

GENERAL NOTES

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PROJECT DATA

ZONING CLASSIFICATION : FL
 TAX MAP NO. : 18-04-01-14
 LOT : 07800
 OCCUPANCY : E
 BUILDING TYPE : Y-B
 ADDITION AREA : N/A
 O.S.S.C EDITION : 2014

PROJECT TEAM

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ARCHITECTURAL SYMBOLS

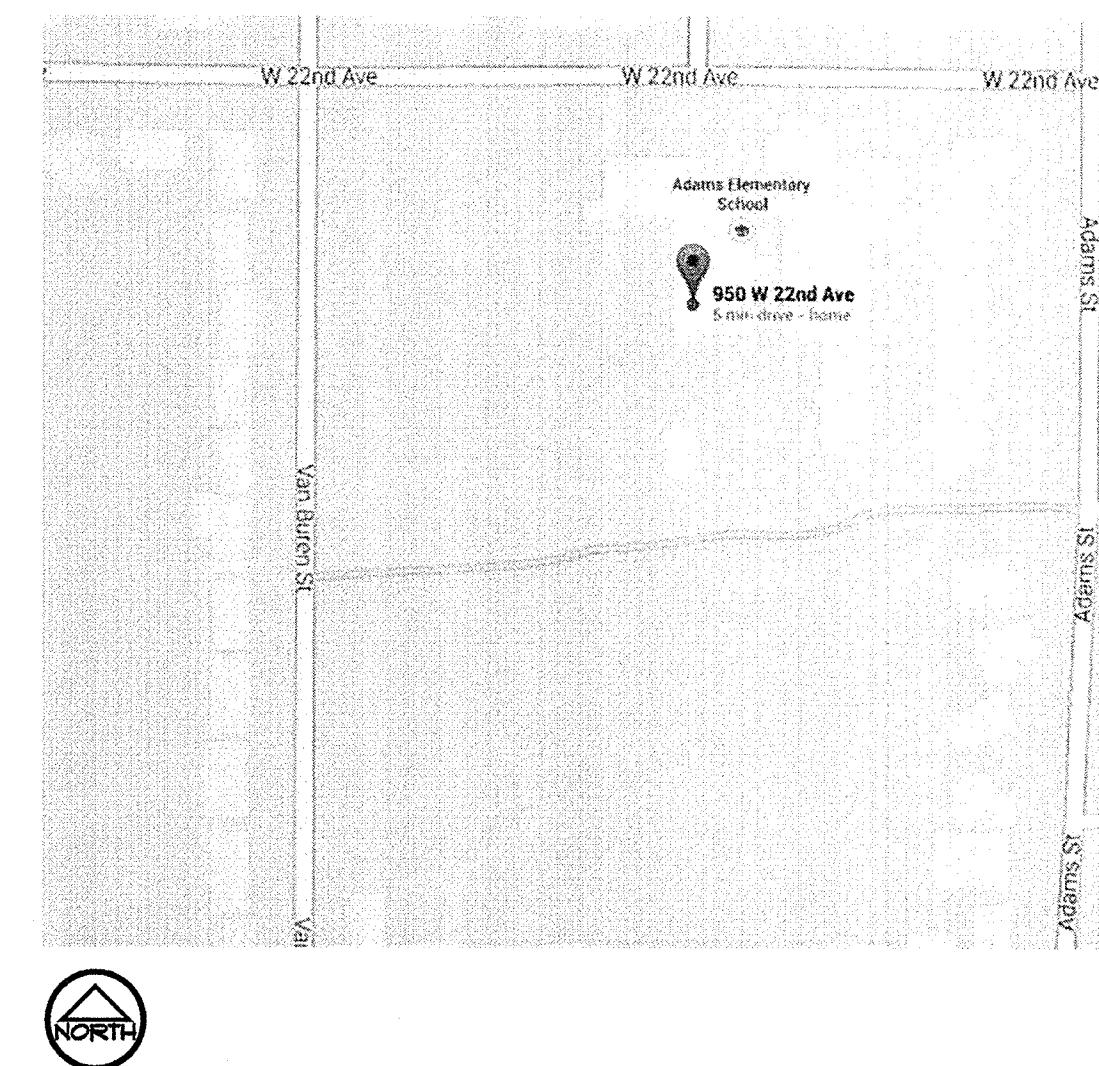
	COLUMN GRID NOTATION		SAND		DETAIL		SOUND / THERMAL BATT INSULATION
	MATCH SIDE BREAK - MATCH LINE		GRAVEL		SECTION		RIGID INSULATION
	ELEVATION DATUM		CONCRETE		NORTH ARROW		
	DATUM POINT		GENERAL MASONRY		REFERENCE ARROW		
	ROOM NAME		UNDISTURBED SOIL		VIEW		
	ROOM NUMBER		WOOD		DIRECTION OF VIEW		
	SLOPE TAG		STEEL		EXISTING WALL		
	KEY NOTE		REVISION TAG		DEMO WALL		
	WINDOW TAG		REVISION CLOUD		NEW WALL		
	DOOR TAG						

ARCHITECTURAL ABBREVIATIONS

A.C.	ACOUST.	ACOUSTICAL	F.O.A.	FACE-OF-BLOCK	FR.CST.	FRE-CAST
A/C	AIR CONDITIONING	F.O.C.	FACE-OF-CONCRETE	FL.	FLAME	FLATE
A.D.	AREA DRAIN	F.O.F.	FACE-OF-FINISH	FL.AM.	FLASTIC LAMINATE	FLASTER
ADJ.	ADJUSTABLE	F.O.S.	FACE-OF-STUDS	FL.AS.	FLYWOOD	FLYWOOD
AGGR	AGGREGATE	FFRF	FIREPROOF	FR.	FAIR	FAIR
AL	ALUMINUM	FR.	FIRE RETARDANT	FT.	FOOT	FOOT
ALT.	ALTERNATE	F.S.	FULL SIZE	FT.	FOOT OR FEET	FOOT
APPROX.	APPROXIMATE	FT.	FOOT OR FEET	FT.	FOOT OR FEET	FOOT
ARCH.	ARCHITECTURAL	FTG.	FOOTING	FURR.	FURRING	FURRING
ASB.	ASBESTOS	FURR.	FURRING	FUT.	FUTURE	FUTURE
ASPH.	ASPHALT	F.F.	FOUNDATION VENT	F.V.	FOUNDATION VENT	FOUNDATION VENT
A.B.	ANCHOR BOLT	GA.	GUAGE	G.V.	GALVANIZED	GALVANIZED
A.H.	AIR HANDLER	GALV.	GALVANIZED	GAL.	GALLON	GALLON
A.S.U.	AIR SUPPLY UNIT	G.B.	GRAB BAR	G.B.	GROUND FAULT INTERRUPTOR	GROUND FAULT INTERRUPTOR
ANOD.	ANODIZED	G.F.I.	GROUND FAULT INTERRUPTOR	GLASS	GLASS	GLASS
APPL.	APPLIANCE	GL.	GROUND	GND.	GROUND	GROUND
BD.	BOARD	GND.	GROUND	GR.	GRADE	GRADE
BITUM.	BITUMINOUS	GR.	GRADE	GRT.	GYP. BD.	GYP. BOARD
BLDG.	BUILDING	GRT.	GRADE	G.L.B.	GLUE-LAMINATED BEAM	GLUE-LAMINATED BEAM
BLK.	BLOCK	H.C.W.C.	HANDICAPPED WALK CLOSET	HCNGR.	HANGER H.K. HOOK	HANGER H.K. HOOK
BLKG.	BLOCKING	H.B.	HOSE BIB	H.C.	HOLE CORE	HOLE CORE
BH.	BEAM	H.C.	HOLE CORE	HDWD.	HARDWOOD	HARDWOOD
BOT.	BOTTOM	HDWD.	HARDWOOD	HDWE.	HARDWARE	HARDWARE
BRNZ.	BRONZE	H.P.	HEAT PUMP	H.M.	HOLLOW METAL	HOLLOW METAL
B.S.B.M.	BY STEEL BLDG. MANUF.	H.H.	HORIZONTAL	HORIZ.	HORIZONTAL	HORIZONTAL
BUR.	BUILT-UP-ROOFING	H.R.	HOUR	HGT.	HEIGHT	HEIGHT
CAB.	CABINET	ID.	INSIDE DIAMETER	INSUL.	INSULATION	INSULATION
C.B.	CATCH BASIN	INT.	INTERIOR	INV.	INVERT ELEVATION	INVERT ELEVATION
C.D.F.	CONTROL DENSITY FILL	JAN.	JANITOR	J.T.	JOINT	JOINT
CEM.	CEMENT CER. CERAMIC	JST.	JOIST	KIT.	KITCHEN	KITCHEN
C.I.	CAST IRON	K.O.	KNOCK-OUT	L.A.B.	LABORATORY	LABORATORY
CLG.	CEILING	L.S.	LAG SCREW	L.A.T.	LATERAL	LATERAL
CLKG.	CAULKING	L.A.M.	LAMINATE	L.A.V.	LAVATORY	LAVATORY
CLR.	CLEAR	L.K.R.	LOCKER	L.T.	LIGHT	LIGHT
C.M.U.	CONCRETE MASONRY UNIT	L.T. WT.	LIGHT WEIGHT	MATL.	MATERIAL	MATERIAL
COMP.	COMPOSITION	MATL.	MATERIAL	MAX.	MAXIMUM	MAXIMUM
COL.	COLUMN	M.B.	MACHINE BOLT	M.A.S.	MASONRY	MASONRY
CONC.	CONCRETE	M.C.	MEDICINE CABINET	M.E.C.H.	MECHANICAL	MECHANICAL
C.J.	CONTROL JOINT	M.E.M.B.	MEMBRANE	M.T.L.	METAL	METAL
CORR.	CORRIDOR	MFR.	MANUFACTURER	M.I.D.G. (S)	MANHOLE (S)	MANHOLE (S)
CARP.	CARPET (ED)	M.I.N.	MINIMUM	M.I.R.	MIRROR	MIRROR
C.P.	CONCRETE PIPE	M.I.S.C.	MISCELLANEOUS	M.O.	MASONRY OPENING	MASONRY OPENING
CT&K.	COUNTERSUNK	M.H.R.	MOISTURE RESISTANT	M.H.D.	MOISTURE RESISTANT	MOISTURE RESISTANT
CNTR.	COUNTER	M.L.	MOISTURE RESISTANT	M.L.	MOISTURE RESISTANT	MOISTURE RESISTANT
CTR.	CENTER	M.T.L.	METAL	(N)	NEW	NEW
CU.	CUBIC	N.	NORTH	NAT.	NATURAL	NATURAL
DBL.	DOUBLE	NAT.	NATURAL	NO.	NOMINAL	NOMINAL
DEPT.	DEPARTMENT	N.T.S.	NOT-TO-SCALE	N.P.T.	NATIONAL PIPE THREAD	NATIONAL PIPE THREAD
D.F.	DRINKING FOUNTAIN	N.P.T.	NATIONAL PIPE THREAD	OA.	OVERALL	OVERALL
DET.	DETAIL	OBS.	OBSCURE	OC.	ON CENTER	ON CENTER
DIAG.	DIAGONAL	OD.	OUTSIDE DIAMETER	OF.C.I.	OWNER FURNISHED, CONTRACTOR INSTALLED	OWNER FURNISHED, CONTRACTOR INSTALLED
DIA.	DIAMETER	OFF.	OFFICE	OFNG.	OPENING	OPENING
DIM.	DIMENSION	OPP.	OPPOSITE	OPT.	OPTIONAL	OPTIONAL
DISP.	DISPENSER	OS.A.	OUTSIDE AIR	O.S.B.	ORIENTED STRAND BOARD	ORIENTED STRAND BOARD
DN.	DOWN	PNL(S)	PANEL(S)	PART. ED.	PARTICLE BOARD	PARTICLE BOARD
D.O.	DITTO	PEN.	PENETRATION			
DR.	DOOR					
DWR.	DRAWER					
D.S.	D/S DOWNSPOUT					
D.S.P.	DRY STANDPIPE					
DWG.	DRAWING					
E.	EAST					
E.A.	EACH					
E.J.	EXPANSION JOINT					
EL.	ELEVATION					
ELECT.	ELECTRICAL					
ELEV.	ELEVATOR					
EMER.	EMERGENCY					
ENCL.	ENCLOSURE					
E.O.S.	EDGE OF SLAB					
E.P.	ELECTRICAL PANELBOARD					
EQ.	EQUAL					
EGPT.	EQUIPMENT					
EGV.	EQUIVALENT					
EW.C.	ELECTRICAL WATER COOLER					
(E) EX.	EXISTING EXPO. EXPOSED					
EXP.	EXPANSION					
EXT.	EXTERIOR					
F.A.	FIRE ALARM					
F.A.U.	FORCED AIR UNIT					
F.B.	FLOOR BAR					
F.D.	FLOOR DRAIN					
FL.	FLOW LINE					
F.G.	FINISH GRADE					
FND.	FOUNDATION					
F.E.	FIRE EXTINGUISHER					
F.H.C.	FIRE HOSE CABINET FIN. FINISH					
FLR.	FLOOR					
FLASH.	FLASHING					
FLUOR.	FLUORESCENT					

PARKING ANALYSIS

VICINITY MAP



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 EGRESS REMODEL**
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TITLE: TITLE SHEET

JOB#: 119207062015

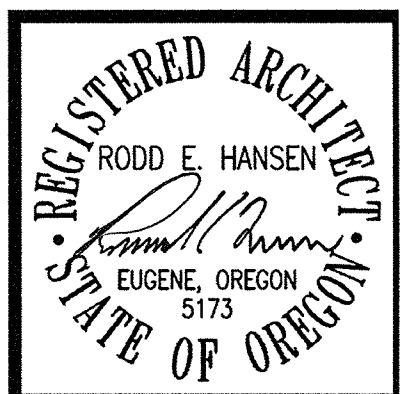
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ISSUE DATE: --

SCALE: NONE

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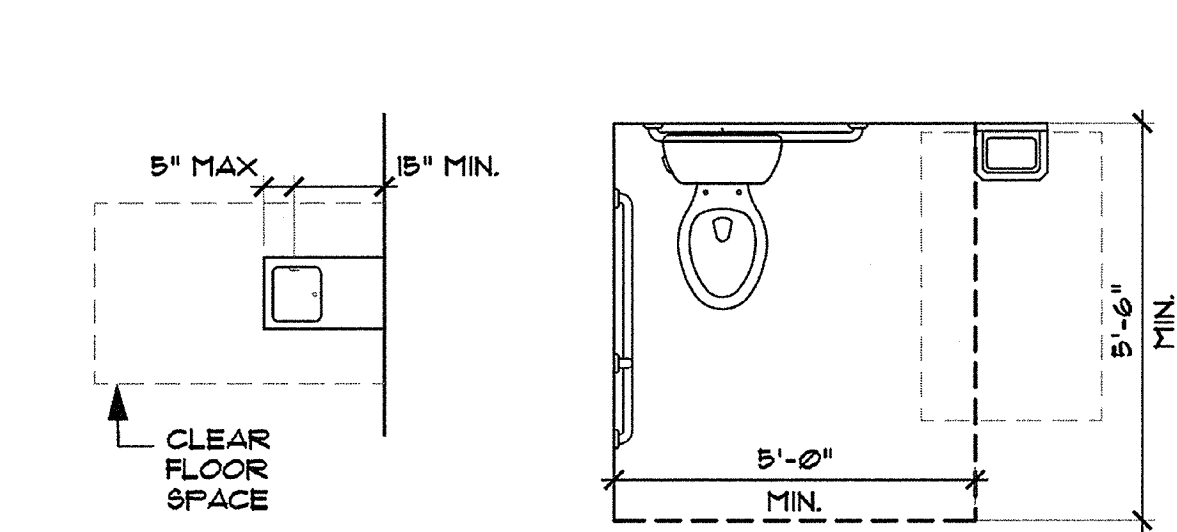
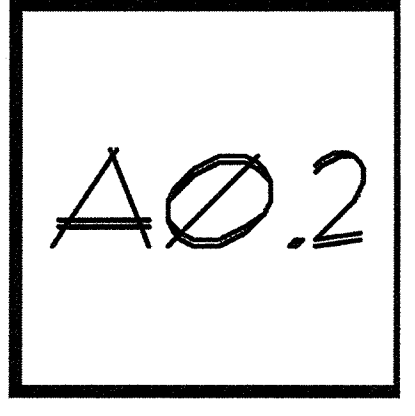
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SCALE: VARIES

