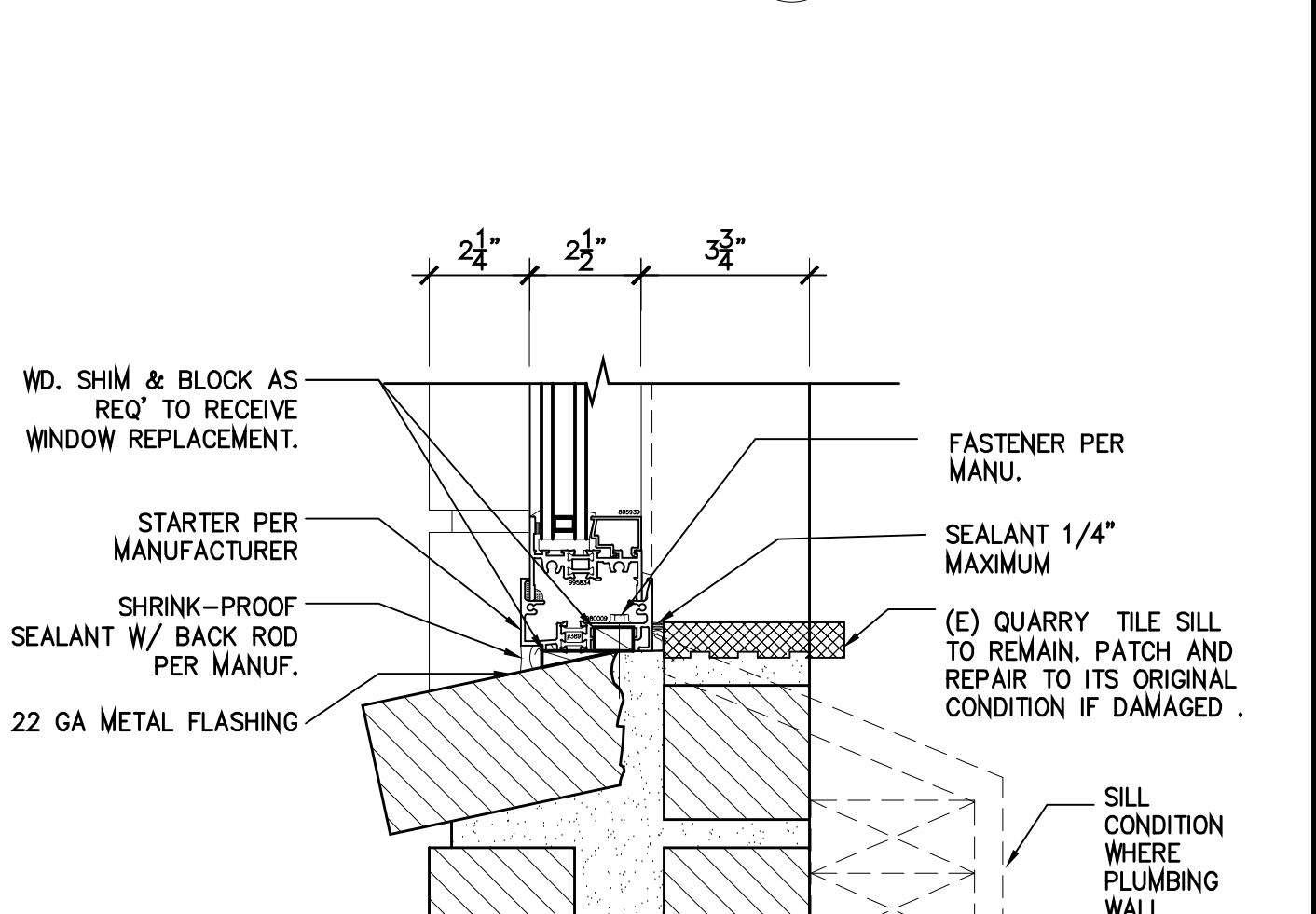
TYPE B @ DOOR HEAD B



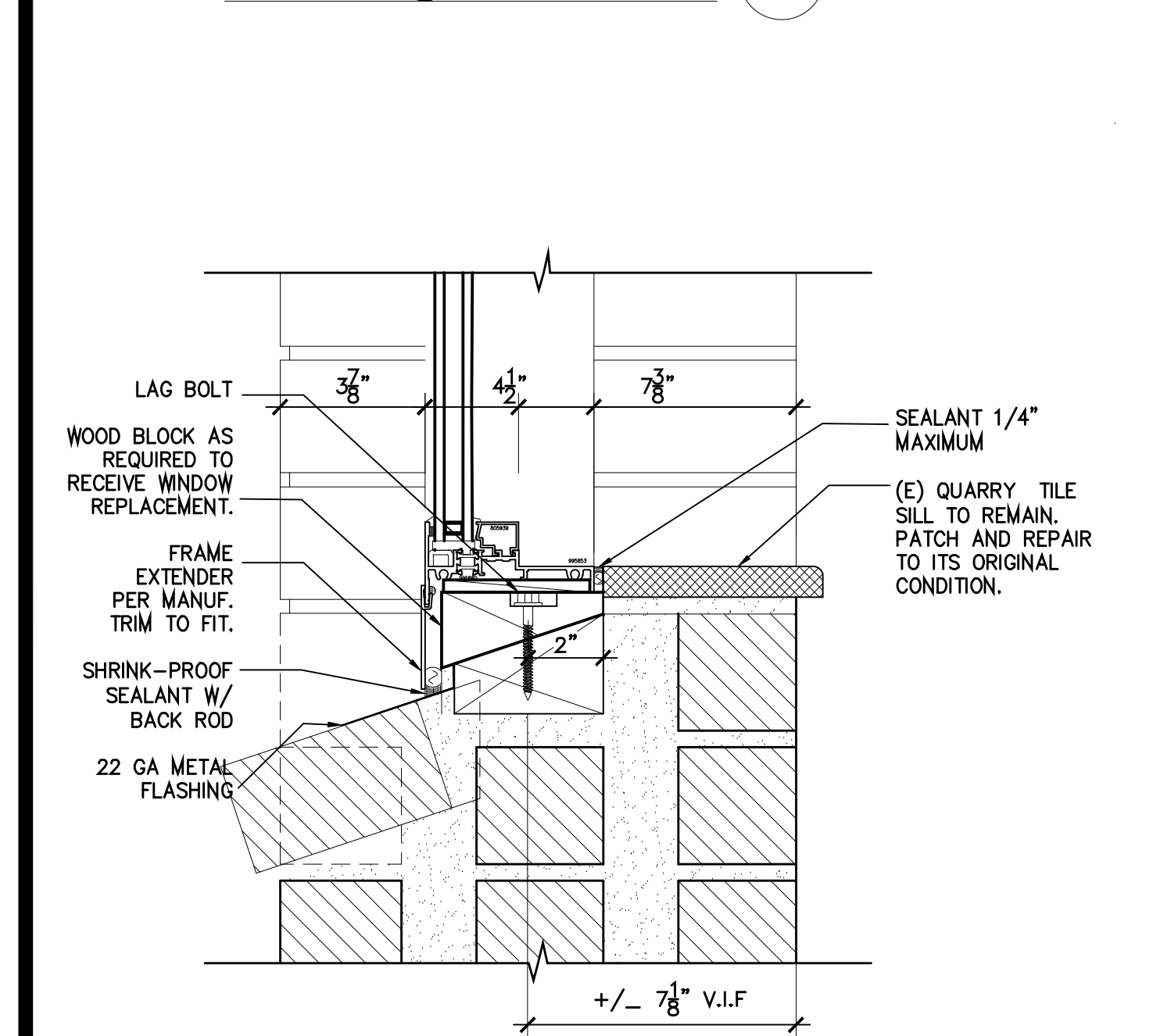
SILL B



