

Date: May 15, 2015
To: Plan Holders

Company: Eugene School District 4J
Project: **Twin Oaks ES South Parking Lot Upgrade**
C.I.P. 420.343.009

Subject: Addendum #1

From: Roberts Consulting & Engineering
3220 Tilden Street, Suite A
Eugene, OR 97404

The following deletions and additions are
hereby made a part of Quotations and Contract Documents, effective this date.

CLARIFICATION

Items:

1. "Reconstruction" of south access drive lane requires change in grading and replacement of entire pavement section (Asphalt and gravel base). All other pavement "replacement" areas require removal of existing asphalt, compaction of existing base rock and then placement of new asphalt.
2. Referenced Document 00 41 13 BID FORM:
Unit price Item 2. Asphalt Replacement is for detail 2/C7.0 and does not include south access drive "reconstruction".

PROJECT MANUAL

Items:

1. Reference Document 00 22 13 SUPPLEMENTARY INSTRUCTIONS TO BIDDERS
1.2, B, 3.4.1: Replace "all firms listed on the Planholders List" with "posted on the web site".
2. Referenced Document 00 41 13 BID FORM
Replace Bid Form Page one.
3. Referenced Document 01 22 00 UNIT PRICES
Insert in project manual

DRAWINGS

Items:

1. Replace Drawings C2.0, C3.0, C5.0 and C7.0 with C2.0r, C3.0r, C5.0r, C7.0r.
2. Add to Construction note 2: "EXTEND PIPE, AS RQUIRED, TO DAY LIGHT THROUGH TRANSITION GRADING AREA".

ATTACHMENTS:

May 13th Pre-bid sign in sheet
Section 00 41 13 Bid Form, Page one
Section 01 22 00 UNIT PRICES
Revised Drawing Sheets C2.0r, C3.0r, C5.0r, C7.0r

Email:

Owner

Central Print to distribute to Oregon Plan Centers & Exchanges (10)

	Name	Company	Email	Phone/Fax
1	ROBERT PENNOCK	ALL CITY PAVING	www.allcitypaving.com	503-393-4604
2	Sean Emrich	Brown Contracting	sean@browncontracting.net	541-338-9315
3	Dennis Postma	Knife River	dennis.postma@kniferiver.com	541-936-4553
4	Rick Cumer	Eugene Sand	rcumer@oldcastlematerials.com	541-501-2359
5	CeeJay Schultz	Pacific Exc.	spencer@pacificexc.com	541-791-1911
6	Kelly S. Huguet	KSH CONST. CO.	Kelly@kshcon.com	503-390-1460 503-856-9305
7	SHAWN LEATHAM	DELTA CONSTRUCTION	SLEATHAM@DELTA56.COM	541-688-2233 541-688-8610
8	Colin Cunningham	Wildish Const.	estimating@wildish.com	541-683-7735 541-683-7722

**TWIN OAKS ELEMENTARY SCHOOL
SOUTH PARKING LOT UPGRADE**

**BID FORM
DOCUMENT 00 41 13**

BID FOR: Twin Oaks South Parking Lot Upgrade
CIP Number **420.343.009**

Submitted to: Facilities Management
Eugene School District 4J
715 West Fourth Avenue
Eugene, Oregon 97402

Bid Deadline: 2:00 PM
Thursday May 21, 2015

Submitted by:

(Company Name)

BASE BID

The undersigned proposes to furnish all material, equipment, and labor required for the complete project, and to perform all work in strict accordance with the Contract Documents for the lump sum prices indicated below with completion occurring on or prior to the dates indicated:

Bid: _____ \$ _____
(Words) (Figures)

The undersigned agrees, if awarded the Contract, to substantially complete all Base Bid work on or before the dates specified in Section 01 11 00.

The undersigned understands that the extended Price for the Unit Price Items is to be included in the base bid.

UNIT PRICE ITEMS

Bidders shall give unit prices and extended prices for each of the items listed below. The Unit Price Items and Extended Prices are included in the Base Bid/Lump Sum. The quantities of Items are estimates are not guaranteed. The schedule of values shall include each Unit Price item as a separate line item. Unit Prices to be used for addition and deduction of quantities in the base bid/Lump Sum. The value of the unused quantities will be deducted and the value of any additional quantities will be added via change order.