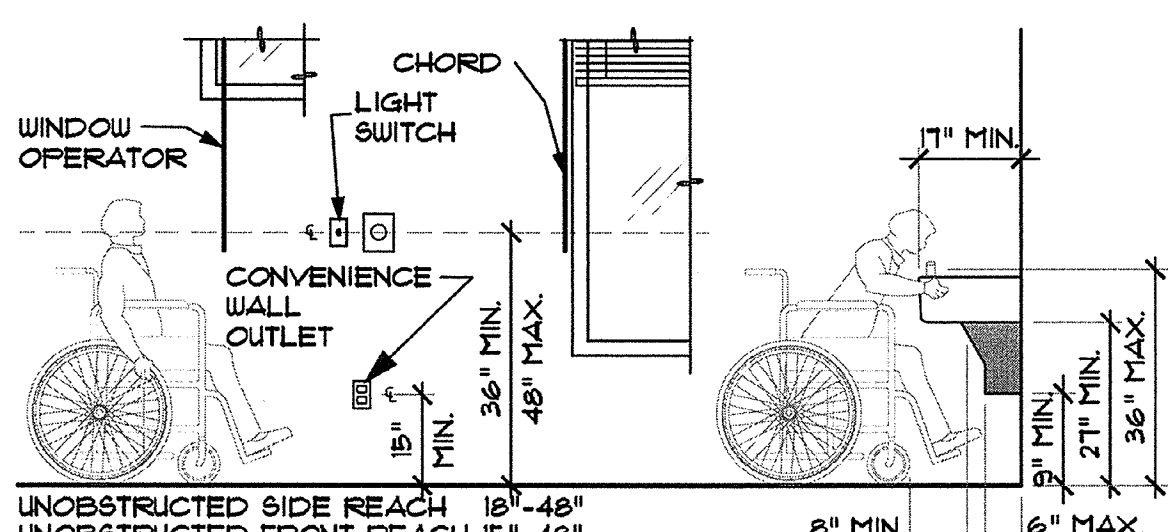
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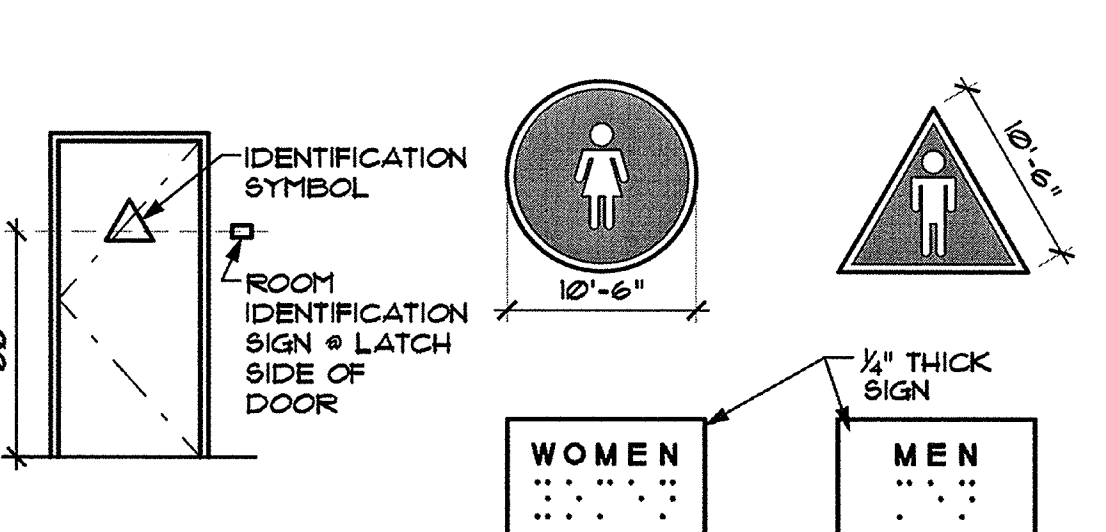
ACCESSIBILITY CLEARANCES:

- 1. FLOOR DRAINS SHALL NOT BE LOCATED WITHIN THE CLEAR FLOOR SPACE AT A LAVATORY, WATER CLOSET, URINAL, OR BATHTUB OR SHOWER. FLOORS SHALL NOT SLOPE IN EXCESS OF 1 UNIT VERTICAL IN 50 UNITS HORIZONTAL (2% SLOPE).
- 2. WHEN DOOR IS LOCATED IN CORRIDOR SIDEWALL AND SWINGS INTO THE CORRIDOR, MINIMUM WIDTH OF CORRIDOR SHALL BE 60" UNLESS OTHER STATE OR LOCAL BUILDING CODES ALLOW LESSER CORRIDOR WIDTH.
- 3. AN UNOBSTRUCTED FLOOR SPACE SHALL BE PROVIDED WITHIN BATHROOMS, TOILET ROOMS, BATHING FACILITIES AND SHOWER ROOMS OF SUFFICIENT SIZE TO INSCRIBE A CIRCLE WITH A DIAMETER NOT LESS THAN 60" OR A 171" TURN DOORS IN ANY POSITION MAY ENCRUSH INTO THIS SPACE BY NOT MORE THAN 12", BUT SHALL NOT SWING INTO THE CLEAR FLOOR SPACE OF ANY FIXTURE. THE CLEAR FLOOR SPACES AT FIXTURES, THE ACCESSIBLE ROUTE AND THE UNOBSTRUCTED FLOOR SPACE MAY OVERLAP.
- 4. FLUSH CONTROLS SHALL BE HAND OPERATED OR AUTOMATIC AND BE MOUNTED FOR USE FROM THE WIDE SIDE OF THE WATER CLOSET AREA AND NOT MORE THAN 44" ABOVE THE FLOOR. CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH THE WRIST OR ARM AND NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS-FORCE.



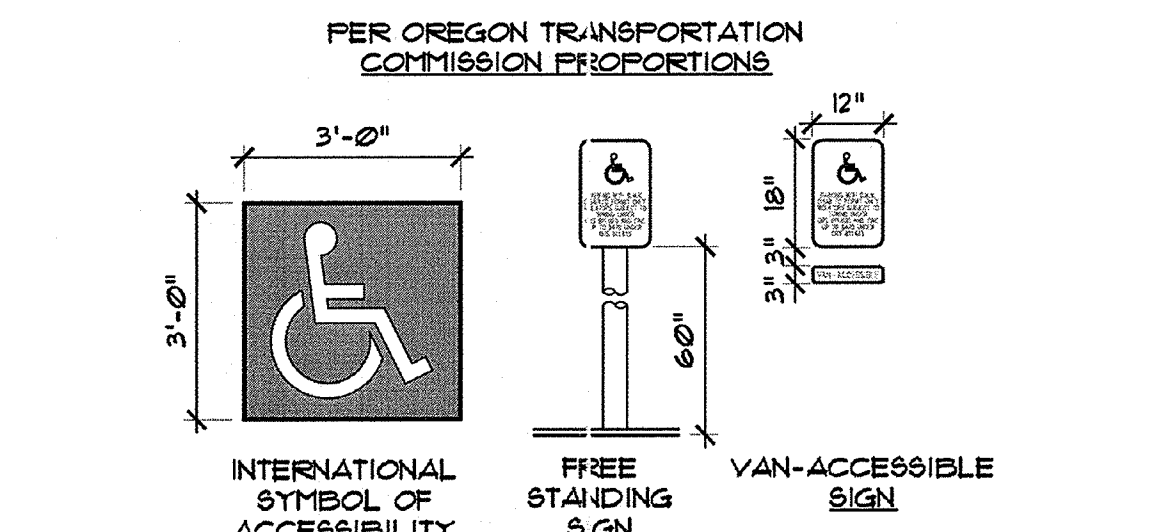
ACCESSIBILITY HEIGHTS:

- 1. MANUALLY OPERATED SWITCHES AND CONTROLS FOR LIGHTS, POWER HEAT, VENTILATION, WINDOWS, DRAPERIES, DOORS AND SIMILAR CONTROLS OF FREQUENT AND ESSENTIAL USE ARE TO BE CENTERED BETWEEN 36" AND 48" FROM FLOOR.
- 2. ELECTRICAL CONVENIENCE WALL OUTLETS ARE TO BE A MINIMUM 15" FROM THE FLOOR. ELECTRICAL CONVENIENCE FLOOR OUTLETS AND BASEBOARD ELECTRICAL OUTLETS USED IN MOVABLE PARTITIONS OR WINDOW WALLS ARE NOT SUBJECT TO THE MINIMUM HEIGHT REQUIREMENTS.
- 3. DRINKING FOUNTAINS LOCATED WITHIN ALCOVES OR POSITIONED SO AS NOT TO BE IN CORRIDOR OR WALK SHALL COMPLY WITH ABOVE.
- 4. THE BUBBLER CAN BE ACTIVATED BY HAND OPERATED LEVER WITHIN 6" OF THE FRONT, PUSH BAR ALONG FRONT OR BY ANOTHER APPROVED CONTROL EASILY OPERATED BY A HANDICAPPED PERSON.
- 5. WATER STREAM IS TO BE PARALLEL TO THE FRONT SIDE OF THE FOUNTAIN.



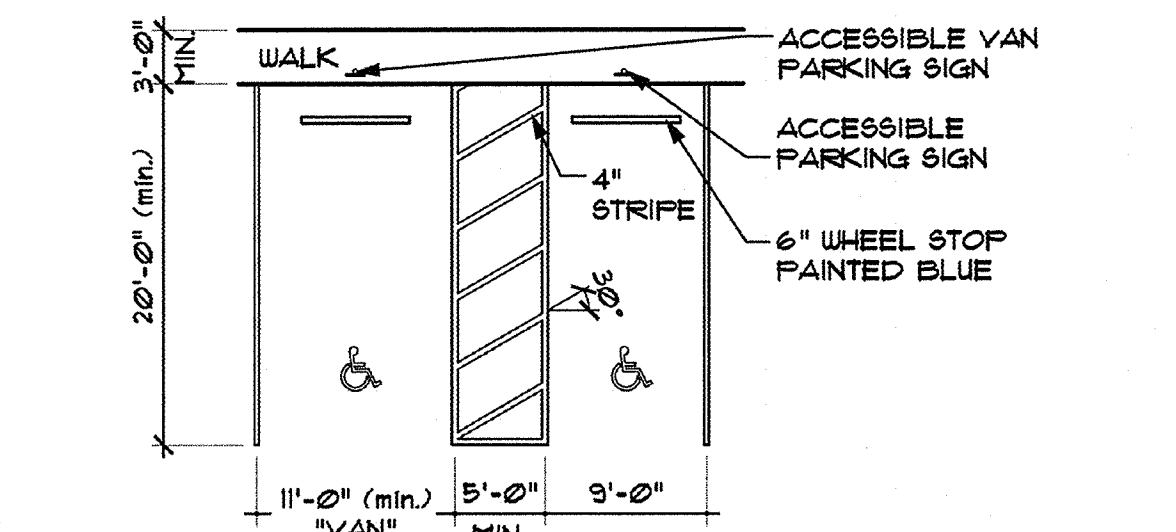
INTERIOR SIGNAGE

- 1. WHERE PERMANENT IDENTIFICATION IS PROVIDED FOR ROOMS AND SPACES, SIGNS SHALL BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR AND BE CENTERED 60" ABOVE THE FINISHED FLOOR. WHERE THERE IS NO WALL SPACE TO THE LATCH SIDE OF THE DOOR, INCLUDING AT DOUBLE-LEAF DOORS, SIGNS SHALL BE PLACED ON THE NEAREST ADJACENT WALL. MOUNTING LOCATION FOR SUCH SIGNAGE SHALL BE SO THAT A PERSON MAY APPROACH WITHIN 3" OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF A DOOR.
- 2. THE CHARACTER AND BACKGROUND OF INTERIOR SIGNS SHALL BE EGGSHELL, MATTE, OR OTHER NON-GLASS FINISH. CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND, EITHER LIGHT CHARACTERS ON A DARK BACKGROUND OR DARK CHARACTERS ON A LIGHT BACKGROUND ARE ACCEPTABLE.
- 3. LETTERS & NUMBERS ON SIGNS SHALL HAVE A WIDTH-TO-HEIGHT RATIO BETWEEN 3.5 AND 1:1 AND A STROKE-WIDTH-TO-HEIGHT RATIO BETWEEN 1:5 AND 1:10. CHARACTERS AND NUMBERS ON SIGNS SHALL BE SIZED ACCORDING TO THE VIEWING DISTANCE FROM WHICH THEY ARE TO BE READ. THE MINIMUM CHARACTER HEIGHT FOR SIGNS, SUSPENDED OR PROJECTED OVERHEAD IS 3" FOR UPPERCASE LETTERS. LOWERCASE LETTERS ARE PERMITTED.
- 4. LETTERS AND NUMERALS SHALL BE RAISED NOT LESS THAN 1/8" & BE UPPERCASE, SIMPLE TYPEFACES AND BE ACCOMPANIED WITH GRADE 2 BRAILLE. RAISED CHARACTERS SHALL BE NOT LESS THAN 3/8" OR MORE THAN 2" HIGH. ANY PICTOGRAMS SHALL BE ACCOMPANIED BY THE EQUIVALENT VERBAL DESCRIPTION PLACED DIRECTLY BELOW THE PICTOGRAM. THE BORDER DIMENSION OF THE PICTOGRAM SHALL BE AT LEAST 6" HIGH.



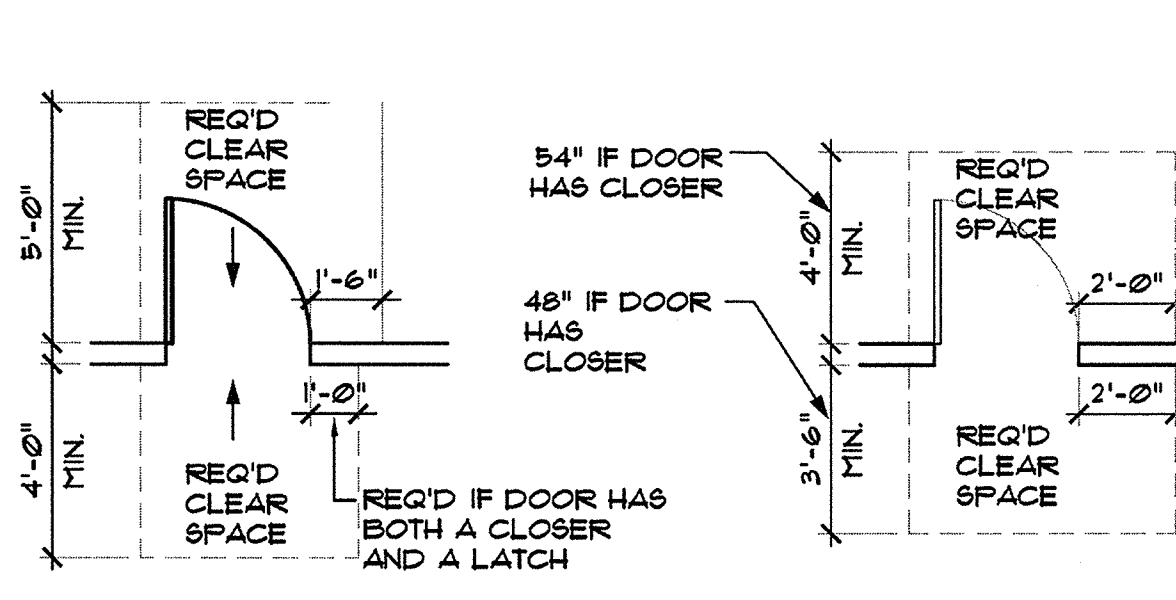
SIGNAGE AND IDENTIFICATION OF SPACES:

- 1. EACH PARKING SPACE TO HAVE PERMANENT (2 1/2 SQ. IN.) REFLECTORIZED PORCELAIN ENAMELED STEEL SIGN, FREE STANDING SIGNS LOCATED AT INTERIOR END OF PARKING SPACE MOUNTED MINIMUM OF 36" ABOVE FINISH GRADE.
- 2. THE DISABLED PERSON PARKING SIGN IS USED TO DESIGNATE A PARKING SPACE FOR VEHICLES WITH DMV PERMIT AS STATED. THIS IS THE STANDARD SIGN FOR USE ON THE STATE HIGHWAY SYSTEM. THE "VAN-ACCESSIBLE" SIGN (CP220 GD) SHALL ONLY BE USED WITH SIGN CP220-6B TO DESIGNATE THESE PARKING SPACES THAT HAVE AN 8-FOOT AISLE. THESE SIGNS SHALL INCLUDE A BACKGROUND COLOR, BLUE AND THE SIGN LEGEND, WHITE. SIGNS SHALL BE 60" (MIN.) ABOVE FLOOR OF THE PARKING SPACE, MEASURED TO THE BOTTOM OF THE SIGN.
- 3. FREE STANDING SIGN
- 4. VAN-ACCESSIBLE SIGN



HANDICAP ACCESSIBLE PARKING STALLS:

- 1. ACCESSIBLE PARKING CAR FULL-UP SPACE SHALL PROVIDE A VEHICULAR FULL-UP SPACE 36" (MIN.) IN WIDTH AND 20' (MIN.) IN LENGTH. VAN FULL-UP SPACE SHALL PROVIDE A VEHICULAR FULL-UP SPACE 132" (MIN.) IN WIDTH AND 30' (MIN.) IN LENGTH.
- 2. WHERE ACCESSIBLE PARKING SPACES ARE REQUIRED TO BE IDENTIFIED BY SIGNS, THE SIGNS SHALL INCLUDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. SIGNS IDENTIFYING VAN PARKING SPACES SHALL CONTAIN THE DESIGNATION "VAN ACCESSIBLE". SUCH SIGNS SHALL BE 60" (MIN.) ABOVE THE FLOOR OF THE PARKING SPACE, MEASURED TO THE BOTTOM OF THE SIGN.
- 3. ACCESSIBLE PARKING SPACES AND ACCESSIBLE AISLES SHALL BE LOCATED ON A SURFACE WITH A SLOPE NOT TO EXCEED 1 UNIT VERTICAL IN 50 UNITS HORIZONTAL (2% SLOPE) IN ALL DIRECTIONS.
- 4. PARKING SPACES AND ACCESSIBLES SHALL BE FIRM, STABLE, SMOOTH AND SLIP RESISTANT.



DOORS:

- 1. WHERE DOORWAYS HAVE TWO INDEPENDENTLY OPERATED DOOR LEAVES, THEN AT LEAST ONE LEAF SHALL COMPLY WITH REQUIRED DOOR SIZE, CONTROLS, ETC.
- 2. UNINTERRUPTED KICK AT BOTTOM OF DOOR SHALL BE 10".
- 3. THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 1/2" IN HEIGHT AT EXTERIOR DOORS. RAISED THRESHOLDS AND FLOOR LEVEL CHANGES ACCESSIBLE DOORWAYS SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1 UNIT VERTICAL IN 2 UNITS HORIZONTAL (50% SLOPE).
- 4. EXIT DOORS SHALL BE OPERABLE FROM INSIDE WITHOUT USE OF KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.