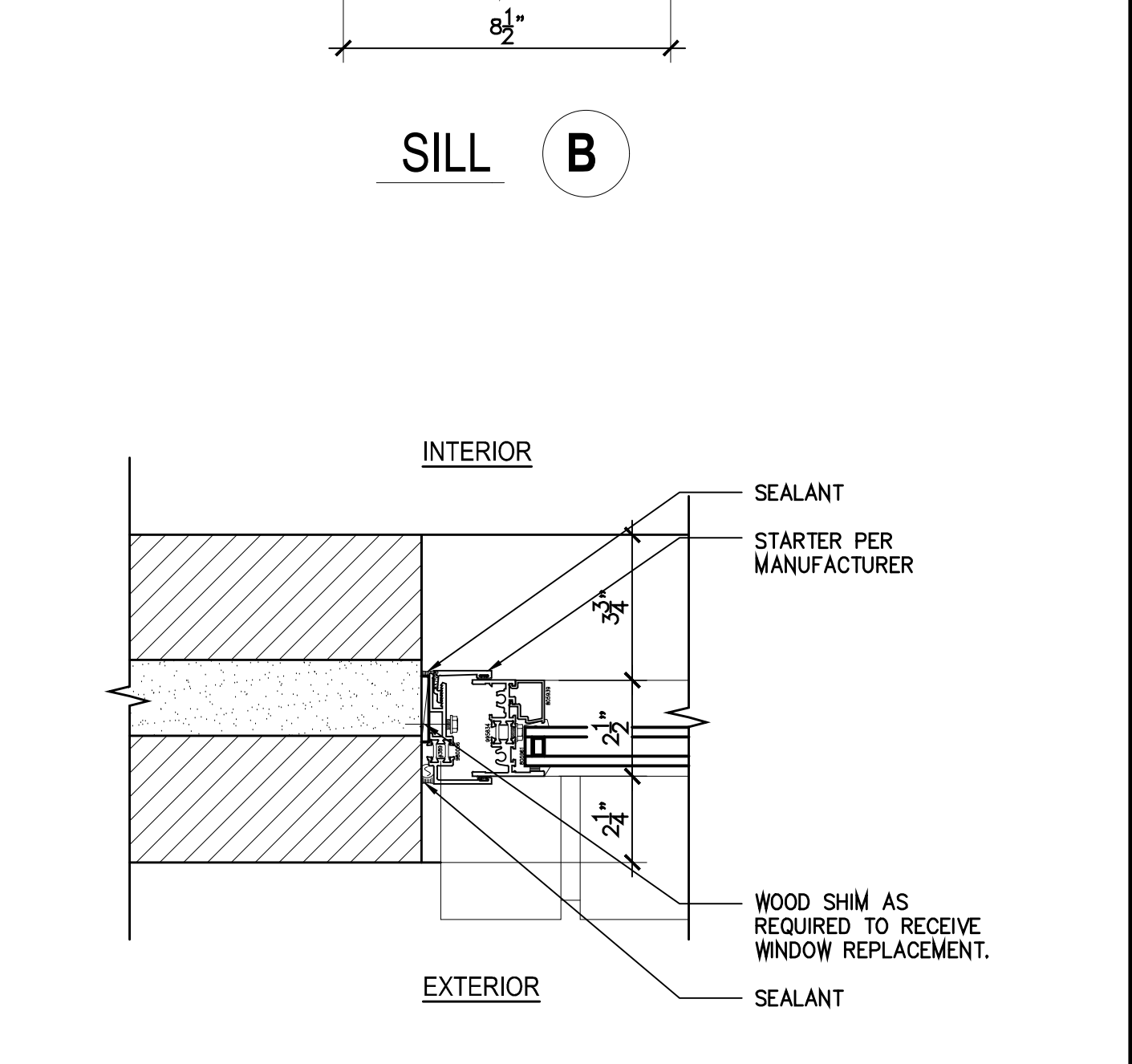
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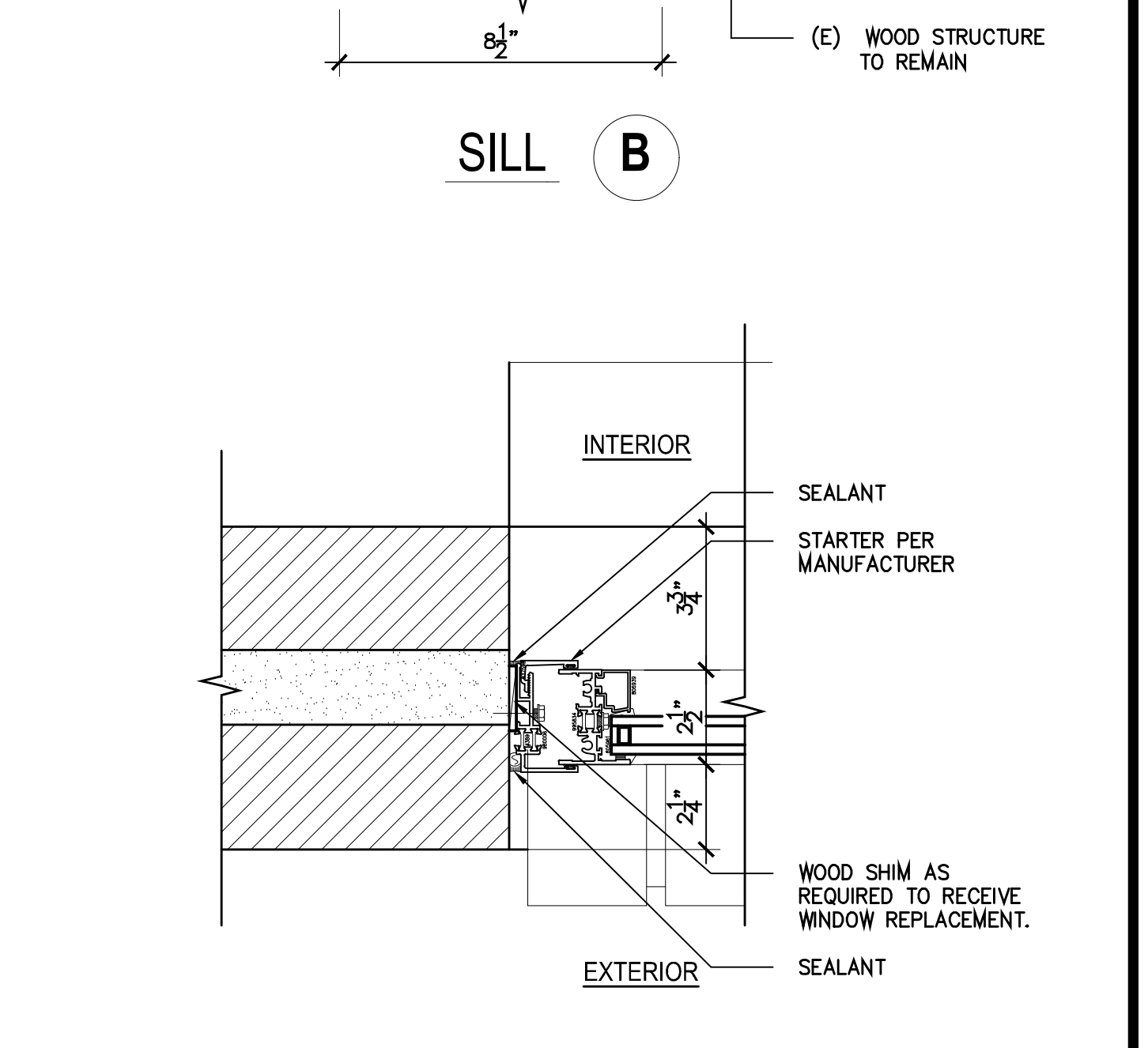