<u>Item</u>	<u>Estimated Quantity</u>	<u>Unit Price</u>	<u>Extended Price</u>
1. Asphalt Replacement (Detail 2/C7.0 – Areas shown on drawings)	5,100 SF	\$ _____/SF	\$ _____

**TWIN OAKS ELEMENTARY SCHOOL
SOUTH PARKING LOT UPGRADE**

**UNIT PRICES
SECTION 01 22 00**

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 1 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. This Section includes administrative and procedural requirements for unit prices.
- B. Related Sections include the following:
 - 1. Division 1 Section 01 25 00 "Contract Modification Procedures" for procedures for submitting and handling Change Orders.
 - 2. Division 1 Section 01 40 00 "Quality Requirements" for general testing and inspecting requirements.
 - 3. Division 32 Section "Concrete Walks, Pavement, Curbs and Gutters" for procedures for measurement and payment for concrete curb. Division 32 Section "Asphaltic Concrete Paving" for procedures for measurement and payment for Pavement Repair and Asphalt Replacement.

1.3 DEFINITIONS

- A. Unit price is an amount proposed by bidders, stated on the Bid Form, as a price per unit of measurement for materials or services added to or deducted from the Contract Sum by appropriate modification, if estimated quantities of Work required by the Contract Documents are increased or decreased.

1.4 PROCEDURES

- A. Unit prices include all necessary material, plus cost for delivery, installation, insurance, applicable taxes, overhead, and profit.
- B. Measurement and Payment: Refer to individual Specification Sections for work that requires establishment of unit prices. Methods of measurement and payment for unit prices are specified in those Sections.
- C. Owner reserves the right to reject Contractor's measurement of work-in-place that involves use of established unit prices and to have this work measured, at Owner's expense, by an independent surveyor acceptable to Contractor.
- D. List of Unit Prices: A list of unit prices is included in Part 3. Specification Sections referenced in the schedule contain requirements for materials described under each unit price.
- E. The Extended Prices for the Unit Price items (estimated quantity x unit price) are to be included in the base bid.

**TWIN OAKS ELEMENTARY SCHOOL
SOUTH PARKING LOT UPGRADE**

**UNIT PRICES
SECTION 01 22 00**

F. Owner, at its sole discretion, may award Unit Prices or negotiate as changes to the work.

PART 2 - PRODUCTS (Not Used)

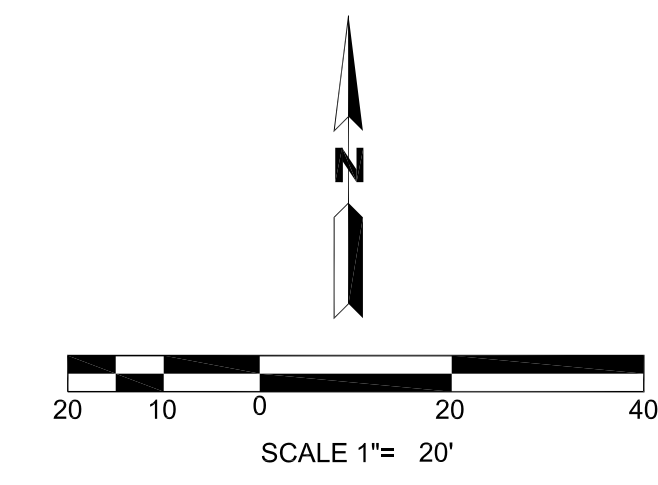
PART 3 - EXECUTION

3.1 LIST OF UNIT PRICES

A. Unit Price No. 2 – Asphalt Replacement:

1. Description: Areas shown on drawings and per detail 2/C7.0, according to Division 32 Section "Asphaltic Concrete Paving"
2. Unit of Measurement: Square Foot

END OF SECTION 01 22 00



EXPIRATION DATE: 12/31/2016

PROJECT TITLE



Facilities
Management
School District 4J
715 W. 4th Avenue
Eugene, OR 97402
(541) 687-3257

**TWIN OAKS ELEMENTARY SCHOOL
SOUTH PARKING LOT UPGRADE**
85916 BAILEY HILL ROAD, EUGENE, OR 97405

SHEET NOTES:
1. SEE C1.0 FOR CIVIL GENERAL NOTES AND LEGEND.

2. LESS THAN 1 ACRE WILL BE DISTURBED DURING CONSTRUCTION; AN CONSTRUCTION EROSION CONTROL PERMIT (1200-C) IS NOT REQUIRED FOR THIS PROJECT. CONTRACTOR IS TO ADHERE TO ANY SITE PERMIT REQUIREMENTS, CONSTRUCTION SITE MANAGEMENT PLAN AND STANDARD EROSION CONTROL PRACTICES FOR THE DURATION OF CONSTRUCTION ACTIVITIES.