DOOR HARDWARE:

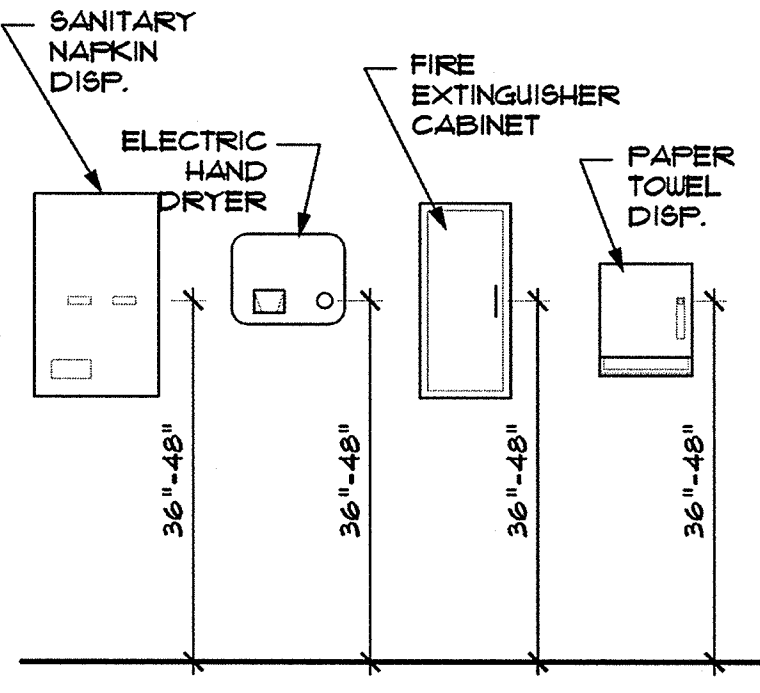
- 1. IT SHALL BE OPERABLE FROM SINGLE EFFORT, NO GRASPING OR WRIST MOVEMENT (LEVERS, PUSH-PULLS OR PANIC DEVICES).
- 2. IT SHALL BE MOUNTED AT 36"-48" HIGH.
- 3. IT SHALL BE OPERABLE FROM INSIDE WITHOUT USE OF KEY OR SPECIAL KNOWLEDGE OR EFFORT.

CLEARANCE

- 1. SPACE IS NECESSARY TO ALLOW BACKING AND TURNING SPACE FOR A WHEELCHAIR IN ORDER TO CLEAR IN SWINGING DOOR.

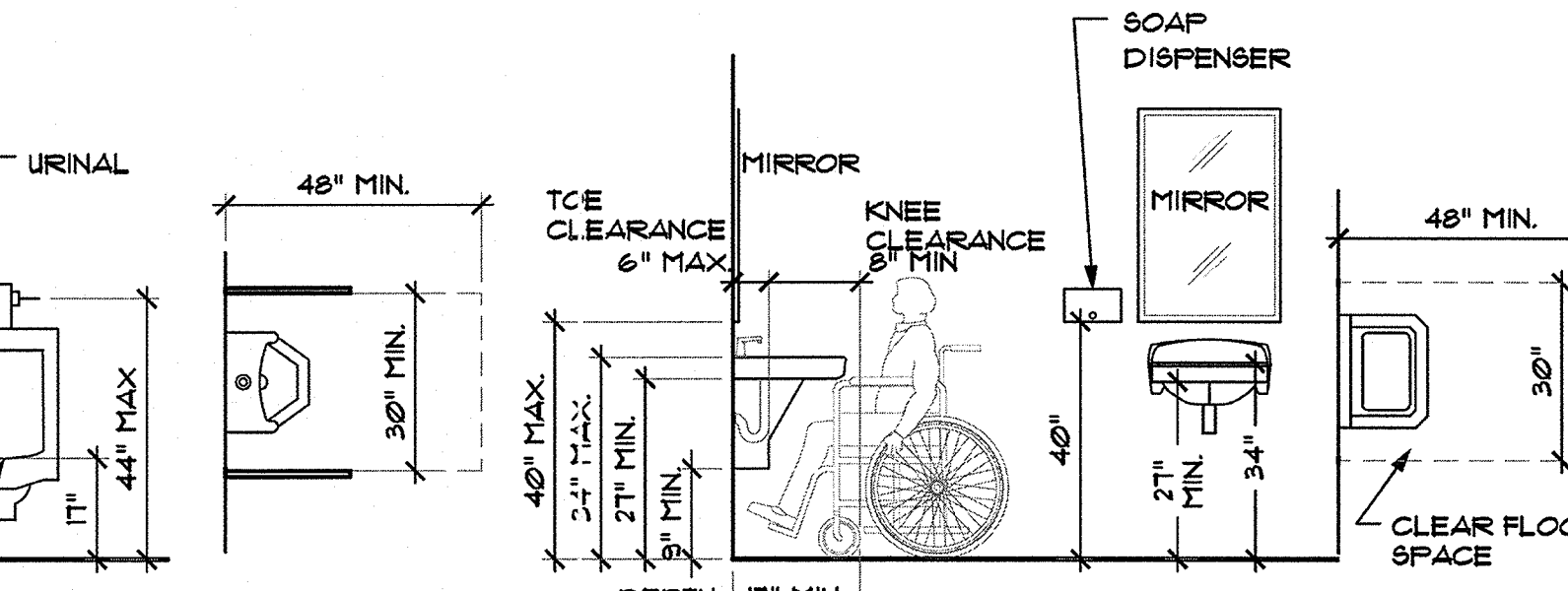
ALLOWABLE CLOSURE PRESSURE:

- 1. INTERIOR DOOR = 5 POUNDS
- 2. EXTERIOR DOOR = 8.5 POUNDS
- 3. WHERE ENVIRONMENTAL CONDITIONS REQUIRE GREATER CLOSING PRESSURE, POWER-OPERATING DOORS SHALL BE USED WITHIN THE ACCESSIBLE ROUTE.



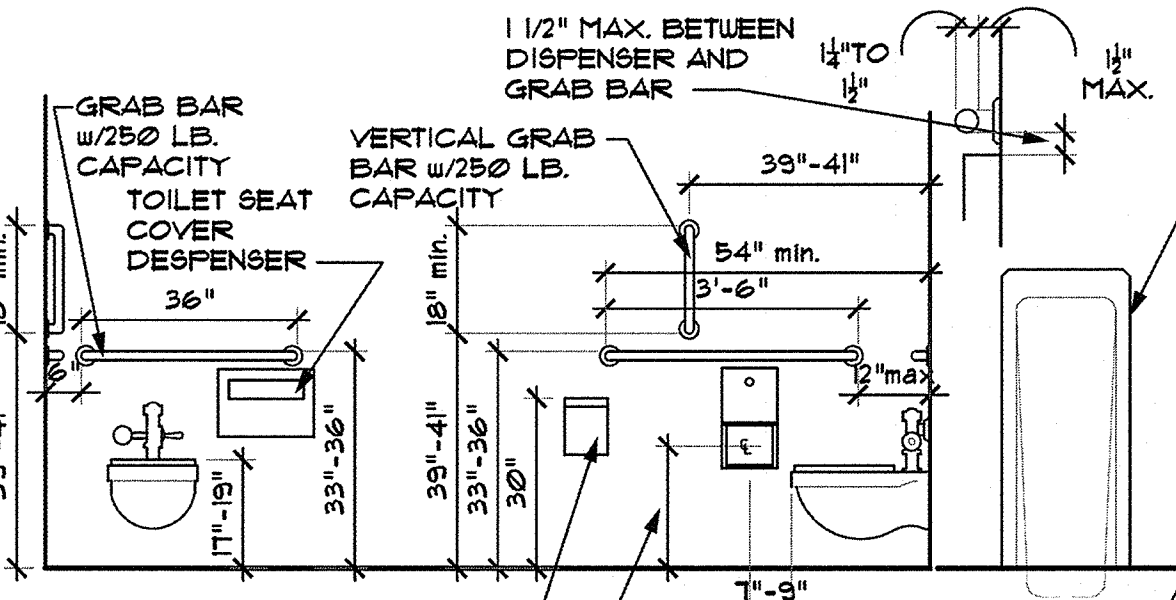
RESTROOM ACCESSORIES:

- 1. THE HIGHEST OPERABLE PART OF ENVIRONMENTAL AND OTHER CONTROLS, DISPENSERS, ELECTRICAL AND COMMUNICATION SYSTEM RECEPTACLES ON WALLS AND OTHER OPERABLE EQUIPMENT SHALL BE A MAXIMUM HIGH FORWARD OF 48" AND SHALL NOT BE LESS THAN 36" ABOVE THE FLOOR.
- 2. MOUNT MIRRORS WITH BOTTOM EDGE NO MORE THAN 40" FROM FLOOR.



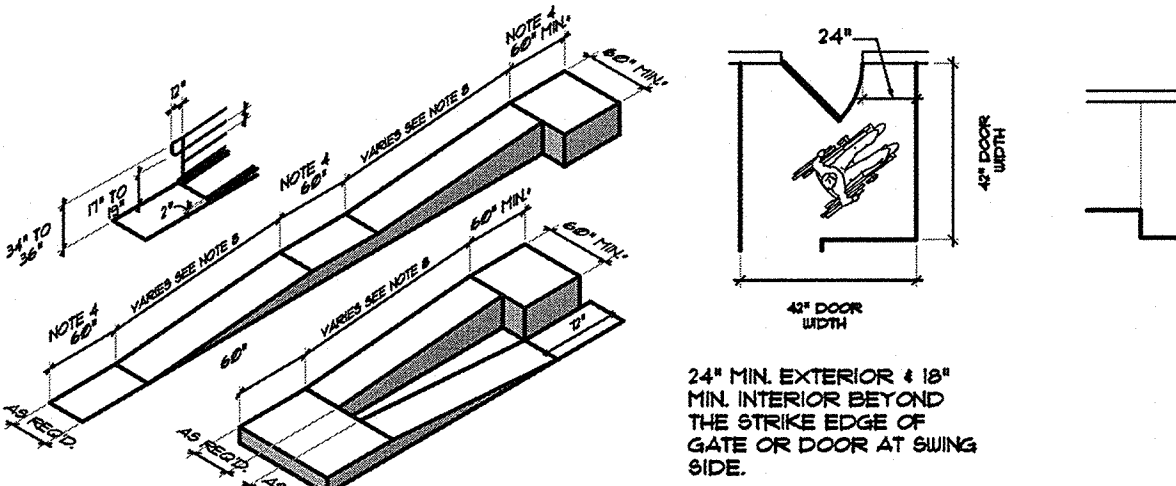
LAVATORIES:

- 1. PROVIDE A CLEAR SPACE 30"x48" IN FRONT OF THE LAVATORY. THE CLEAR SPACE MAY EXTEND INTO KNEE AND TOE SPACE UNDER LAVATORY.
- 2. INSULATE OR COVER HOT WATER AND DRAIN PIPES UNDER LAVATORIES. NO SHARP OR ABRASIVE SURFACES ARE ALLOWED UNDER LAVATORIES.
- 3. FAUCET CONTROLS AND OPERATING MECHANISMS ARE REQUIRED TO BE OPERABLE WITH ONE HAND AND CANNOT REQUIRE GRASPING, PINCHING, OR TWISTING OF WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS IS NOT TO EXCEED 5 LBS. PER FT. LEVER OPERATED, PUSH TYPE AND ELECTRONICALLY CONTROLLED MECHANISMS ARE EXAMPLES OF ACCEPTABLE DESIGN.
- 4. SELF CLOSING VALVES ARE ALLOWED IF THE FAUCET REMAINS OPEN FOR AT LEAST 10 SECONDS.



GRAB BARS:

- 1. LOCATE GRAB BARS ON EACH SIDE OR ONE SIDE AND AT THE BACK OF TOILET, 33" ABOVE AND PARALLEL TO THE FLOOR, EXCEPT WITH A TANK-TYPE TOILET WHICH OBSTRUCTS PLACEMENT. THE GRAB BAR MAY BE AS HIGH AS 36". GRAB BARS AT SIDE TO BE 42" LONG AND WITH FRONT END 24" IN FRONT OF TOILET. BARS IN BACK TO BE 36" LONG. DIAMETER OR WIDTH OF GRIPPING SURFACE IS REQUIRED TO BE 1 1/4" TO 1 1/2" OR SHAPE IS TO PROVIDE AN EQUIVALENT GRIPPING SURFACE.
- 2. IF GRAB BARS ARE MOUNTED ADJACENT TO WALL, THE SPACE BETWEEN WALL AND BAR IS TO BE 1/2".
- 3. GRAB BARS SHALL NOT ROTATE.
- 4. GRAB BARS AND ANY SURFACE ADJACENT TO THEM CANNOT HAVE ANY SHARP OR ABRASIVE ELEMENTS. EDGES ARE TO HAVE A MINIMUM RADIUS OF 1/8".
- 5. GRAB BARS AND MOUNTINGS SHALL WITHSTAND 250 LBS./SIDE 500 LBS. WEIGHT/MIDDLE.



RAMP NOTES:

- 1. MAXIMUM ALLOWABLE SLOPE OF RAMP IS 1:12.
- 2. MAXIMUM CROSS SLOPE OF 1:50.
- 3. LANDINGS ARE REQUIRED AT TOP AND BOTTOM OF EVERY RAMP.
- 4. INTERMEDIATE LANDINGS ARE REQUIRED AT INTERVALS NOT EXCEEDING 30' OF VERTICAL RISE AND AT EACH CHANGE OF DIRECTION.
- 5. LANDINGS SHALL BE MINIMUM 60" LONG, OR WIDTH OF RAMP IF GREATER IN DIRECTION OF TRAVEL.
- 6. PEDESTRIAN RAMPS SERVING PRIMARY ENTRANCES TO BUILDINGS WITH OCCUPANCY LOAD OF 300 OR MORE WILL REQUIRE 60" CLEAR WIDTH.
- 7. RAMPS WITH OCCUPANCY LOAD OF LESS THAN 300 MAY BE 36" WIDE (HOTELS, APARTMENT HOUSES, CONVENTS, MONASTERIES, DWELLINGS).
- 8. HANDRAILS WILL BE REQUIRED ON EACH SIDE OF RAMP, CONTINUOUS FOR FULL LENGTH OF RAMP (SLOPES EXCEEDING 1:20).
- 9. RAMPS WITH SLOPES OF 1:20 OR GREATER WILL REQUIRE SLIP RESISTANT FINISH.

STAIRS:

- 1. MARK UPPER APPROACH AND THE LOWER TREAD OF EACH FLIGHT OF EACH STAIR BY A STRIP 2" WIDE PLACED PARALLEL TO AND NOT MORE THAN 1" FROM NOSE OF STEP OF LANDING TO ALERT THE VISUALLY IMPAIRED. THE STRIP IS REQUIRED TO BE OF MATERIALS AT LEAST AS SLIP RESISTANT AS THE OTHER TREADS OF STAIRS AND TO BE OF A CLEARLY CONTRASTING COLOR. A PAINTED STRIP IS ACCEPTABLE (INTERIOR).
- 2. 80" CLEAR IS REQUIRED FOR HEADROOM IN WALKS, HALLS, CORRIDORS, PASSAGeways, AISLES AND OTHER CIRCULATION SPACES.
- 3. WHERE STAIRWAYS OCCUR OUTSIDE A BUILDING, THE UPPER APPROACH AND ALL TREADS SHALL BE MARKED WITH A 2" STRIP.
- 4. BRAILLE IDENTIFICATION INDICATING FLOOR AND TRAVEL DIRECTION LOCATED AT THE TOP AND BOTTOM OF EACH STAIR RUN.
- 5. RISE AND RUN: THE RUN OF EVERY STEP IS REQUIRED TO BE NOT LESS THAN 11" AS MEASURED HORIZONTALLY BETWEEN VERTICAL PLANES OF THE FURTHERMOST PROJECTION OF ADJACENT TREADS.
- 6. TREADS: THE RISE OF EVERY STEP MUST BE BETWEEN 4"-7" WITH THE GREATEST DIFFERENCE BE LESS THAN 3/8". IN STAIRS THAT MAY BE USED BY A DISABLED PERSON, THE TREADS ARE REQUIRED TO BE SMOOTH, ROUNDED OR CHAMFERED WITHOUT ABRUPT EDGES AT THE LOWER FRONT EDGE OF NOSING.
- 7. NOSING: SHALL NOT PROJECT MORE THAN 1 1/2" PAST FACE OF RISER.
- 8. CLOSED RISERS: SHALL BE SUFFICIENTLY SOLID TO PREVENT PASSAGE OF OBJECTS LARGER THAN 1 1/4" MAXIMUM DIAMETER.