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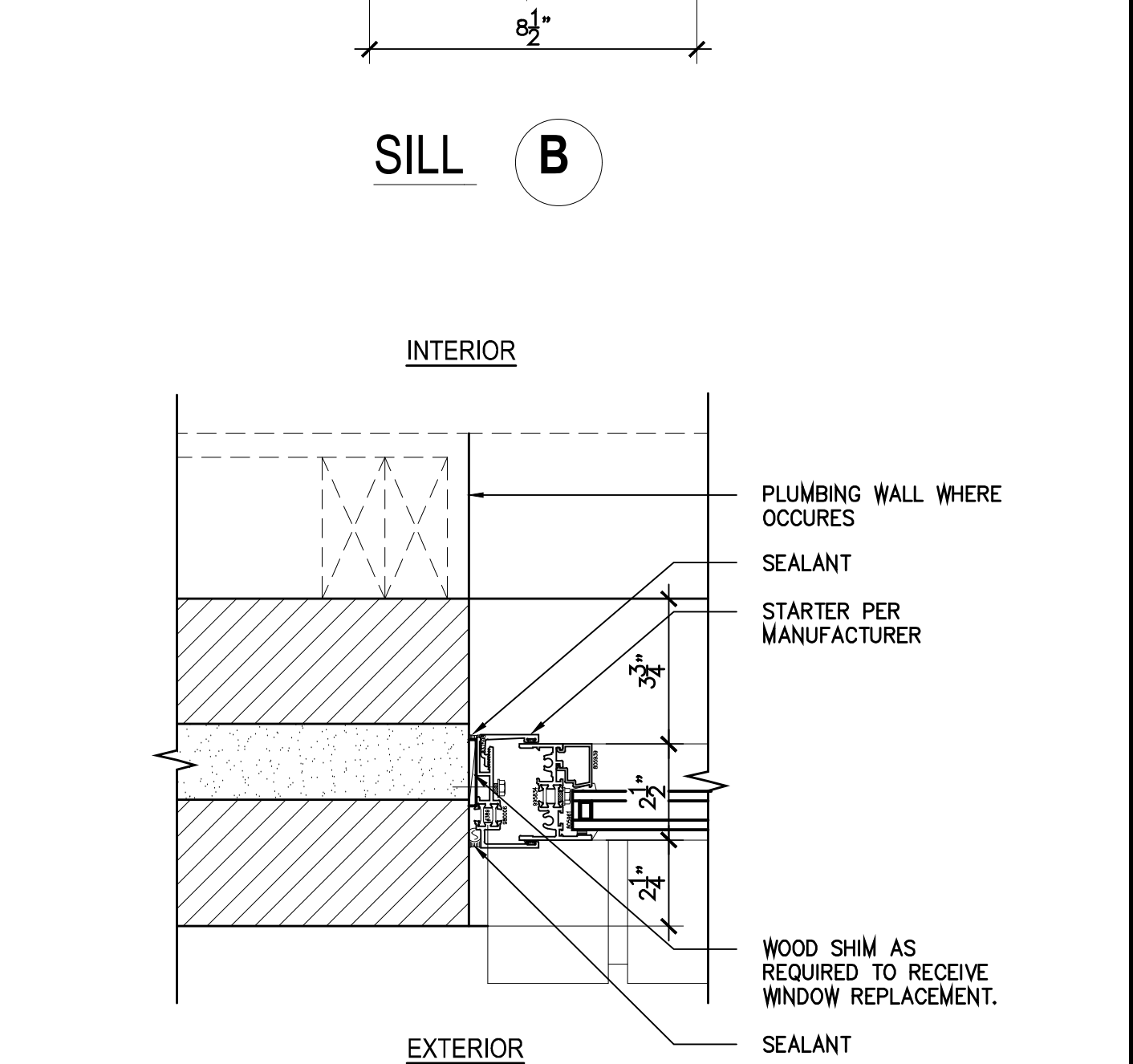
SILL A