BMP RATIONALE AND IMPLEMENTATION

A COMPREHENSIVE LIST OF AVAILABLE BEST MANAGEMENT PRACTICES (BMP) OPTIONS BASED ON DEQ'S 1200-C PERMIT APPLICATION AND ESCP GUIDANCE DOCUMENT HAS BEEN REVIEWED TO COMPLETE THIS EROSION AND SEDIMENT CONTROL PLAN. SOME OF THE LISTED BMP'S (SHEET C3.1) WERE NOT CHOSEN BECAUSE THEY WERE DETERMINED TO NOT EFFECTIVELY MANAGE EROSION PREVENTION AND SEDIMENT CONTROL FOR THIS PROJECT BASED ON SPECIFIC SITE CONDITIONS, INCLUDING SOIL CONDITIONS, TOPOGRAPHIC CONSTRAINTS, ACCESSIBILITY TO THE SITE, AND OTHER RELATED CONDITIONS. AS THE PROJECT PROGRESSES AND THERE IS A NEED TO REVISE THE ESCPS, AN ACTION PLAN WILL BE SUBMITTED.

- CONSTRUCTION NOTES:**
1. INSTALL INLET PROTECTION, PER DETAIL 3/C3.1. BIO-BAGS MAY BE INSTALLED AROUND INLET PERIMETERS IN LIEU OF INSERTS, IF APPROVED BY ENGINEER.
 2. CONSTRUCT CONCRETE WASH AREA IN ACCORDANCE WITH CSMP NOTES. LOCATION(S) SHOWN ARE APPROXIMATE, BUT SHALL BE LOCATED 50 FEET AWAY FROM ANY STORM DRAIN INLETS.
 3. PROJECT CONSTRUCTION LIMITS ARE APPROXIMATE AND REFLECT THE SITE WORK CONSTRUCTION LIMITS AND ACCESSES. LIMITS SHALL BE DETERMINED AT THE PRE CONSTRUCTION MEETING AND CLEARLY FLAGGED OR FENCED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION. DURING CONSTRUCTION NO DISTURBANCE BEYOND THE CONSTRUCTION LIMITS WILL BE PERMITTED. THE FLAGGING OR FENCING DENOTING THE CONSTRUCTION LIMITS SHALL BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
 4. CONSTRUCTION ENTRANCE LOCATION IS APPROXIMATE. EXISTING PAVEMENT AREA TO SERVE AS STABILIZED CONSTRUCTION ENTRANCE AND GRAVEL ENTRANCE IS NOT REQUIRED. ENTRANCES AND LOCATIONS TO BE DETERMINED WITH THE CONTRACTOR AT THE PRE CONSTRUCTION MEETING.
 5. RESEED DISTURBED AREAS PER SHEET C2.0, SITE IMPROVEMENT PLANS, AND SPECIFICATIONS. IMPORTED TOPSOIL/LOAM REQUIRED IN THIS AREA.
 6. EXISTING VEGETATION SERVES AS VEGETATED BUFFER STRIP ALONG SOUTH EDGE OF ENTRANCE DRIVE.
 7. INSTALL SILT FENCE ALONG BOTTOM OF GRADING LIMITS, PER DETAIL 1/C3.1.

CSMP LEGEND

	GRADING LIMIT
	SEDIMENT FENCE OR BIO BERM
	CONCRETE TRUCK WASH
	INLET TO BE PROTECTED
	ESC
	ESCP
	CSMP
	BMP
	CONSTRUCTION TRAFFIC ROUTE
	EXISTING SITE DRAINAGE DIRECTION

DISTURBANCE AREA

DISTURBANCE AREA = GROUND DISTURBING ACTIVITIES. INCLUDES EXISTING PAVEMENT AREAS THAT ARE TO BE REMOVED AND REPLACED AND VEGETATED AREAS THAT ARE TO BE REGRADED AND/OR CONSTRUCTION TRAFFIC AREAS. EXISTING PAVEMENT AREAS USED FOR CONSTRUCTION TRAFFIC ARE NOT INCLUDED.

CONSTRUCTION EQUIPMENT TO STAY WITHIN THESE AREAS UNLESS APPROVED BY OWNER AND ESC MEASURES ARE ADJUSTED TO PROTECT AGAINST EROSION AND SEDIMENT TRANSPORT AND TO MEET PERMIT REQUIREMENTS.