EXTERIOR HAZARDS:

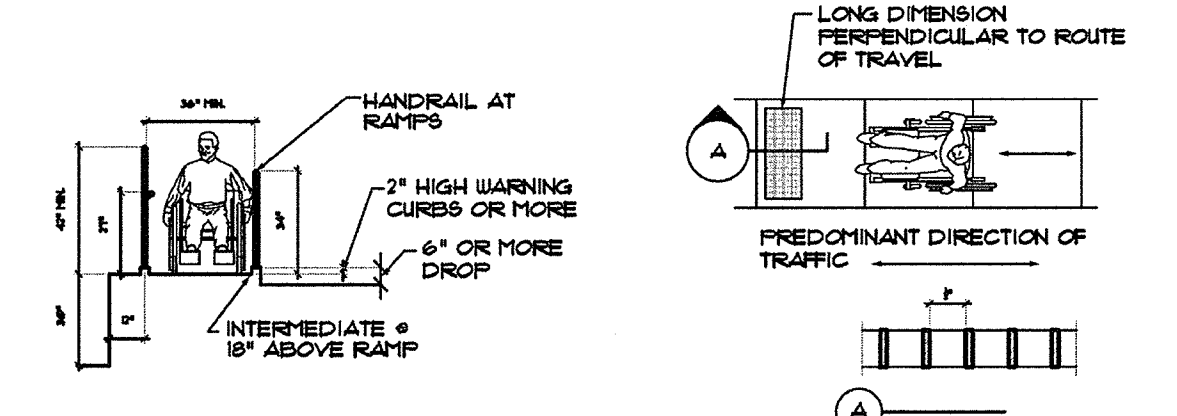
- 1. WARNINGS CURBS AT ABRUPT CHANGES IN LEVEL EXCEEDING 4" IN A VERTICAL DIMENSION SUCH AS THE PLANTERS OR FOUNDATIONS LOCATED IN OR ADJACENT TO WALKS, SIDEWALKS OR OTHER PEDESTRIAN WAYS SHALL BE IDENTIFIED BY CURBS AT LEAST 6" HIGH TO WARN THE BLIND OF A POTENTIAL DROP-OFF. NO CURB IS REQUIRED IF GUARDRAIL IS PROVIDED CENTERED 3" PLUS OR MINUS 1" ABOVE SURFACE OF WALK OR SIDEWALK.

OBSTRUCTIONS:

- 1. ANY OBSTRUCTION THAT OVERHANGS A ROUTE BY WHICH A PEDESTRIAN MAY PASS IS REQUIRED TO BE AT LEAST 80" ABOVE WALKING SURFACE AS MEASURED TO BOTTOM OF OBSTRUCTION.
- 2. OBJECTS WITH THEIR LEADING EDGES BETWEEN 21" AND 80" FROM WALK CANNOT PROTRUDE MORE THAN 4" INTO WALKS AND HALLS.
- 3. OBJECTS WITH THEIR LEADING EDGES WITHIN 21" OF WALK MAY PROTRUDE ANY DISTANCE, BUT MAY NOT REDUCE THE REQUIRED CLEAR SPACE.
- 4. FREE STANDING OBJECTS ON POSTS OR PYLONS MAY OVERHANG 12".
- 5. WALKS, HALLS, CORRIDORS, PASSAGeways, AISLES OR OTHER CIRCULATION SPACE SHALL HAVE 80" MINIMUM CLEAR HEAD ROOM.

FLOOR:

- 1. BUILDING SHALL BE ONE COMMON FLOOR LEVEL THROUGHOUT, UNLESS VARYING LEVELS ARE PROVIDED WITH CONFORMING RAMPS OR LIFTS.
- 2. ALL FLOORS SHALL BE SLIP RESISTANT.



GRATING:

- 1. WALKS, SIDEWALKS AND PEDESTRIAN WAYS SHOULD NOT HAVE GRATINGS.
- 2. WHERE GRATINGS OCCUR IN THE PATH OF TRAVEL, THE GRID OPENINGS ARE REQUIRED TO BE NO GREATER THAN 1/2" IN THE DIRECTION OF TRAFFIC FLOW.

WALKS AND SIDEWALKS:

- 1. PRIVATE WALKS OR SIDEWALKS ARE REQUIRED TO BE ACCESSIBLE IF THEY LEAD TO BUILDINGS AND FACILITIES REQUIRED TO BE ACCESSIBLE.
- 2. A MINIMUM OF 48" IS REQUIRED.
- 3. WALKS AND SIDEWALKS SHALL HAVE CONTINUOUS COMMON SURFACE, NOT INTERRUPTED BY STEPS OR BY ABRUPT CHANGES IN LEVEL EXCEEDING 1/2" AND SHALL BE A MINIMUM OF 48" WIDE.
- 4. SURFACES WITH SLOPE OF LESS THAN 6% GRADIENT SHALL BE SLIP RESISTANT.
- 5. SURFACE CROSS SLOPES SHALL NOT EXCEED 1/4" FT.

CODE SUMMARY WORKSHEET - CITY OF EUGENE

SECTION A - BUILDING CONSTRUCTION

CHECK CONSTRUCTION TYPE(S)	<input type="checkbox"/> IA	<input type="checkbox"/> IB	<input type="checkbox"/> IIA	<input type="checkbox"/> IIB	<input type="checkbox"/> IIIA	<input type="checkbox"/> IIIB	<input type="checkbox"/> IV	<input type="checkbox"/> VA	<input checked="" type="checkbox"/> VB
BUILDING HEIGHT (TABLE B03)	ALLOWED: 3.500	STORIES	ACTUAL: 212	STORIES					
SPRINKLERS USED TO INCREASE STORIES	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO							
BASEMENT	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO	IF YES, LIST SF. OF BASEMENT _____						

SECTION B - BUILDING AREA: "ALLOWABLE" & "ACTUAL"

IF THERE ARE MULTIPLE CONSTRUCTION TYPES OR A FIRE WALL DIVIDES THE BUILDING, PROVIDE A SEPARATE ANALYSIS FOR EACH AREA

ALLOWABLE AREAS & AREA MODIFICATIONS	OCCUPANCY	OCCUPANCY	OCCUPANCY	OCCUPANCY
TABULAR FLOOR AREA FOR EACH OCCUPANCY (A1) (TABLE B03)	3,500			
FRONTAGE INCREASE (IF) (B06.2)	N/A			
IF = 100 ((P/P-25) W/30 (%))	N/A			
P = BLDG PERIMETER FRONTING ON PUBLIC WAY (FT)	N/A			
F = PERIMETER OF ENTIRE BLDG (FT)	N/A			
W = WIDTH OF PUBLIC WAY	N/A			
AREA MOD. ALLOWABLE AREA PER FLOOR (B06.1)	N/A			
A ₂ = A ₁ × (1/100) × (A ₁ × 10/100)	N/A			
ALLOWABLE SPRINKLER SYSTEM INCREASE (1a) (%) (B06.2)	N/A			
TOTAL ALLOWABLE BUILDING AREA: (A ₂) × # OF FLOORS	N/A			

*NOT TO EXCEED 3 UNLESS EQUIPPED w/ AN AUTOMATIC SPRINKLER SYSTEM

PROPOSED BUILDING AREA (per floor)	OCCUPANCY *	OCCUPANCY *	OCCUPANCY *	OCCUPANCY *
FIRST FLOOR (INCLUDING MEZZANINE)	N/A			
SECOND FLOOR (INCLUDING MEZZANINE)				
THIRD FLOOR (INCLUDING MEZZANINE)				
OTHER FLOOR(S) (INCLUDING MEZZANINE)				
TOTAL AREA PER OCCUPANCY				
TOTAL PROPOSED BUILDING AREA	N/A			

* IF THERE IS MORE THAN OCC. GROUP PER FLOOR, PROVIDE A "SUM OF RATIOS" CALC PER 302.3.2

SECTION C - BUILDING OCCUPANCY CLASSIFICATIONS & SEPARATIONS

USE 4 OCCUPANCY CLASSIFICATIONS (CHECK EACH THAT APPLY)

<input type="checkbox"/> A-1	<input type="checkbox"/> A-4	<input checked="" type="checkbox"/> E	<input type="checkbox"/> H-1	<input type="checkbox"/> H-4	<input type="checkbox"/> I-2	<input type="checkbox"/> M	<input type="checkbox"/> R-3	<input type="checkbox"/> S-2	<input type="checkbox"/> SR-2
<input type="checkbox"/> A-2	<input type="checkbox"/> A-5	<input type="checkbox"/> F-1	<input type="checkbox"/> H-2	<input type="checkbox"/> H-5	<input type="checkbox"/> I-3	<input type="checkbox"/> R-1	<input type="checkbox"/> R-4	<input checked="" type="checkbox"/> U	<input type="checkbox"/> SR-3
<input type="checkbox"/> A-3	<input type="checkbox"/> B	<input type="checkbox"/> F-2	<input type="checkbox"/> H-3	<input type="checkbox"/> I-1	<input type="checkbox"/> I-4	<input type="checkbox"/> R-2	<input type="checkbox"/> S-1	<input type="checkbox"/> SR-1	<input type="checkbox"/> SR-4

OCCUPANCY SEPARATION RATINGS REQ'D (TABLE B08.3.3)

E	to	E	=	2	hr
	to		=		hr
	to		=		hr

DOES BLDG QUALIFY FOR NON-SEPARATED USES? (302.3.2) YES NO

ROOM #	ROOM NAME	USE	OCCUPANCY CLASS	FLOOR AREA	PRIMARY ACCESS OR INCIDENTAL USE

SECTION D - OCCUPANT LOAD

ROOM #	ROOM NAME	USE (TABLE 1004.1.2)	FLOOR AREA (PER 1004.1.2)	LOAD FACTOR (TABLE 1004.1.2)	OCC. LOAD (AREA / LOAD)	ACCESS SPACE LOAD	COMBINED LOAD (PRIMARY + ACCESSORY)	ACTUAL LOAD	DESIGN OCC. LOAD

TOTAL DESIGN OCC. LOAD PER FLOOR

FIRST FLOOR (INCLUDING MEZZANINE)	
SECOND FLOOR (INCLUDING MEZZANINE)	
THIRD FLOOR (INCLUDING MEZZANINE)	
OTHER FLOOR(S) (INCLUDING MEZZANINE)	

SECTION E - PLUMBING FIXTURE COUNT PER CHAPTER 29

OCCUPANCY AREA	OCC. LOAD	DRINKING FOUNTAINS		WATER CLOSETS				LAVATORIES					
		REQUIRED	PROVIDED	FEMALE		MALE		FEMALE		MALE			
				REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED
NOT APPLICABLE													
TOTAL NUMBER OF FIXTURES													

SECTION F - VENTILATION REQUIREMENTS

ROOM #	ROOM NAME	VENTILATION OCC. LOAD	FLOOR AREA	OUTSIDE AIR REQ'D (CFM PER PERSON OR SF)	OUTSIDE AIR REQ'D (CFM PER TABLE 2-A)	OUTSIDE AIR PROVIDED

NOT APPLICABLE

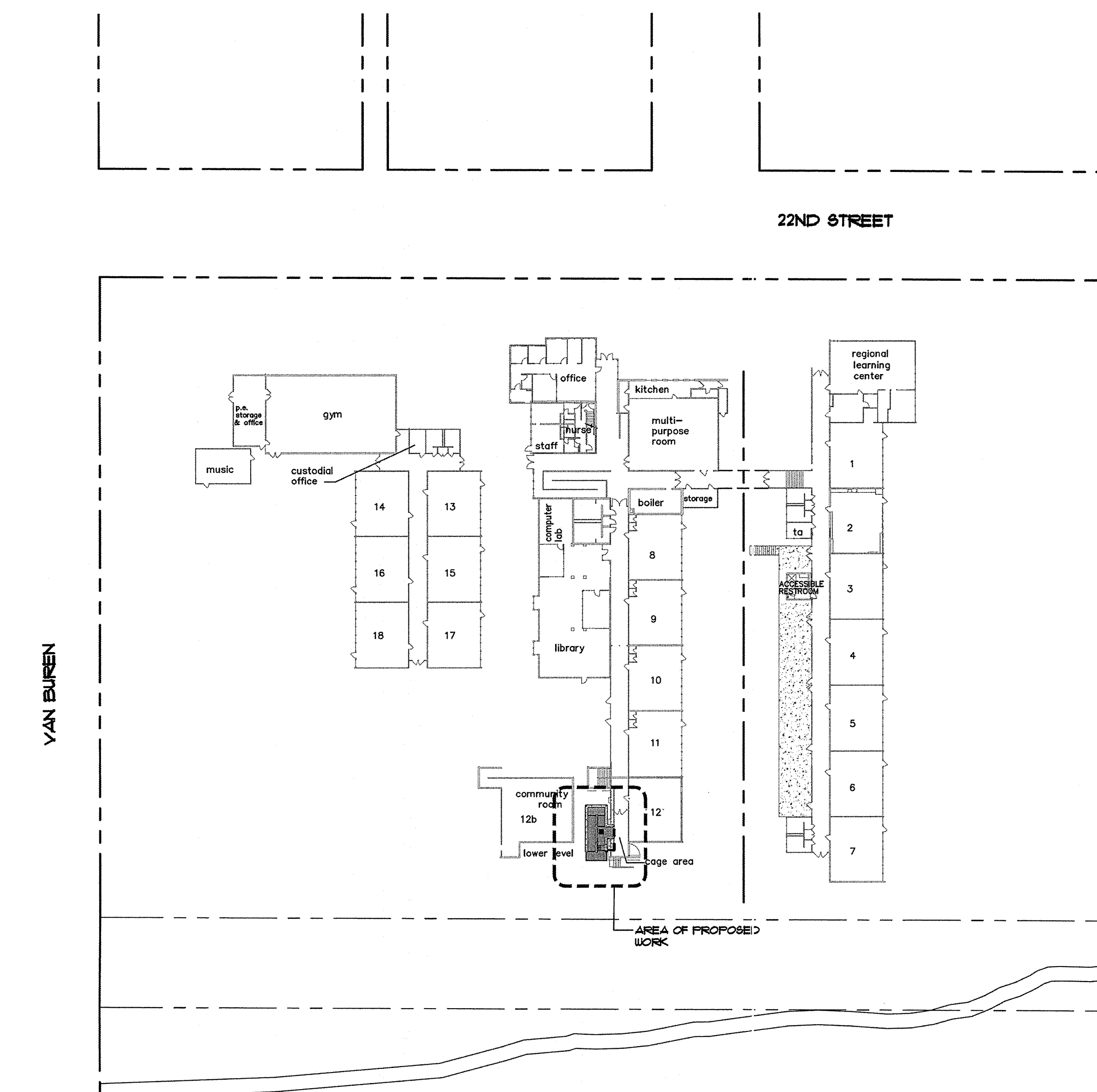
SECTION G - BUILDING FIRE DETECTION & SUPPRESSION

	PROVIDED		REQUIRED / OPTIONAL (LIST 08&C SECTION)	TYPE / CLASS / AREAS OF COVERAGE
	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO		
SPRINKLER SYSTEM	<input type="checkbox"/> B	<input type="checkbox"/> B-R	<input type="checkbox"/> B-D	
FIRE ALARM SYSTEM				
SMOKE DETECTOR SYSTEM				
STANDPIPE SYSTEM				

SECTION H - ENERGY CODE REQUIREMENTS

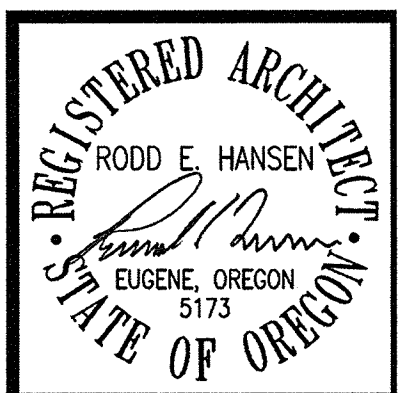
METHOD OF ENERGY CODE ANALYSIS: BUILDING ENVELOPE WHOLE BUILDING

NOTE: OREGON ENERGY CODE COMPLIANCE FOR 15 ARE REQUIRED



CODE SUMMARY SITE PLAN
SCALE: N.T.S.