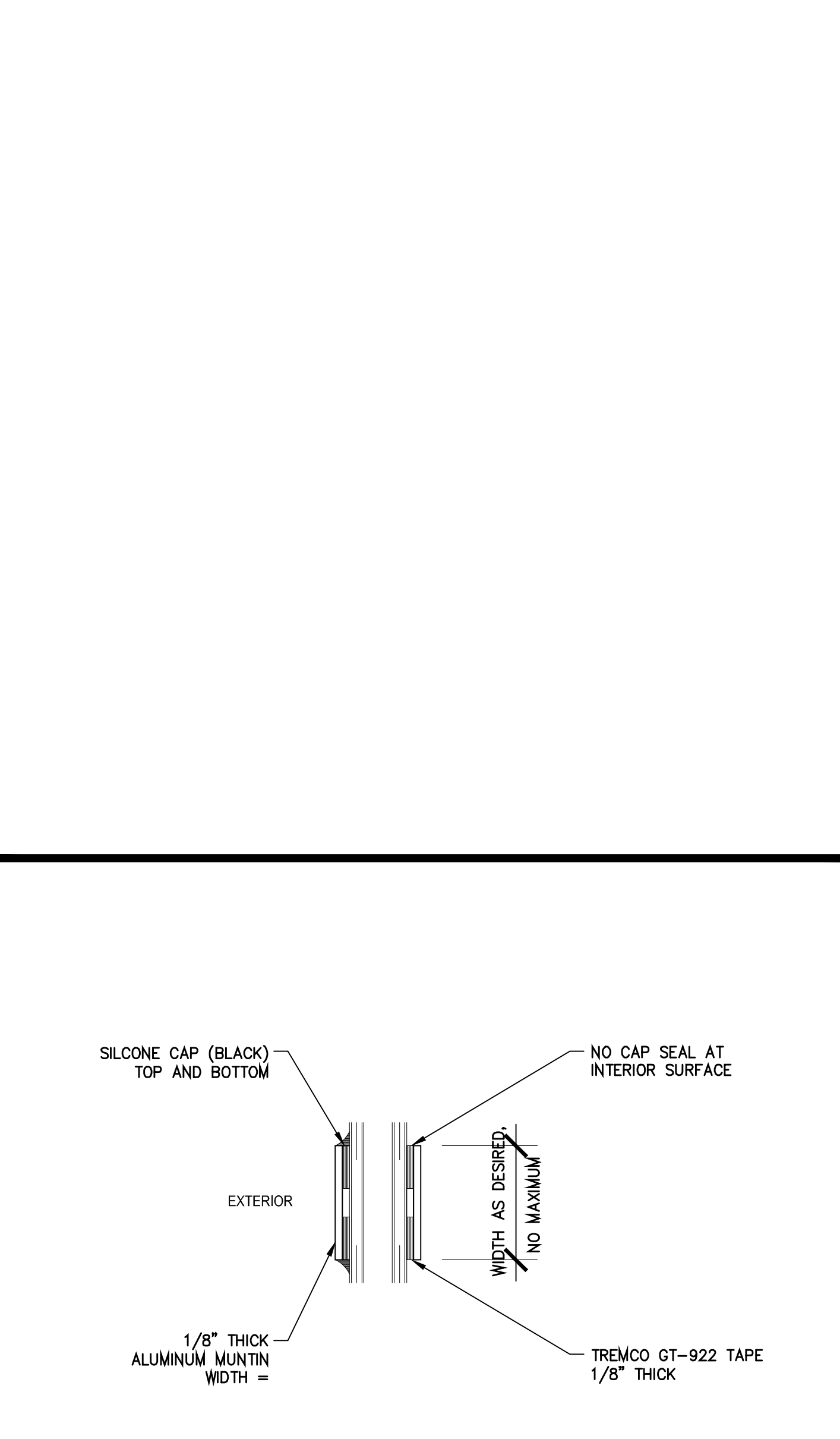
JAMB A



JAMB A



JAMB A



MULLION DETAIL

TYPE A B - WINDOW DETAILS 3" = 1'-0" 1

TYPE C - WINDOW DETAILS 3" = 1'-0" 1

TYPE D - WINDOW DETAILS 3" = 1'-0" 1

TYPE E - WINDOW DETAILS 3" = 1'-0" 3

MULLION DETAIL 1" = 1'-0" 1

REVISIONS

DC ARCHITECTS

9601 9655 6605 OFFICE
SUITE 200
UPLAND, CA 91786

WINDOW REPLACEMENT
MARSHALL ELEMENTARY SCHOOL
1201 EAST BROADWAY
GLENDALE, CA 91201
GLENDALE UNIFIED SCHOOL DISTRICT

WINDOW DETAILS

2018-008
DATE: 09.23.2018
SCALE: A-7.0

BID SET

ALUMINUM WINDOW REQUIREMENTS

ALUMINUM WINDOWS: ARCHITECTURAL AW PERFORMANCE CLASS WINDOWS, PERFORMANCE GRADE 100.

AIR TEST PERFORMANCE REQUIREMENTS

- a. AIR INFILTRATION MAXIMUM 0.1 CFM PER SQUARE FOOT AT 6.24 PSF PRESSURE DIFFERENTIAL WHEN TESTED IN ACCORD WITH ASTM E283.

WATER TEST PERFORMANCE REQUIREMENTS

- a. NO UNCONTROLLED WATER LEAKAGE AT 15.00 PSF STATIC PRESSURE DIFFERENTIAL, WITH WATER APPLICATION RATE OF 5 GALLONS/HR/SQ FT WHEN TESTED IN ACCORD WITH BOTH ASTM E331 AND ASTM E547. STATIC WATER TEST SHALL BE REPEATED AFTER APPLICATION OF DESIGN TEST PRESSURES.

STRUCTURAL TEST PERFORMANCE REQUIREMENTS

- a. UNIFORM LOAD DEFLECTION TEST

- i. NO DEFLECTION OF ANY UNSUPPORTED SPAN L OF TEST UNIT (FRAMING RAILS, MUNTINS, MULLIONS, ETC.) IN EXCESS OF L/175 AT BOTH A POSITIVE AND NEGATIVE LOAD OF 100 PSF (DESIGN TEST PRESSURE) WHEN TESTED IN ACCORD WITH ASTM E530.

- b. UNIFORM LOAD STRUCTURAL TEST

1. UNIT TO BE TESTED AT 1.5 X DESIGN TEST PRESSURE, BOTH POSITIVE AND NEGATIVE, ACTING NORMAL TO PLANE OF WALL IN ACCORD WITH ASTM E530.