REVISIONS

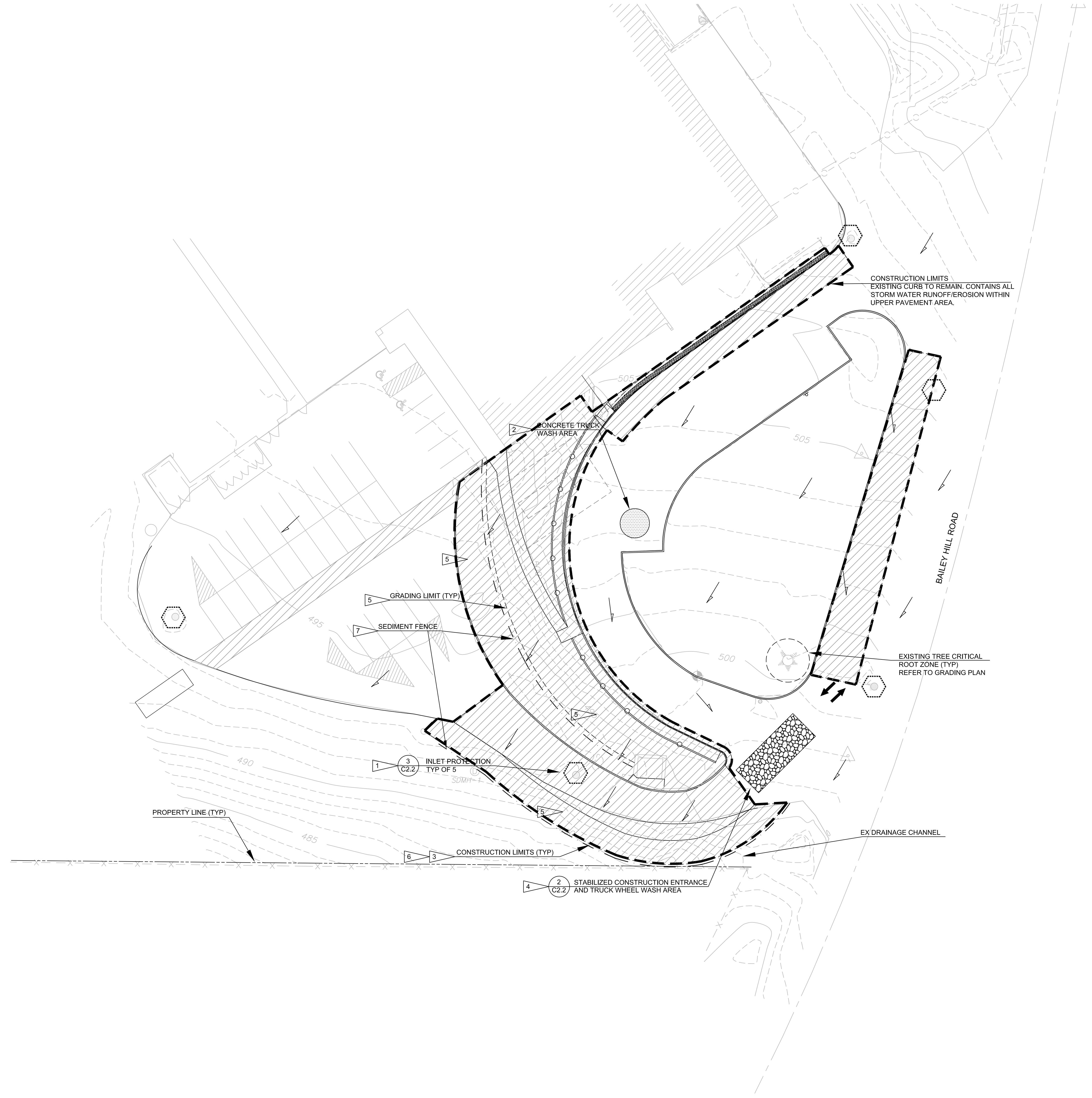
SYM	DATE	REFERENCE
	5/15/15	REV 1

PROJECT: 141603
DRAWN: BJR
CHECKED: BJR
DATE: 05/08/2015

DRAWING TITLE
CONSTRUCTION SITE
MANAGEMENT PLAN

DRAWING NUMBER

C3.0r





Facilities
Management
School District 4J
715 W. 4th Avenue
Eugene, OR 97402
(541) 687-3257