CODE SUMMARY
SCALE: NONE



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EGRESS REMODEL
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CODE SUMMARY
TITLE SHEET

JOB# 113001062015

DRAWN BY: J&D

△ --

ISSUE DATE: 07/22/2015

SCALE: NO SCALE

CS.1

22ND STREET

736.01'
S 25° 45' 0" E

355.91'
S 70° 13' 0" E

52.00'

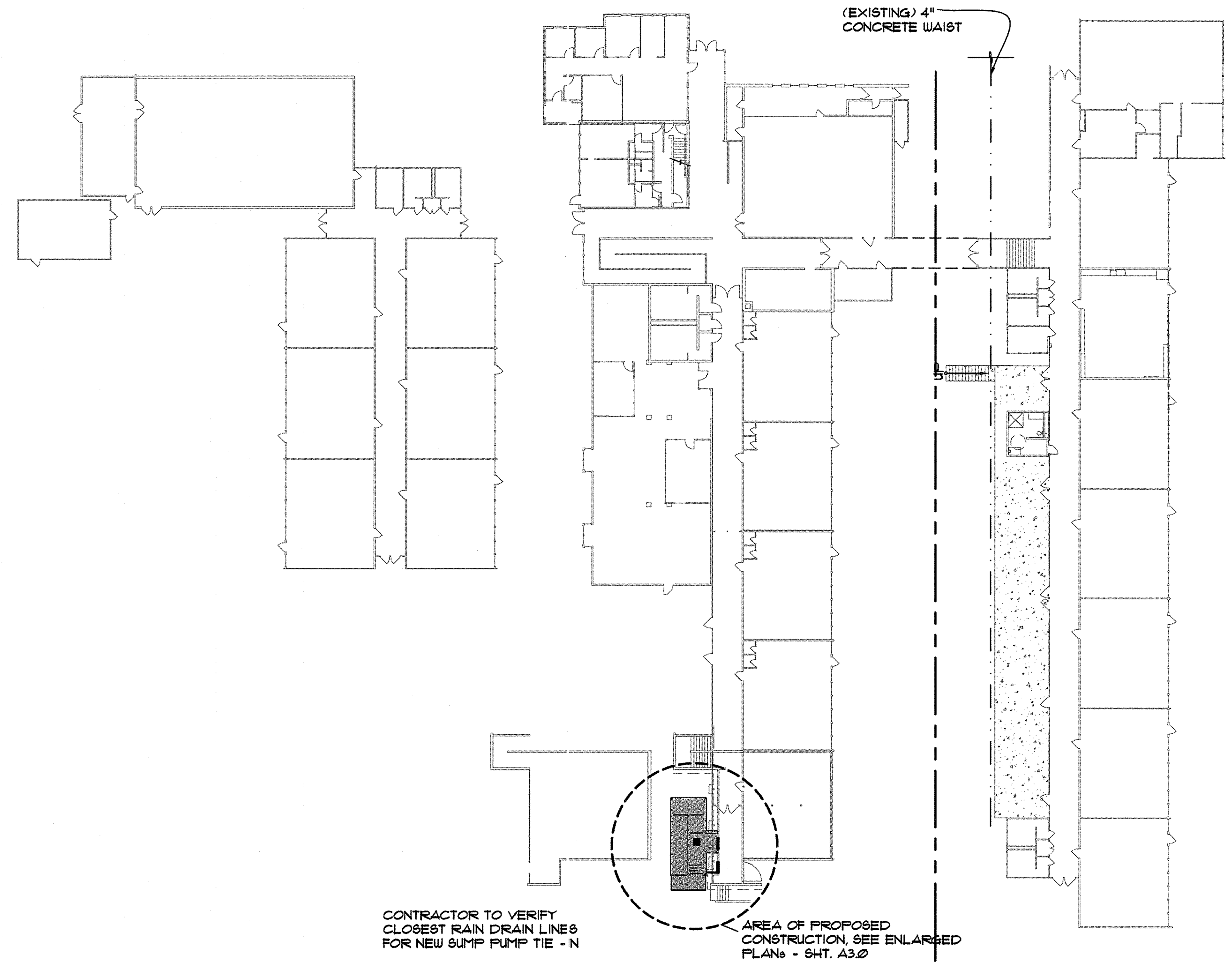
736.01'
S 25° 45' 0" E

355.91'
S 70° 13' 0" E

52.00'

YAN BUREN

ADAMS STREET



CONTRACTOR TO VERIFY
CLOSEST RAIN DRAIN LINES
FOR NEW BUMP PUMP TIE - N

AREA OF PROPOSED
CONSTRUCTION, SEE ENLARGED
PLANS - SHT. A3.0

(EXISTING) 4"
CONCRETE WAIST

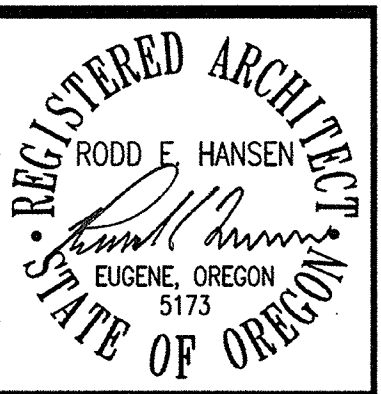


ARCHITECTURAL SITE PLAN

SCALE: 1" = 30'

GENERAL NOTES:

1. SITE TO BE CLEANED OF ALL DEMOLISHED MATERIAL BY CONTRACTOR PRIOR TO NEW CONSTRUCTION.
2. ALL DAMAGE TO REMAINING STRUCTURE AFTER DEMOLITION WILL BE REPAIRED AND PAINTED TO MATCH EXISTING BUILDING.



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EUGENE SCHOOL DISTRICT 4J:

ADAMS ELEMENTARY SCHOOL
EGRESS REMODEL

950 W. 22nd
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ARCHITECTURAL
TITLE: SITE PLAN

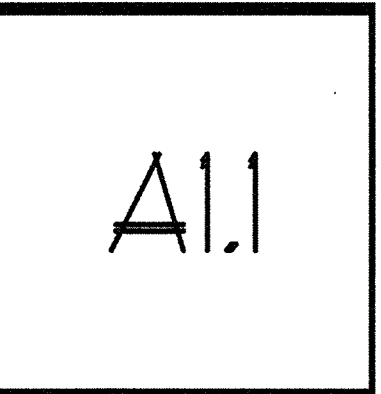
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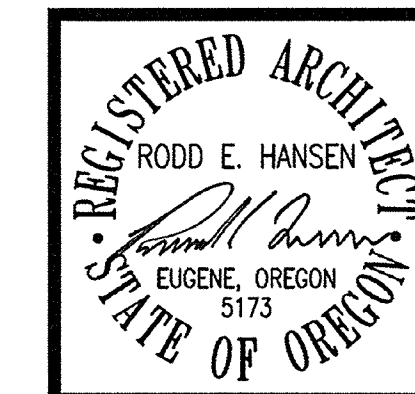
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ISSUE DATE: 07/22/2015

SCALE: 1"=30'-0"





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BASEMENT
 TITLE: FLOOR PLAN

JOB#: 1130.01062015

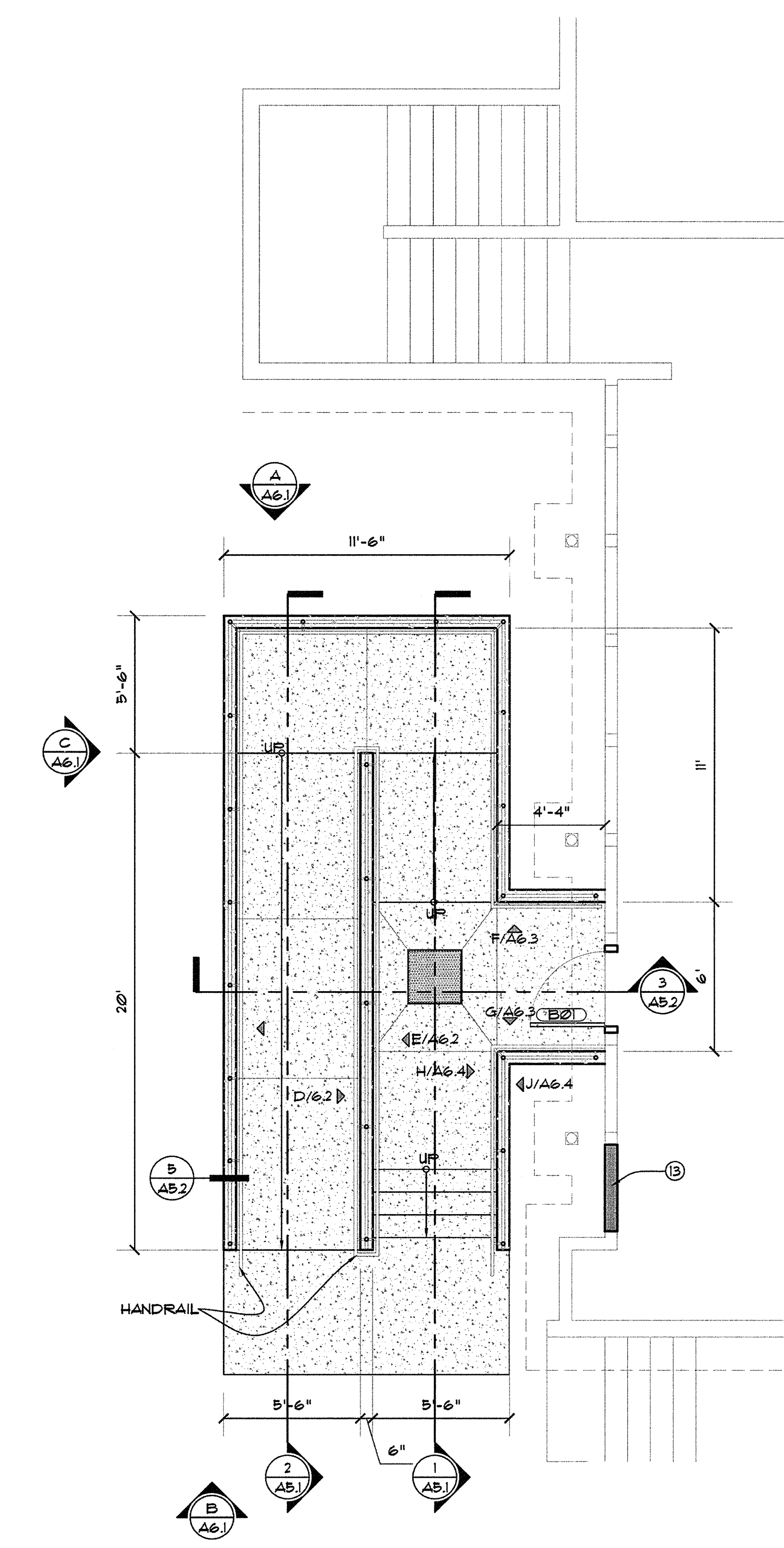
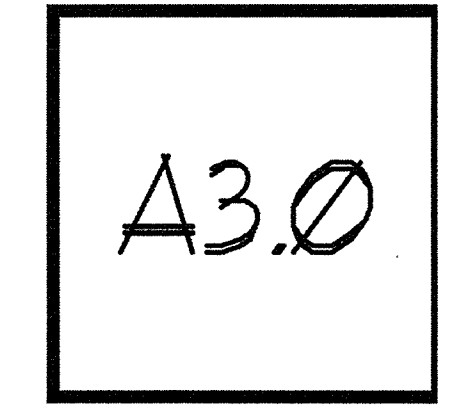
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DATE: 07/22/2015

SCALE: 0/0'-0"-0"

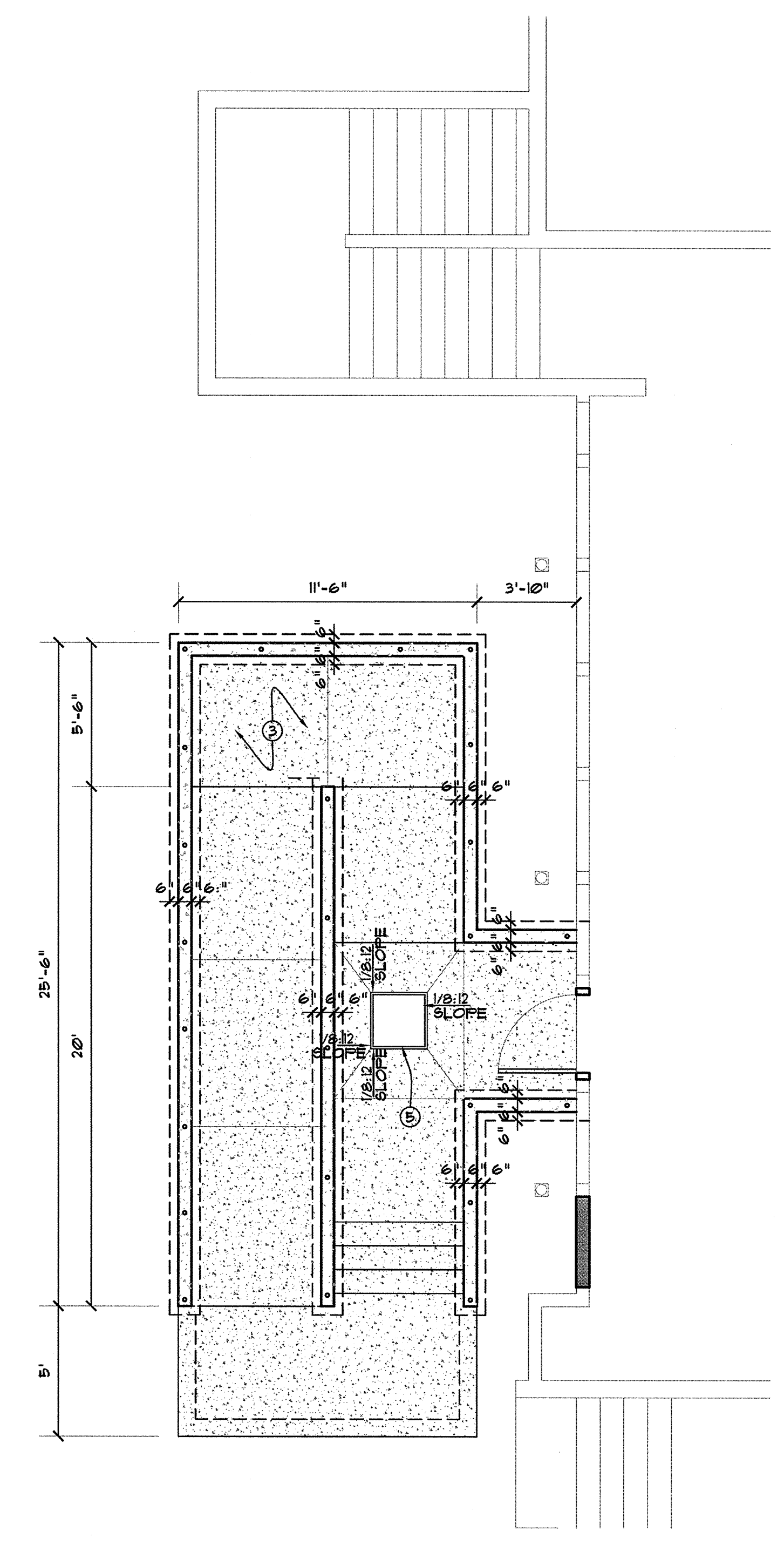
ISSUE DATE: 07/22/2015

SCALE: 0/0'-0"-0"

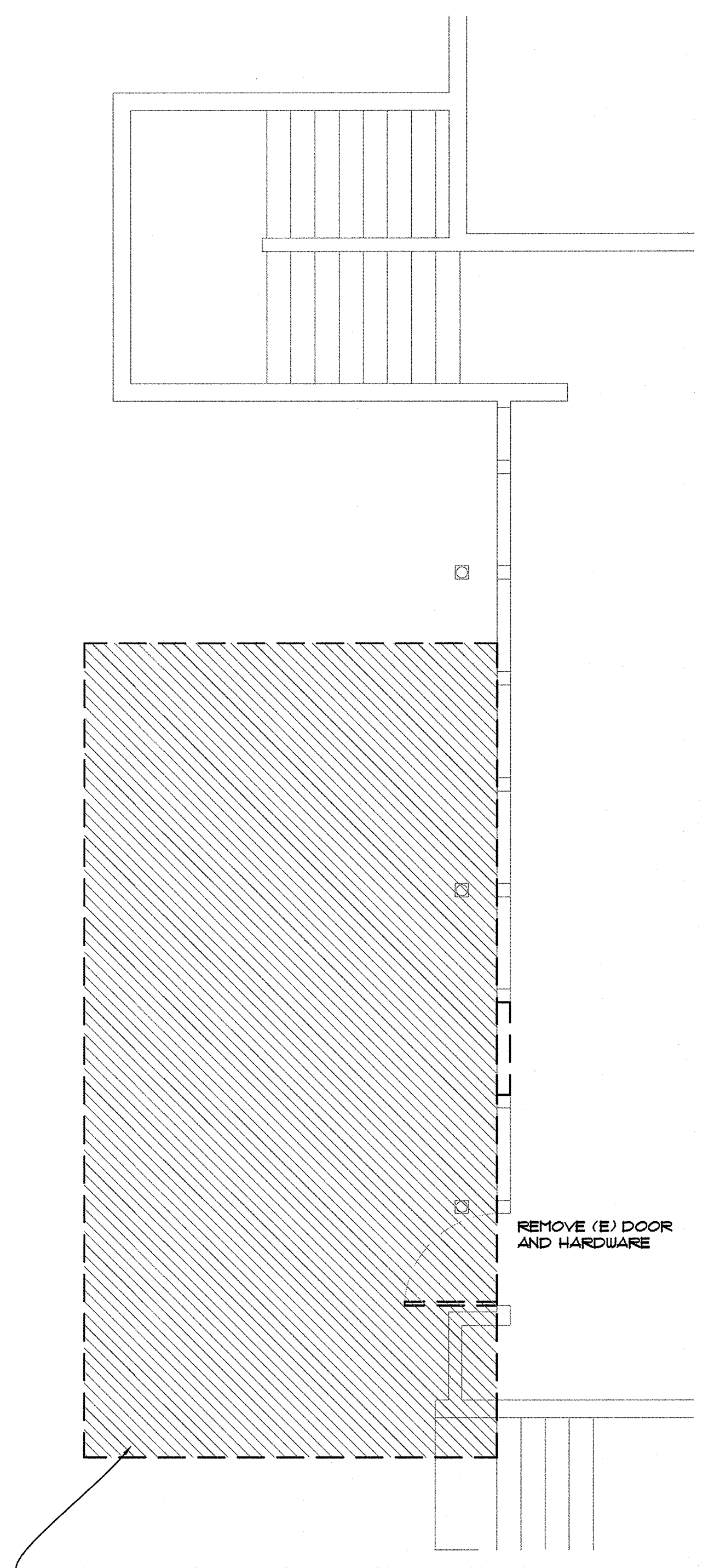


3 FLOOR PLAN
 SCALE: 1/4" = 1'-0"

- LEGEND**
- NEW WALL
 - EXISTING WALL
 - ▨ AREA OF EXISTING STRUCTURE
- KEY NOTES:**
1. 1/2" Ø METAL HANDRAIL PRIMED AND PAINTED FOR EXTERIOR USE
 2. RAMP
 3. LANDING
 4. 25"x25"x1" METAL GRATE TO BE ADA COMPLIANT
 5. 24"x24"x24" CATCH BASIN w/SUMP PUMP (CONTRACTOR TO VERIFY PUMP IS ATTACHED TO NEAREST RAIN DRAIN)
 6. SHADED AREA INDICATES EXISTING BUILDING
 7. EXISTING FOOTING
 8. NEW
 9. 1/2" Ø METAL GUARDRAIL PRIMED AND PAINTED FOR EXTERIOR USE
 10. EXISTING DOOR TO BE REMOVED AND INFILLED
 11. EXPANSION JOINT
 12. 4" CONCRETE SLAB w/ #4 REBAR @ 24" O.C. E.W. OVER 6" COMPACTED GRAVEL FILL (typ.)
 13. REMOVE (E) DOOR AND HARDWARE - INFILL FRAME AND FINISH TO MATCH EXISTING CONDITIONS



2 FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"



1 DEMOLITION FLOOR PLAN
 SCALE: 1/4" = 1'-0"

- DEMOLITION GENERAL NOTES:**
1. SITE TO BE CLEANED OF ALL DEMOLISHED MATERIAL BY CONTRACTOR PRIOR TO NEW CONSTRUCTION
 2. ALL DAMAGE TO REMAINING STRUCTURE AFTER DEMOLITION WILL BE REPAIRED AND PAINTED TO MATCH EXISTING BUILDING

NOTE:
 CONTRACTOR NOT TO DISTURB ANY OF THE EXISTING FOOTINGS

AREA OF EXISTING ASPHALT TO BE REMOVED TO MATCH THE DEPTH OF THE NEW DOOR -40" ±. (CONTRACTOR TO VERIFY DEPTH)
 CONTRACTOR TO PREP AREA FOR NEW CATCH BASIN AND TRENCH FOR SUMP PUMP DRAINAGE TO NEAREST RAIN DRAIN.