- ii. NO GLASS BREAKAGE; PERMANENT DAMAGE TO FASTENERS, HARDWARE PARTS, OR ANCHORS; DAMAGE TO MAKE WINDOWS INOPERABLE; OR PERMANENT DEFORMATION OF ANY MAIN FRAME OR VENTILATOR MEMBER IN EXCESS OF 0.2% OF ITS CLEAR SPAN.

THERMAL TRANSMITTANCE (U-FACTOR) FOR THE OVERALL WINDOW AREA SHALL BE LESS THAN OR EQUAL TO 0.39 BTU/HR-FT² - F. (BASED ON A 1" INSULATING GLASS MAKE UP OF 1/4" SOLARBAN #2, 1/2" AIR FILL, 1/4" CLEAR).

SOLAR HEAT GAIN COEFFICIENT (SHGC) FOR THE OVERALL WINDOW AREA SHALL NOT EXCEED 0.33. (BASED ON A 1" INSULATING GLASS MAKE UP OF 1/4" SOLARBAN #2, 1/2" AIR FILL, 1/4" CLEAR).

ACOUSTIC PERFORMANCE REQUIREMENTS

1. SOUND TRANSMISSION CLASS - STC 31 (BASED ON 1" INSULATING GLASS)
2. OUTDOOR-INDOOR TRANSMISSION CLASS - OITC 25 (BASED ON 1" INSULATING GLASS)

TEST REPORTS AND CALCULATIONS

1. SUBMIT CERTIFIED INDEPENDENT LABORATORY TEST REPORTS VERIFYING COMPLIANCE WITH ALL TEST REQUIREMENTS OF 1.03.
2. SUBMIT STRUCTURAL CALCULATIONS INDICATING ADEQUACY OF ALL MATERIALS FURNISHED UNDER THIS SECTION, IN MEETING THE UNIFORM AND STRUCTURAL LOAD REQUIREMENTS AS SPECIFIED IN 1.03A.

WARRANTY

1. PRODUCTS: SUBMIT A WRITTEN WARRANTY, EXECUTED BY THE WINDOW MANUFACTURER, FOR A PERIOD OF 10 YEARS FROM THE DATE OF MANUFACTURE, AGAINST DEFECTIVE MATERIALS OR WORKMANSHIP, INCLUDING SUBSTANTIAL NON-COMPLIANCE WITH APPLICABLE SPECIFICATION REQUIREMENTS AND INDUSTRY STANDARDS, WHICH RESULT IN PREMATURE FAILURE OF THE WINDOWS, FINISH, FACTORY-GLAZED GLASS, OR PARTS, OUTSIDE OF NORMAL WEAR.
2. IN THE EVENT THAT WINDOWS OR COMPONENTS ARE FOUND DEFECTIVE, MANUFACTURER WILL REPAIR OR PROVIDE REPLACEMENT MATERIAL WITHOUT CHARGE AT MANUFACTURER'S OPTION.
3. WARRANTY FOR ALL COMPONENTS MUST BE DIRECT FROM THE MANUFACTURER (NON PASS-THROUGH) AND NON PRO-RATED FOR THE ENTIRE TERM.

ACCEPTABLE WINDOW MANUFACTURER

1. DRAWINGS AND SPECIFICATION ARE BASED ON:

- a. WAUSAU WINDOW AND WALL SYSTEMS - 2250I AND 4250I INVENT SERIES THERMAL FIXED, PROJECTED AND/OR CASEMENT WINDOWS.
b. BASE BID WILL BE WAUSAU WINDOW AND WALL SYSTEMS.

2. SUBSTITUTIONS

- a. OTHER MANUFACTURERS' PRODUCTS THAT MEET OR EXCEED SPECIFIED DESIGN REQUIREMENTS MAY BE CONSIDERED. SUBMIT THE FOLLOWING INFORMATION WITH REQUEST FOR SUBSTITUTIONS AT LEAST TEN (10) WORKING DAYS PRIOR TO BID DATE.

- 1.1. TEST REPORTS SPECIFIED IN 1.03.
- 1.2. FULL PROPOSAL DETAILS AND SAMPLES SPECIFIED IN 1.04.
- 1.3. COPY OF MANUFACTURER'S WARRANTY SPECIFIED IN 1.07.
- 1.4. PROOF OF AT LEAST 10 YEARS EXPERIENCE IN THE DESIGN AND FABRICATION OF AW PERFORMANCE CLASS WINDOWS.
- 1.5. OTHER INFORMATION AS REQUESTED FOR EVALUATION

FINISHES

1. FINISH OF ALL EXPOSED AREAS OF ALUMINUM WINDOWS AND COMPONENTS SHALL BE DONE IN ACCORD WITH THE APPROPRIATE AAMA VOLUNTARY GUIDE SPECIFICATION SHOWN.

| DESIGNATION | DESCRIPTION | STANDARD | COLOR |
|-------------|-------------|-----------|---|
| PAINT | 70% PVDF | AAMA 2605 | DISTRICT STANDARD HORIZON BLUE (MATCH EXISTING) |

GLAZING REQUIREMENTS

1. ACCEPTABLE GLAZING MANUFACTURERS

- A. GLASS AND GLASS UNITS:
- 1.1. GUARDIAN INDUSTRIES CORPORATION, CARLETON, MI; 800-521-9040.
 - 1.2. LIBBEY-OWENS-FORD CO., LOS ANGELES, CA; 800-522-9430.
 - 1.3. PPG INDUSTRIES, PITTSBURGH, PA; 800-377-5267.
 - 1.4. VIRACON; NEWPORT BEACH, CA; 714-631-8361.
 - 1.5. OLDCASTLE GLASS, SANTA MONICA, CA; 866-653-2278.

- B. FIRE-RATED GLASS:
- 1.1. TECHNICAL GLASS PRODUCTS, SEATTLE, WA, FIRELITE PLUS; 800-426-0279.
 - 1.2. O'KEEFE'S/SAFTFIRST, SUPERLITE 1 (20 MINUTES), SUPERLITE 1-XL (45 AND AND SUPERLITE 2XL (45 TO 180 MINUTES), SAN FRANCISCO, CA; 888- 653-3333
 - 1.3. FIRE-RATED GLASS TO BE UL OR INTERTEKWARNOCK HERSEY, INC. TESTED.

2. MATERIALS

- A. GENERAL: ALL REPLACEMENT GLAZING TO MATCH EXISTING ADJACENT GLAZING AS CLOSE AS POSSIBLE, UNLESS NOTED OTHERWISE.