REMOVE (E) DOOR AND HARDWARE



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TITLE: SECTIONS

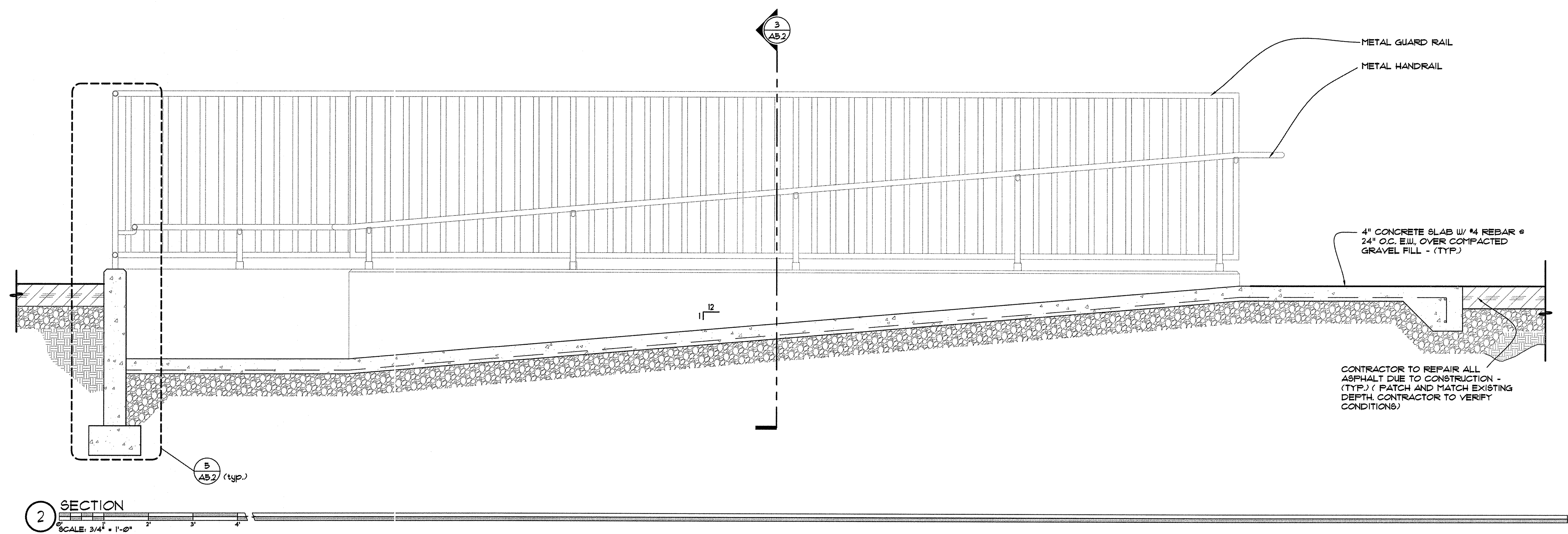
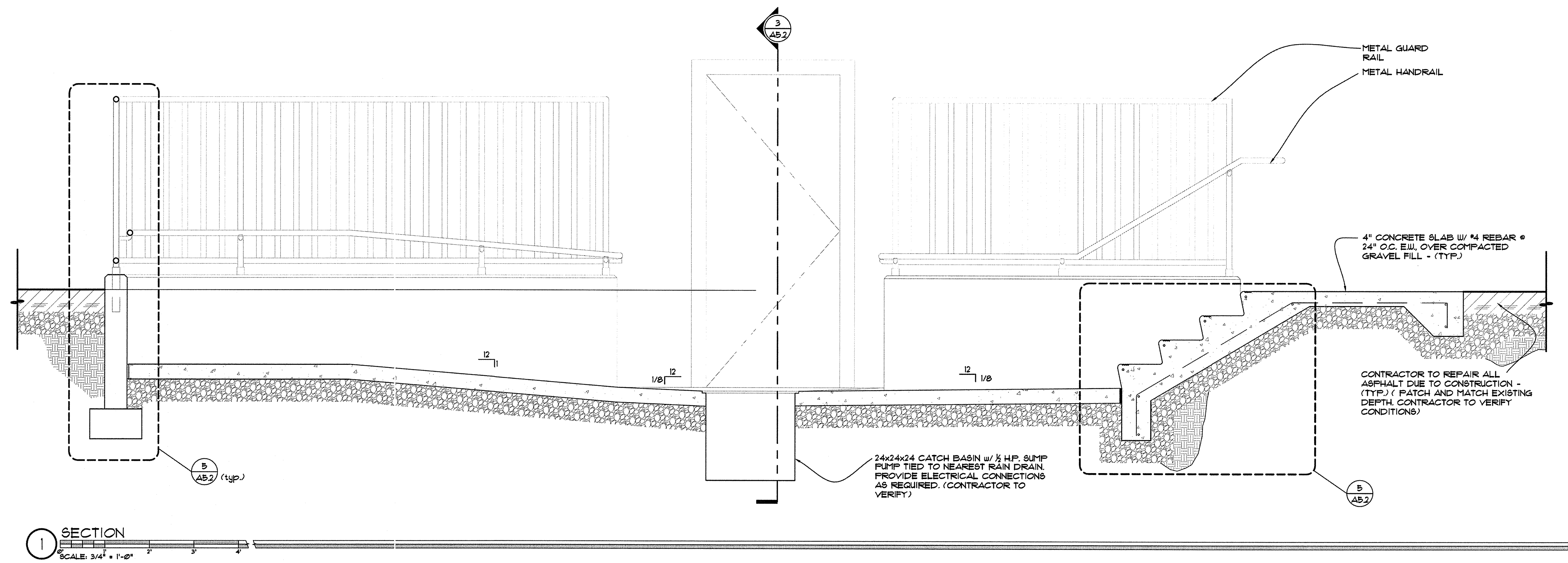
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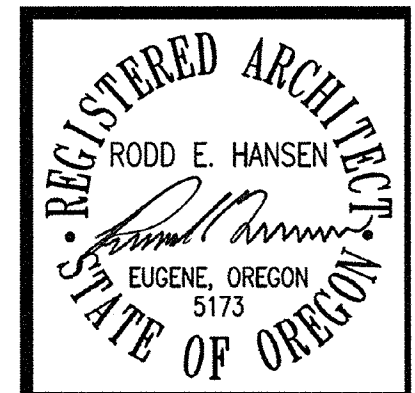
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ISSUE DATE: --

SCALE: 0/10" = 0'-0"



A5.1

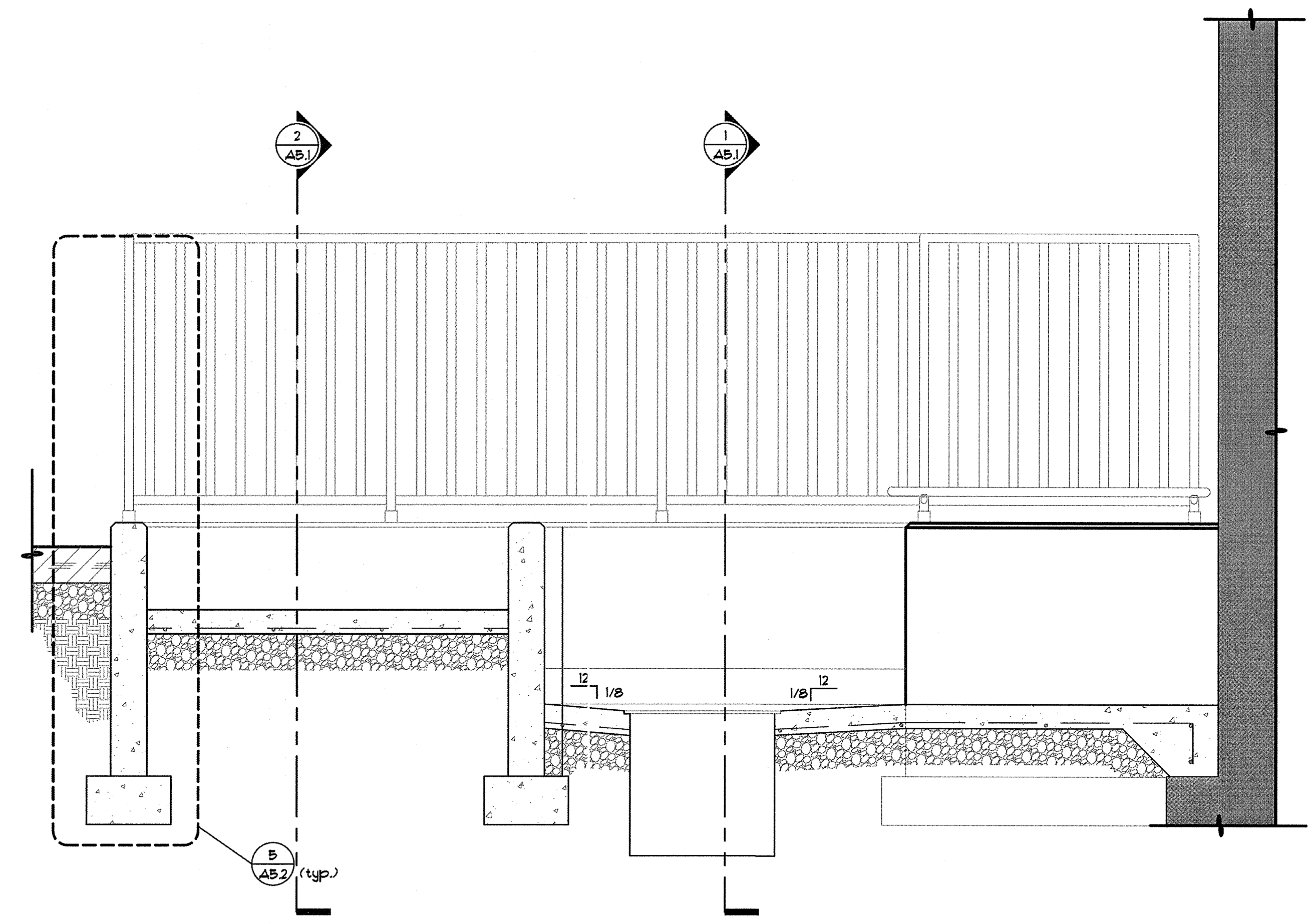


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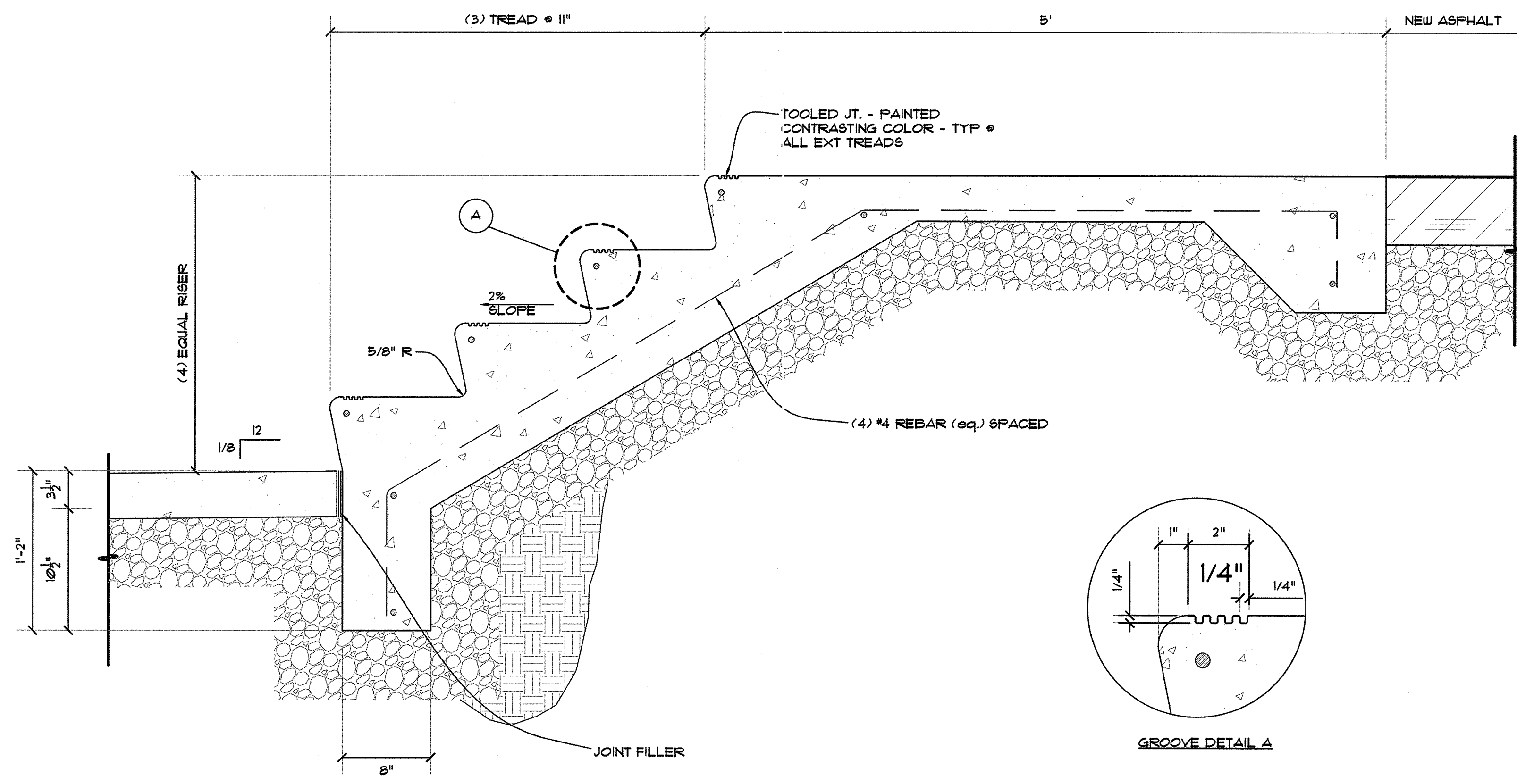
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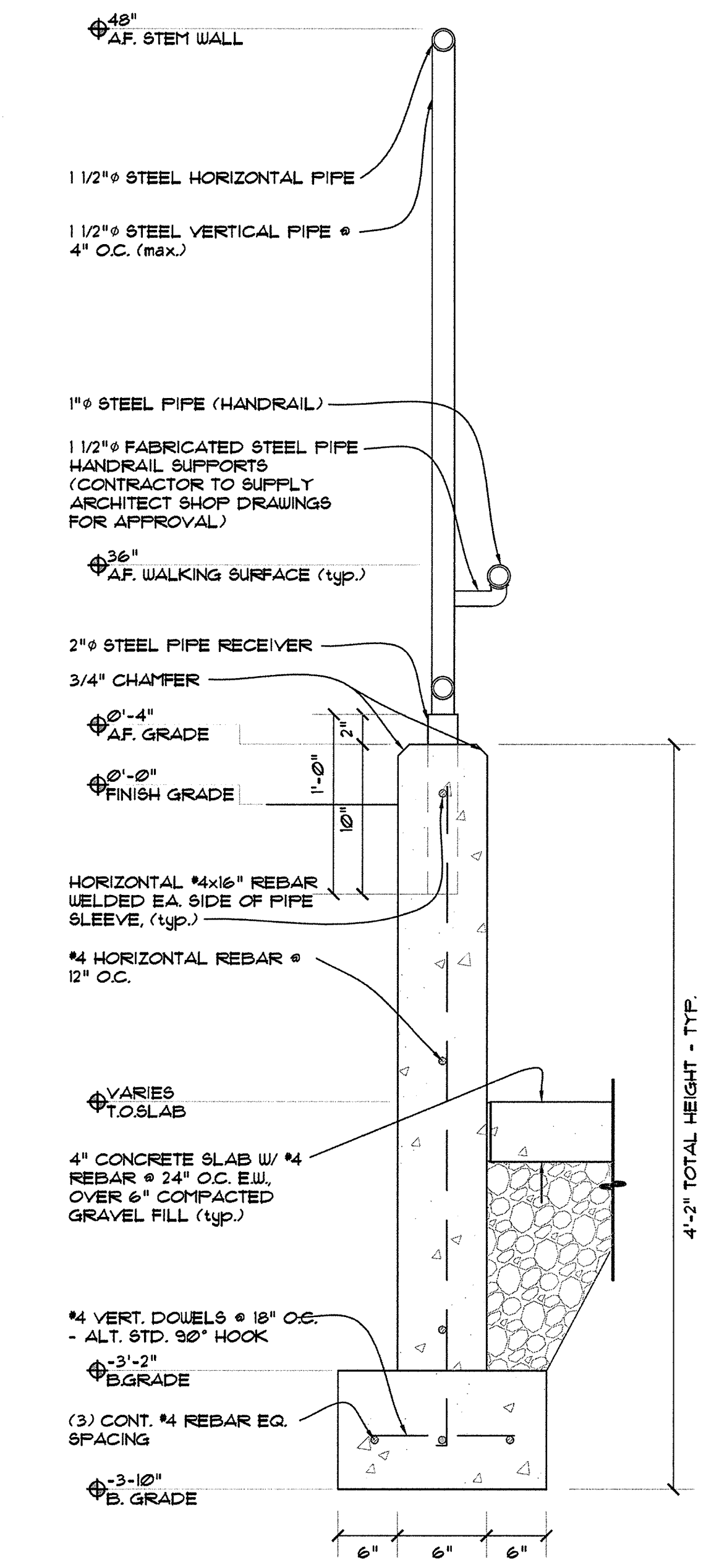
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JOB#:	1130.07062015
DRAWN BY:	JSD
ISSUE DATE:	--
SCALE:	0/0'-0"-0"



3 SECTION
 SCALE: 3/4" = 1'-0"

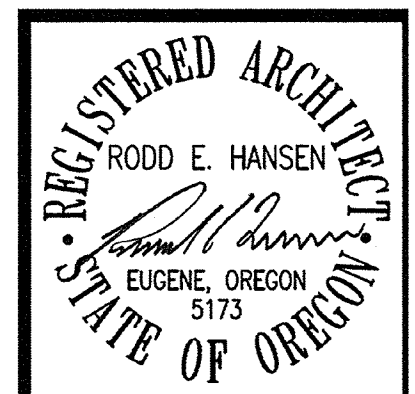


4 ENLARGED STEP SECTION
 SCALE: 1 1/2" = 1'-0"



5 ENLARGED STEM WALL SECTION
 SCALE: 3/4" = 1'-0"

A5.2



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EXTERIOR
 TITLE: ELEVATIONS

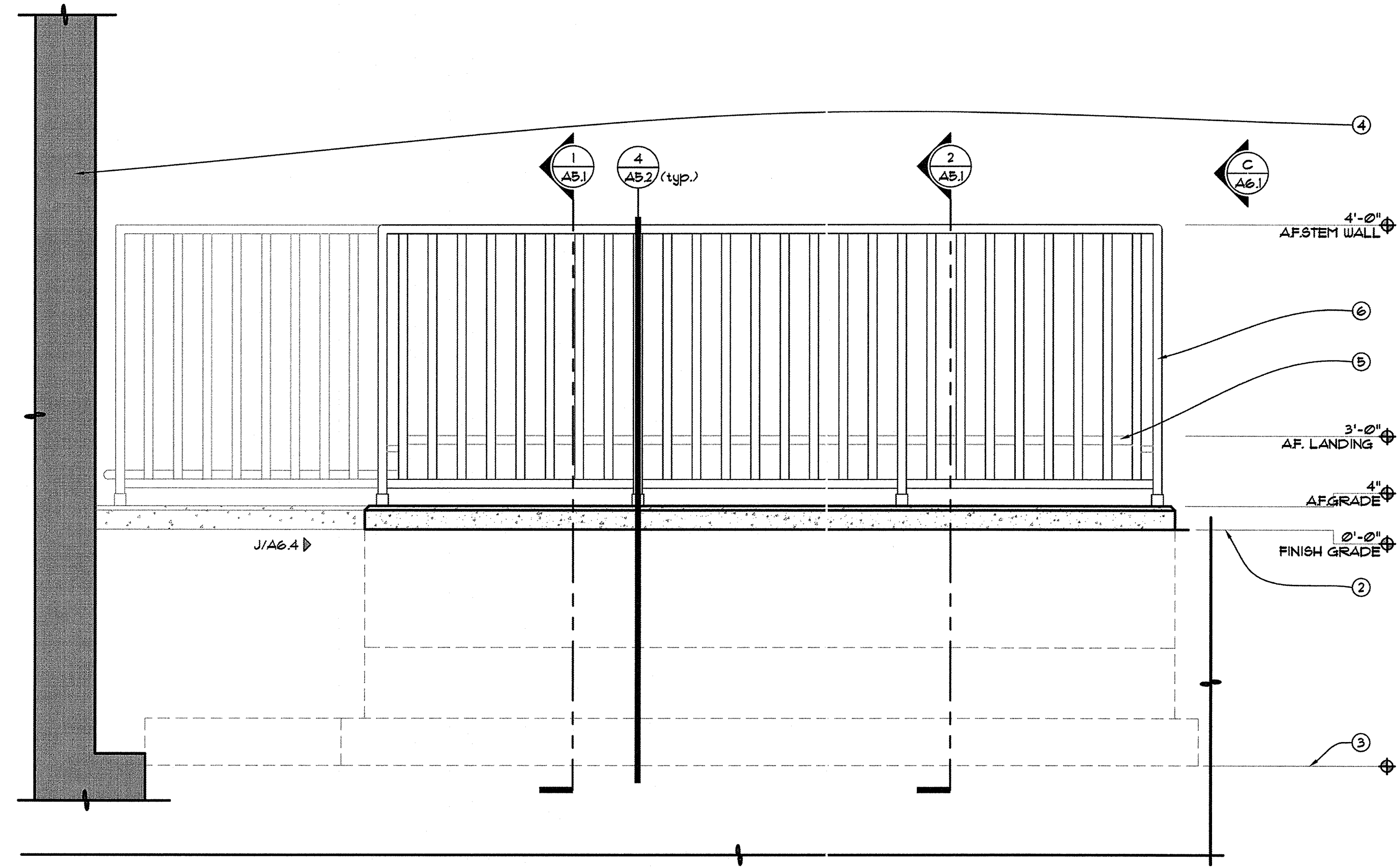
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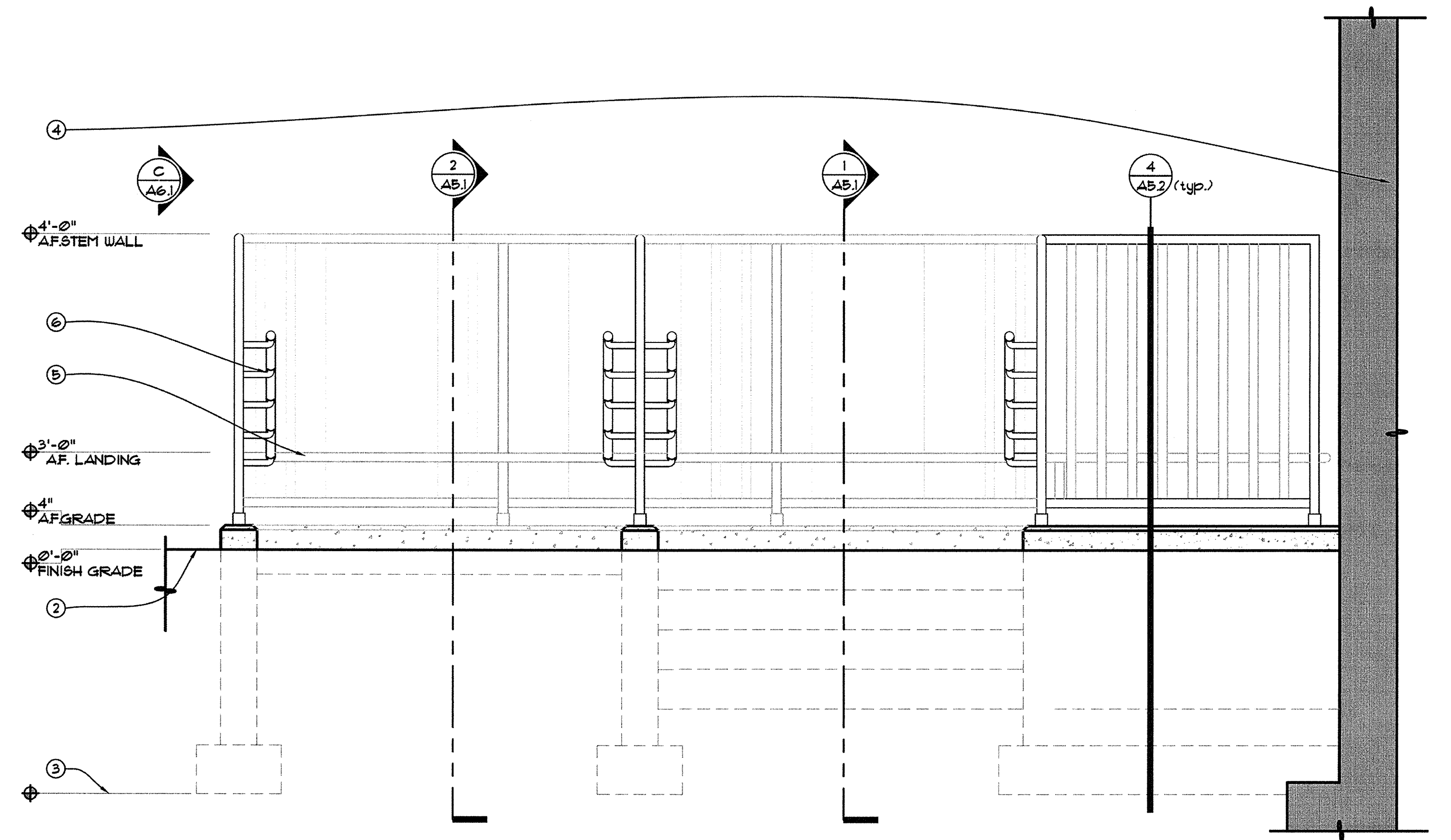
BY: --

ISSUE DATE: 07/22/2015

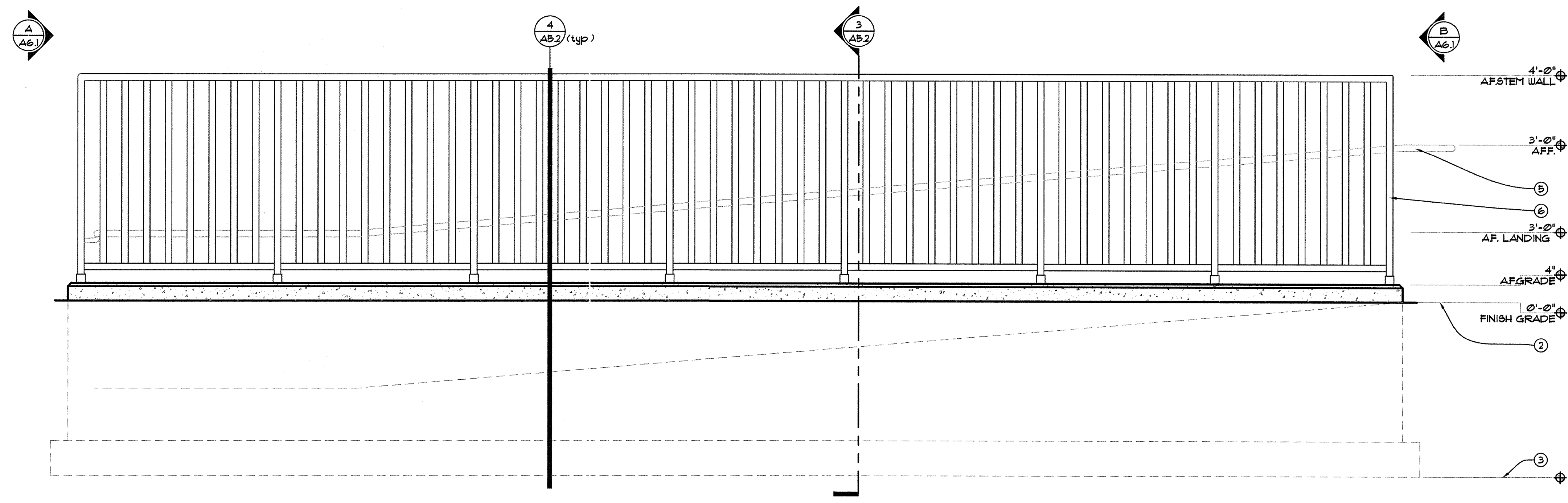
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A ELEVATION
 SCALE: 3/4" = 1'-0"



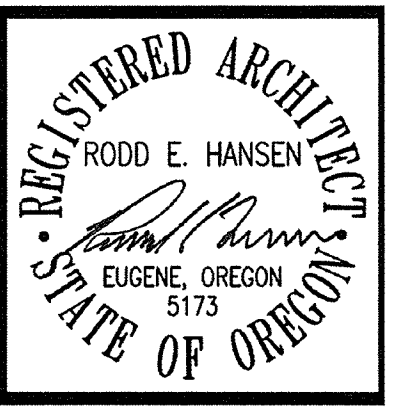
B ELEVATION
 SCALE: 3/4" = 1'-0"



C ELEVATION
 SCALE: 3/4" = 1'-0"

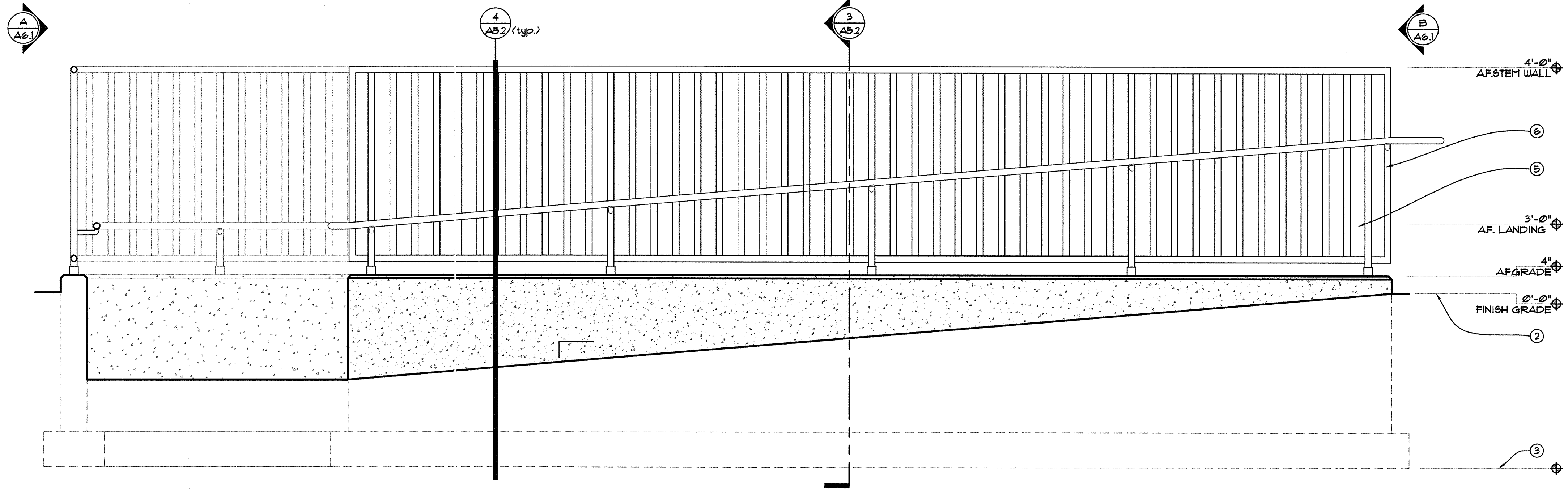
- KEY NOTES:**
- NOTE ELECTRONIC CARD READER TO BE REMOVED AND RELOCATED (CONTRACTOR TO VERIFY EXISTING LOCATION AND COORDINATE WITH OWNER ON NEW LOCATION)
 - FINISH GRADE
 - REFER TO A5 SHEETS FOR FOOTING DEPTHS
 - SHADED AREA INDICATES EXISTING BUILDING
 - 1 1/2" Ø METAL HANDRAIL PRIMED AND PAINTED FOR EXTERIOR USE (REFER TO A5 SHEETS FOR ARCHITECTURAL DESIGN INTENT)
 - 1 1/2" Ø METAL GUARDRAIL PRIMED AND PAINTED FOR EXTERIOR USE (REFER TO A5 SHEETS FOR ARCHITECTURAL DESIGN INTENT)

A6.1

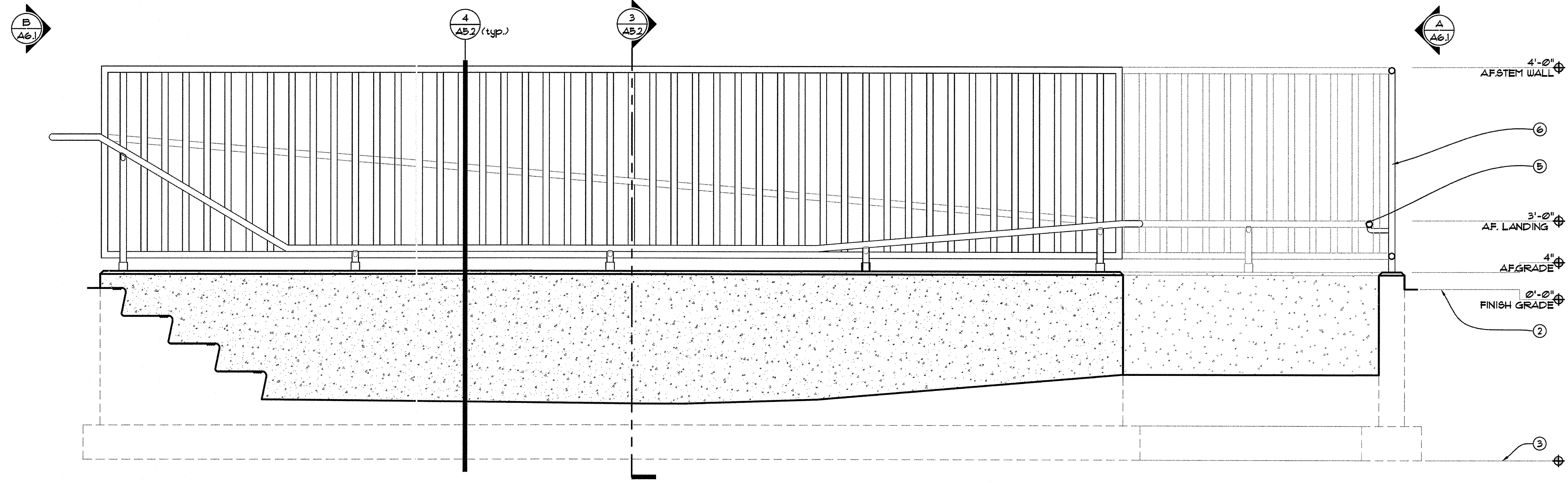


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D ELEVATION
 SCALE: 3/4" = 1'-0"