B. GLAZING TYPES:

1. TYPE 8 (LAMINATED GLAZING); TWO LAYERS OF 1/8" THICK, TEMP. (1/4" INCH LOW E, WITH GREY LIGHT 20% TINT AND TO NOTCH EXISTING) LAMINATED GLAZING WITH 0.03" THICKNESS INTERLAYER FILM MEETING UL 972 REQUIREMENTS.
- a. ACCEPTABLE MANUFACTURERS AND PRODUCTS:
- 1) INSULGARD COASTGUARD BY INSULGARD NO. CG416
 - 2) SAFLEX INTERLAYER BY SOLUTIA, INC.

- C. GLAZING ACCESSORIES: CONFORM TO FGMA GLAZING SEALING SYSTEMS MANUAL AND/OR PRINTED RECOMMENDATIONS BY GLAZING MANUFACTURERS, WHICHEVER IS MOST STRINGENT, FOR THE FOLLOWING:

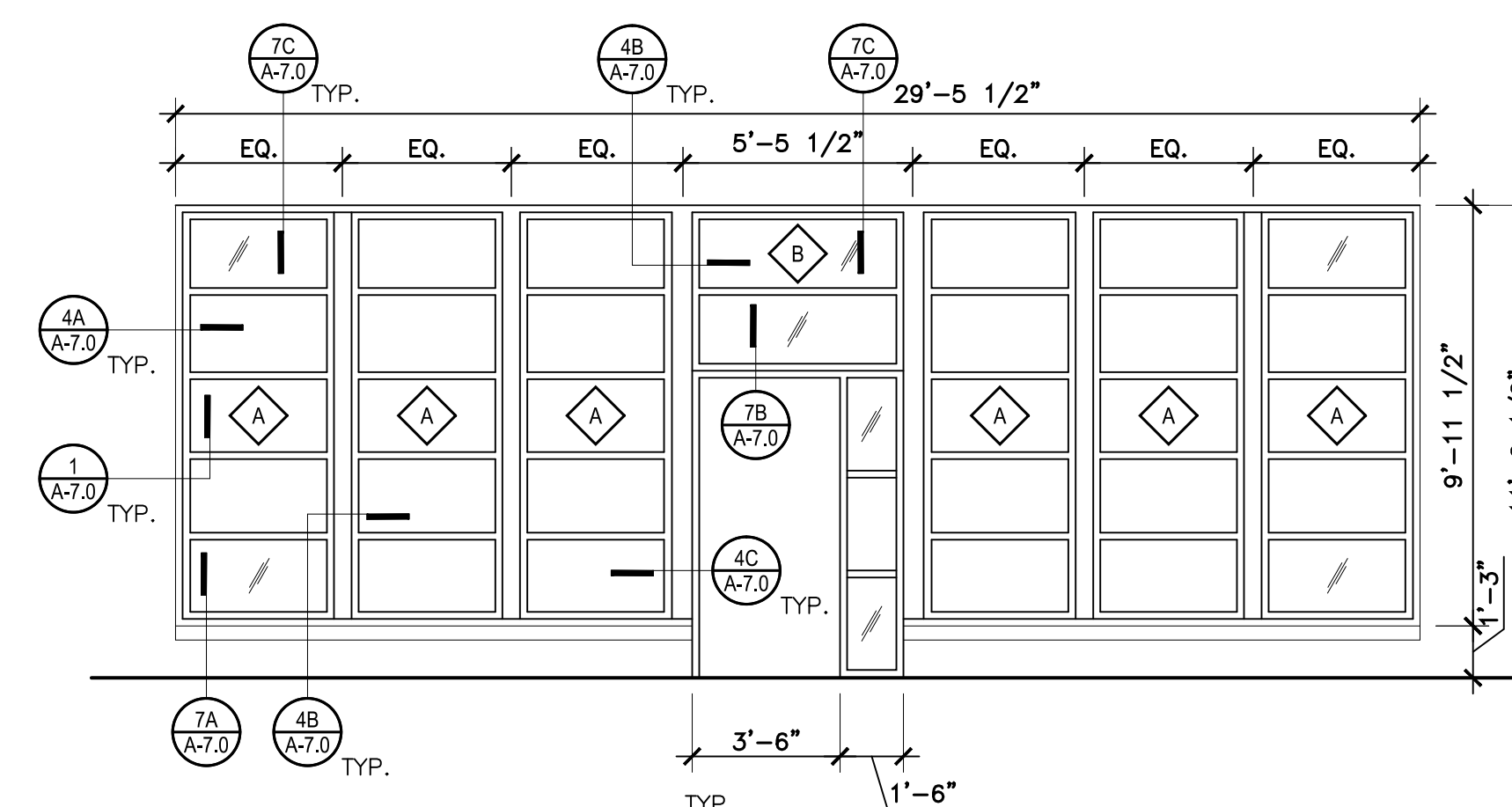
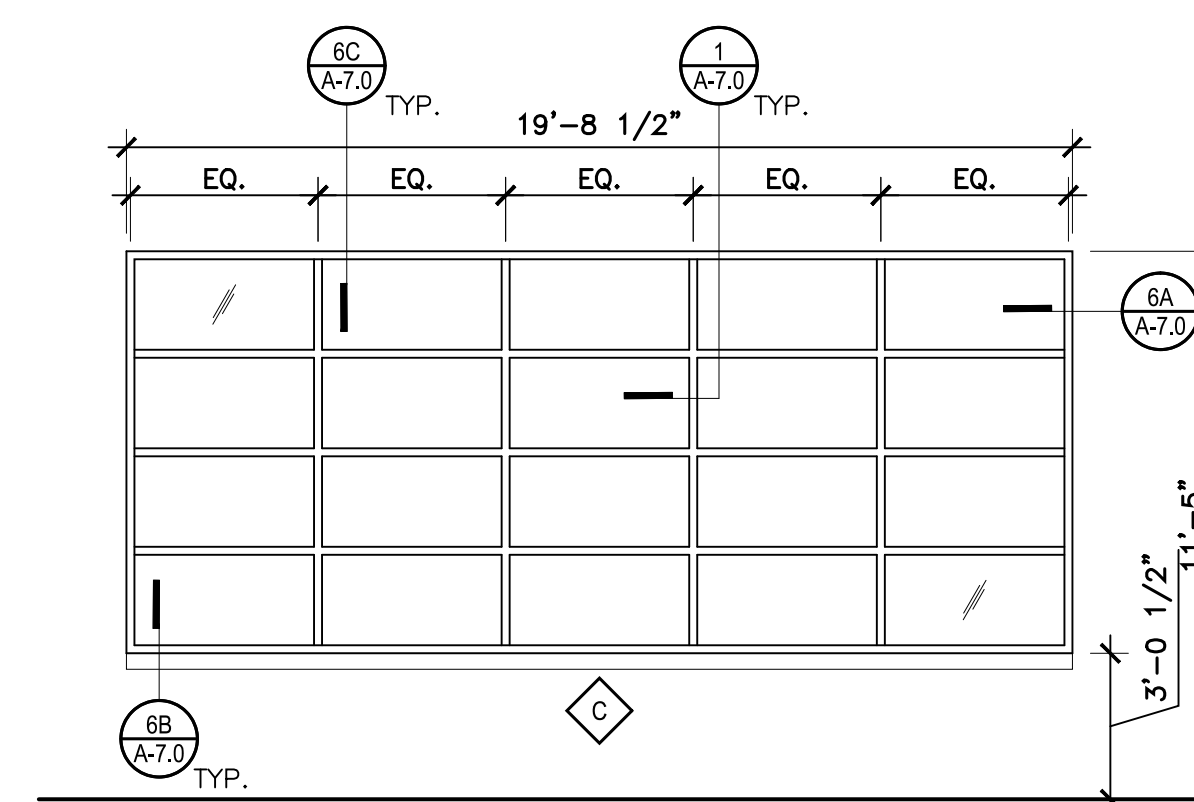
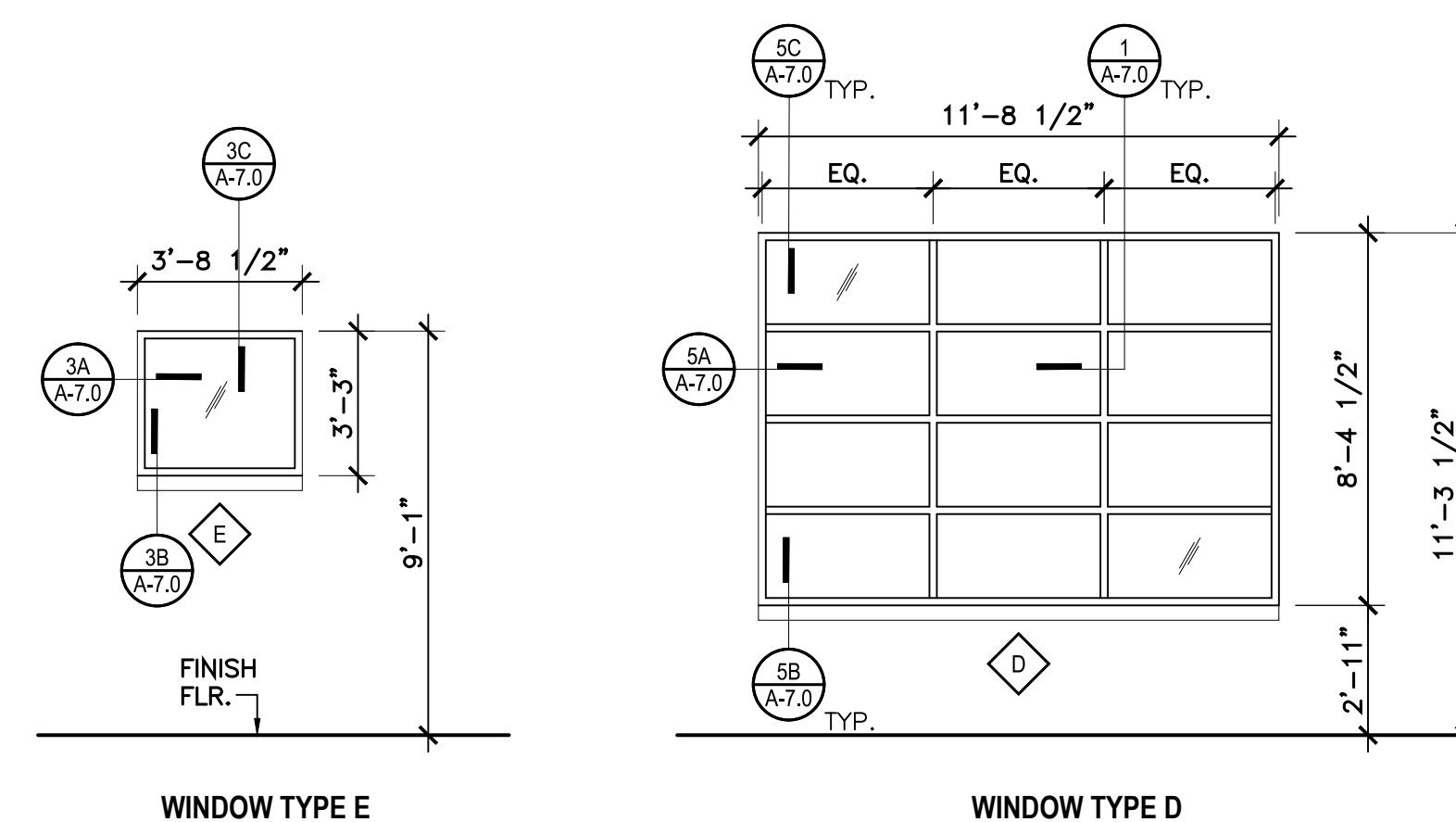
1. SETTING BLOCKS: NEOPRENE; 70-90 SHORE A DUROMETER HARDNESS.
2. SPACERS: NEOPRENE; 50 SHORE A DUROMETER HARDNESS.
3. GLAZING POINTS: RESILIENT POLYVINYL CHLORIDE EXTRUDED SHAPE TO SUIT GLAZING CHANNEL RETAINING SLOT.
4. GLAZING COMPOUND: FS TT-G-410 (SUPERSEDE BY ASTM C669-00); NON-HARDENING; KNIFE GRADE CONSISTENCY DAP 1012 GLAZING COMPOUND OR APPROVED EQUIVALENT; FACTORY COLOR TO MATCH ADJACENT FRAMING.
5. SILICONE SEALANT'S TT-S-1543; SINGLE COMPONENT; CURED SHORE A HARDNESS OF 15-25.
- a. TREMCO, GENERAL ELECTRIC, AND DOW CORNING SEALANT PRODUCTS ARE APPROVED WHERE USE IS DOCUMENTED AND IN ACCORDANCE WITH THE USE AND CONDITIONS OF THIS PROJECT
6. GLAZING TAPE: PREFORMED BUTYL COMPOUND; 10-15 SHORE A HARDNESS; COILED ON RELEASE PAPER; BLACK COLOR.

WINDOW SCHEDULE

| OPENING NUMBER | NEW WINDOW | | | FRAME | | DETAILS | | | | GLASS TYPE | REMARKS |
|----------------|------------|------------|------------|----------|--------|-------------|-------------|-------------|------------|------------|---------|
| | TYPE | WIDTH | HEIGHT | MATERIAL | FINISH | HEAD | JAMB | SILL | MULLION | | |
| | | | | | | DET | DET | DET | DET | | |
| W01 | A | 4'-0" | 9'-11 1/2" | ALUM | PTD | 7C A-7.0 | 4A A-7.0 | 7A A-7.0 | 1 A-7.0 | GLZ | |
| W02 | A | 4'-0" | 9'-11 1/2" | ALUM | PTD | 7C A-7.0 | 4B A-7.0 | 7A A-7.0 | 1 A-7.0 | GLZ | |
| W03 | A | 4'-0" | 9'-11 1/2" | ALUM | PTD | 7C A-7.0 | 4C A-7.0 | 7A A-7.0 | 1 A-7.0 | GLZ | |
| W04 | B | 5'-5 1/2" | 3'-11" | ALUM | PTD | 7C A-7.0 | 4B A-7.0 | 7B A-7.0 | 1 A-7.0 | GLZ | |
| W05 | A | 4'-0" | 9'-11 1/2" | ALUM | PTD | 7C A-7.0 | 4C A-7.0 | 7A A-7.0 | 1 A-7.0 | GLZ | |
| W06 | A | 4'-0" | 9'-11 1/2" | ALUM | PTD | 7C A-7.0 | 4B A-7.0 | 7A A-7.0 | 1 A-7.0 | GLZ | |
| W07 | A | 4'-0" | 9'-11 1/2" | ALUM | PTD | 7C A-7.0 | 4A A-7.0 | 7A A-7.0 | 1 A-7.0 | GLZ | |
| W08 | E | 3'-8 1/2" | 3'-3" | ALUM | PTD | 3C A-7.0 | 3A A-7.0 | 3B A-7.0 | --- --- | GLZ | |
| W09 | E | 3'-8 1/2" | 3'-3" | ALUM | PTD | 3C A-7.0 | 3A A-7.0 | 3B A-7.0 | --- --- | GLZ | |
| W10 | E | 3'-8 1/2" | 3'-3" | ALUM | PTD | 3C A-7.0 | 3A A-7.0 | 3B A-7.0 | --- --- | GLZ | |
| W11 | D | 11'-8 1/2" | 8'-4 1/2" | ALUM | PTD | 5C A-7.0 | 5A A-7.0 | 5B A-7.0 | 1 A-7.0 | GLZ | |
| W12 | C | 19'-8 1/2" | 8'-4 1/2" | ALUM | PTD | 6C A-7.0 | 6A A-7.0 | 6B A-7.0 | 1 A-7.0 | GLZ | |
| W13 | E | 3'-8 1/2" | 3'-3" | ALUM | PTD | 3C A-7.0 | 3A A-7.0 | 3B A-7.0 | --- --- | GLZ | |

NOTES:

1. THE GIVEN WINDOW MEASUREMENTS ARE BASED ON AS-BUILT AND ARE AS A ROUGH REFERENCE PROVIDED BY THE DISTRICT. THE EXACT WINDOW MEASUREMENTS SHOULD BE FIELD VERIFIED BY THE CONTRACTOR FOR PROPER FITMENT AND ORDERING OF THE NEW REPLACEMENT.



GENERAL NOTES

1. PROTECT ANY IMMEDIATE ADJACENT AREAS OF DEMOLITION WORK AND INTERIOR FINISHES FROM DAMAGE; COORDINATE DEMOLITION EFFORTS WITH NEW CONSTRUCTION.
2. IF SALVAGING MATERIALS, STORE SAFELY ON SITE TO AVOID DAMAGE.
3. GENERAL CLEANING OF ALL DEBRIS AND LOOSE ITEMS TO BE PART OF DEMOLITION IN PREPARATION AS REQUIRED FOR NEW WORK.
4. CLEAN EXISTING EXPOSED EXTERIOR AND INTERIOR BRICK, TILE OR DRY WALLS OF ALL PAINT.
5. CONTRACTOR SHALL CONTACT ARCHITECT AND OWNER REGARDING QUESTIONS TO DEMOLITION SCOPE OF WORK PRIOR TO PROCEEDING.
6. SEE ELEVATIONS FOR NOTES REGARDING ADDITIONAL INFORMATION FOR WINDOW REPLACEMENT AND EXTERIOR WALL REPAIR.
7. CONTRACTOR TO VISIT SITE TO FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS ASSOCIATED FOR REMOVAL OF ITEMS REQUIRED FOR THE NEW WORK.
8. AT ALL EXISTING PORTIONS TO REMAIN, REMOVE MOLD, MILDEW, ALGAE THROUGHOUT PRIOR TO CONSTRUCTING NEW WORK.
9. ALL DIMENSIONS TO BE FIELD VERIFIED PRIOR TO PROCEEDING THE WORK.
10. ALL WINDOW GLAZING TO BE 20% TINTED GLASS.

PLAN NOTES

1. PRIOR TO PREPARATION OF SHOP DRAWINGS, REMOVE EXISTING WINDOW AT OPENING INDICATED, VERIFY EXISTING CONDITIONS AND CONSTRUCTION CONFIGURATION OF EXISTING OPENING FOR CONFIRMATION OF HEAD, JAMB, AND SILL DETAILS; AND MEANS AND METHODS REQUIRED FOR INSTALLATION OF WINDOWS. SECURE OPENING WITH TEMPORARY CONSTRUCTION AS REQUIRED TO ENSURE OPENING REMAINS SECURE FROM INTRUSION AND WEATHER TIGHT.

REVISIONS

DC | ARCHITECTS

WINDOW REPLACEMENT
JOHN MARSHALL ELEMENTARY SCHOOL
1201 EAST BROADWAY STREET
GLENDALE, CA 91205
GLENDALE UNIFIED SCHOOL DISTRICT

WINDOW TYPE &
WINDOW SCHEDULE

NO. 2018-008
DATE: 08.23.2018
SCALE:

A-7.1

BID SET

WINDOW TYPES

1/4" = 1'-0"

1