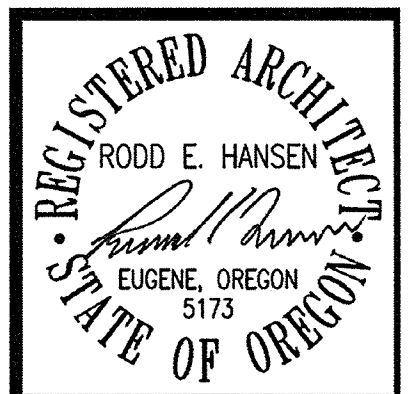
E ELEVATION
 SCALE: 3/4" = 1'-0"

- KEY NOTES:**
- NOTE ELECTRONIC CARD READER TO BE REMOVED AND RELOCATED (CONTRACTOR TO VERIFY EXISTING LOCATION AND COORDINATE WITH OWNER ON NEW LOCATION)
 - FINISH GRADE
 - REFER TO AB SHEETS FOR FOOTING DEPTHS
 - SHADED AREA INDICATES EXISTING BUILDING
 - 1 1/2" Ø METAL HANDRAIL PRIMED AND PAINTED FOR EXTERIOR USE (REFER TO AB SHEETS FOR ARCHITECTURAL DESIGN INTENT)
 - 1 1/2" Ø METAL GUARDRAIL PRIMED AND PAINTED FOR EXTERIOR USE (REFER TO AB SHEETS FOR ARCHITECTURAL DESIGN INTENT)

EUGENE SCHOOL DISTRICT 4J
 ADAMS ELEMENTARY SCHOOL
 EGRESS REMODEL
 950 W. 22nd
 EUGENE, OR 97405

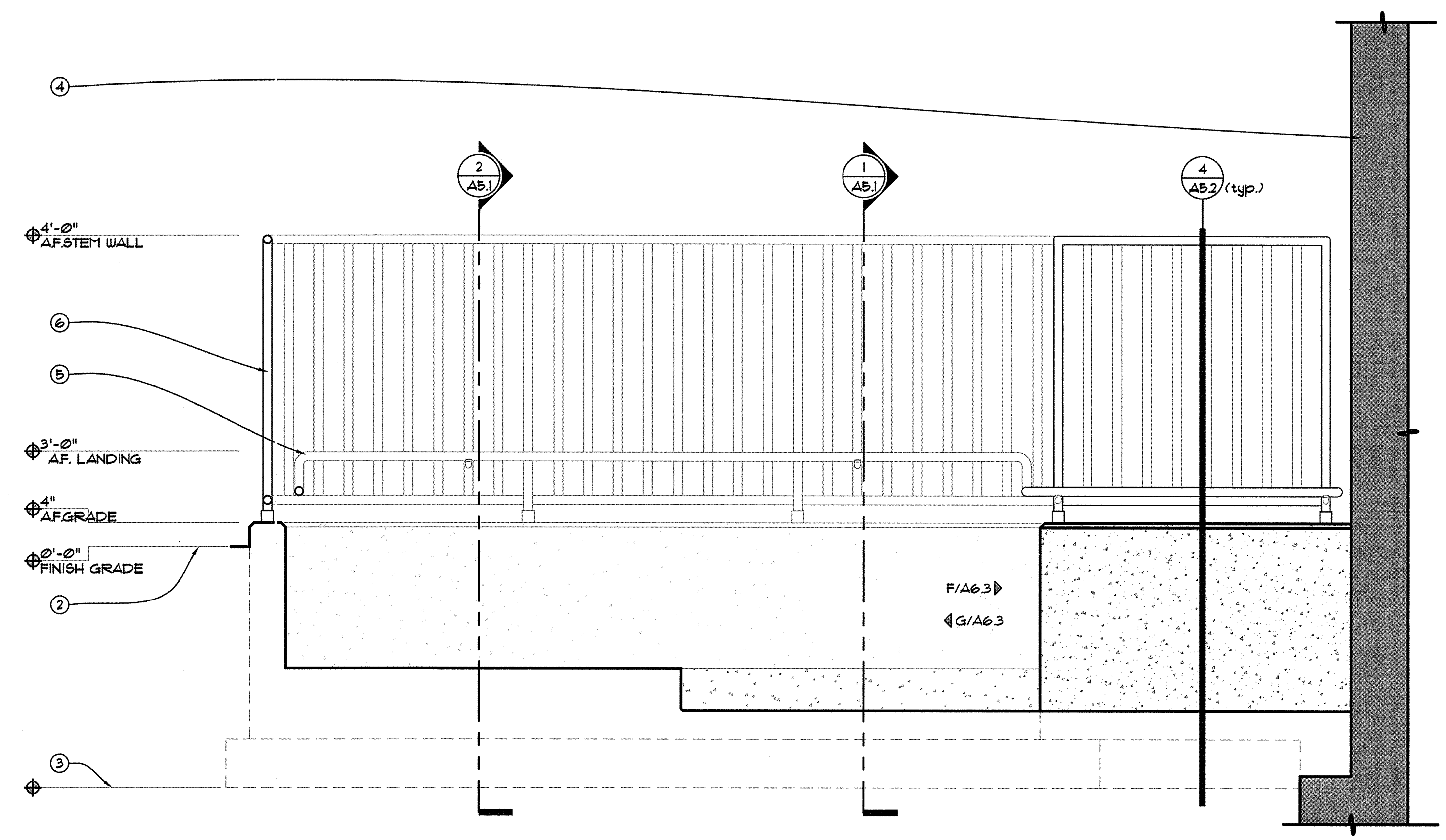
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JOB#:	1130.01062015
DRAWN BY:	JSD
DATE:	--
ISSUE DATE:	07/22/2015
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A6.2

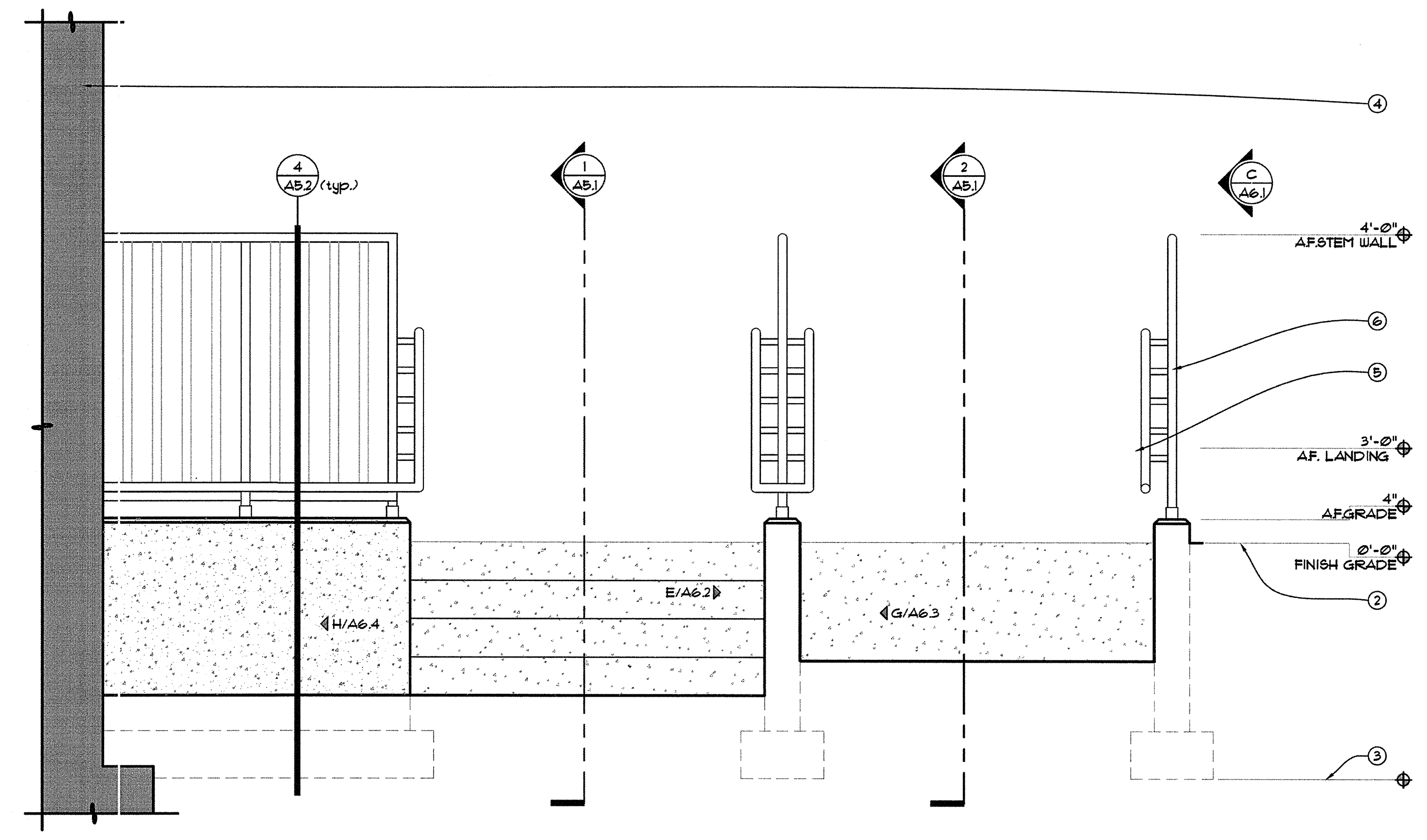


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F ELEVATION
 SCALE: 3/4" = 1'-0"



G ELEVATION
 SCALE: 3/4" = 1'-0"

KEY NOTES:

1. NOTE ELECTRONIC CARD READER TO BE REMOVED AND RELOCATED (CONTRACTOR TO VERIFY EXISTING LOCATION AND COORDINATE WITH OWNER ON NEW LOCATION)
2. FINISH GRADE
3. REFER TO AB SHEETS FOR FOOTING DEPTHS
4. SHADED AREA INDICATES EXISTING BUILDING
5. 1 1/2" Ø METAL HANDRAIL PRIMED AND PAINTED FOR EXTERIOR USE (REFER TO AB SHEETS FOR ARCHITECTURAL DESIGN INTENT)
6. 1 1/2" Ø METAL GUARDRAIL PRIMED AND PAINTED FOR EXTERIOR USE (REFER TO AB SHEETS FOR ARCHITECTURAL DESIGN INTENT)

EUGENE SCHOOL DISTRICT 4J:

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950 W. 22nd
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EXTERIOR
 TITLE: ELEVATIONS

JOB#: 119007062015

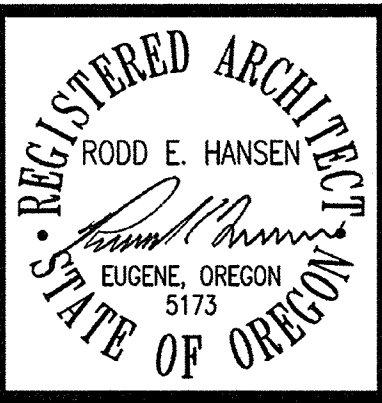
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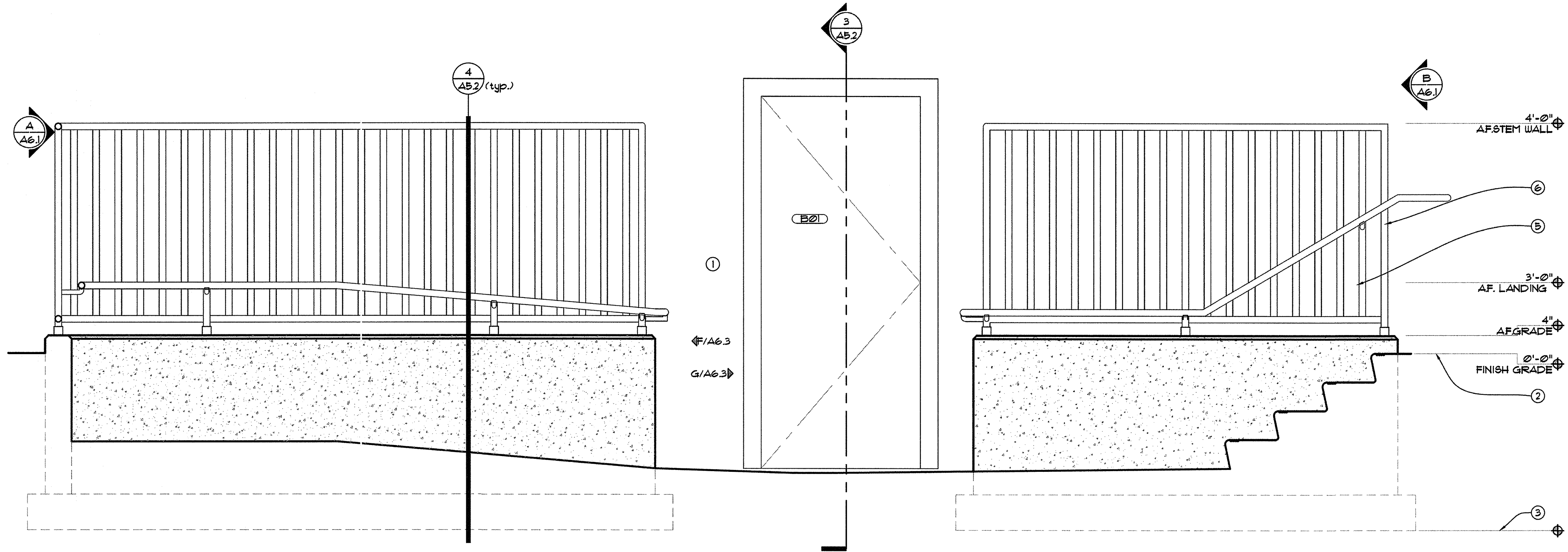
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A6.3

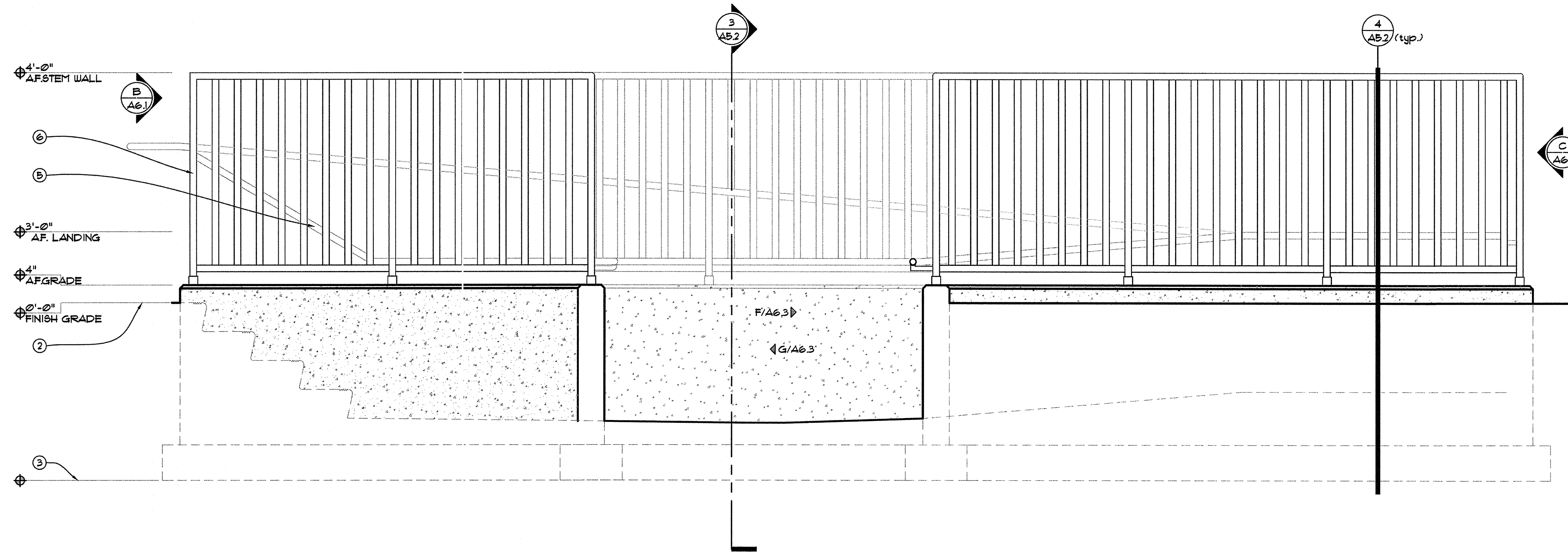


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H ELEVATION
 SCALE: 3/4" = 1'-0"



J ELEVATION
 SCALE: 3/4" = 1'-0"

- KEY NOTES: (1)
- NOTE ELECTRONIC CARD READER TO BE REMOVED AND RELOCATED (CONTRACTOR TO VERIFY EXISTING LOCATION AND COORDINATE WITH OWNER ON NEW LOCATION)
 - FINISH GRADE REFER TO AB SHEETS FOR FOOTING DEPTHS
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A6.4