**TWIN OAKS ELEMENTARY SCHOOL
SOUTH PARKING LOT UPGRADE**
85916 BAILEY HILL ROAD, EUGENE, OR 97405

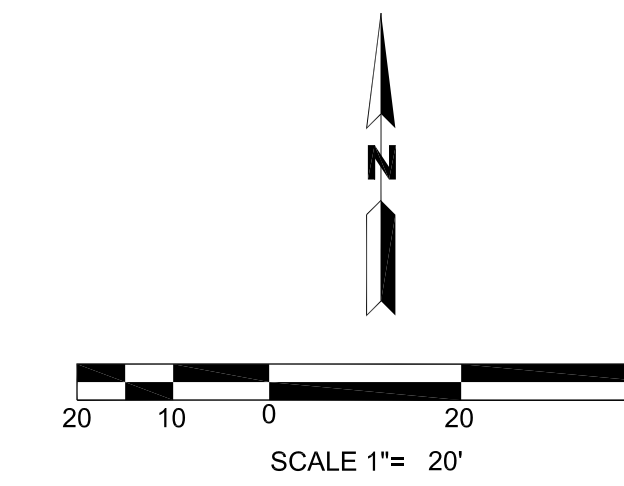
SYM	DATE	REFERENCE
▲	5/15/15	REV 1

PROJECT: 141603
DRAWN: BJR
CHECKED: BJR
DATE: 05/08/2015
DRAWING TITLE

PAVING PLAN

DRAWING NUMBER

C7.0r

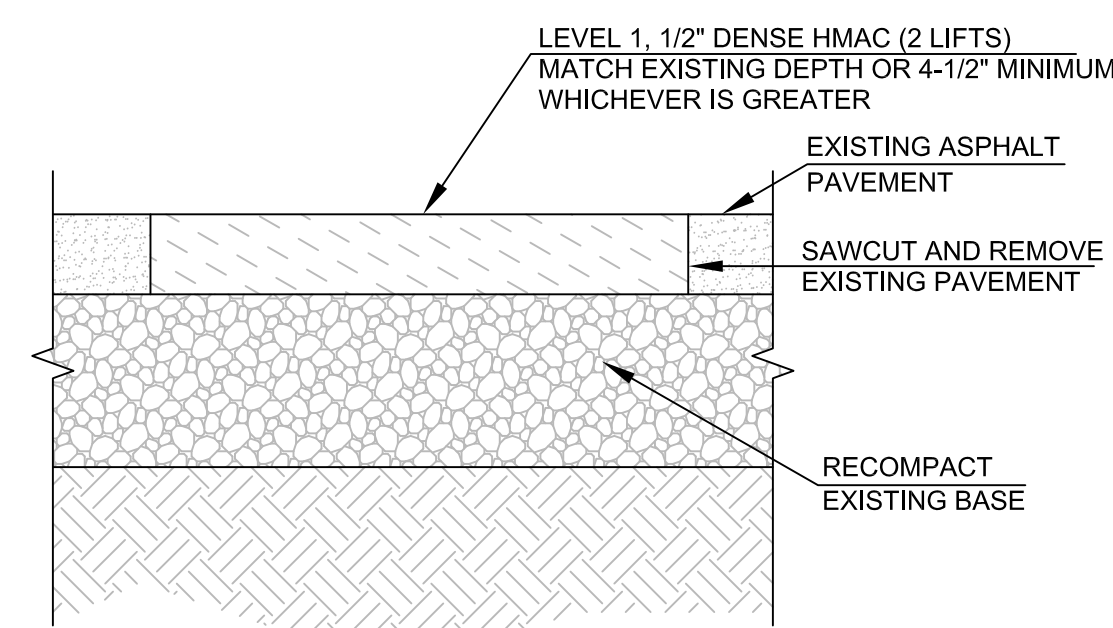


SHEET NOTES:

- SEE COVER SHEET, C1.0 FOR GENERAL NOTES AND LEGEND.
- REFER TO SHEET C4.0, HORIZONTAL CONTROL PLAN, FOR LAYOUT.
- ALL JOINTS TO BE TOOLED CONTRACTION JOINTS, UNLESS NOTED OTHERWISE.
- CURB QUANTITIES SHOWN ARE FOR THE PURPOSE OF IDENTIFYING CURB TYPE. ACTUAL QUANTITIES MAY VARY. CONTRACTOR TO PROVIDE QUANTITIES REQUIRED FOR LAYOUT SHOWN.
- APPLY TACK COAT TO ALL CONCRETE EDGES PRIOR TO PLACING ASPHALT
- REFER TO C2.0, SITE PLAN, FOR PAVEMENT STRIPING.
- REMOVE AND REPLACE EX ASPHALT AS REQUIRED FOR NEW CONSTRUCTION. SAWCUT LINE SHOWN AS APPROXIMATE. REMOVE ADDITIONAL ASPHALT, AS REQUIRED, TO ACCOMPLISH SITE WORK. ADDITIONAL ASPHALT REPLACEMENT WILL BE REQUIRED FOR ANY AREAS DAMAGED DURING CONSTRUCTION. SAWCUT PER DETAIL 3/C1.1.

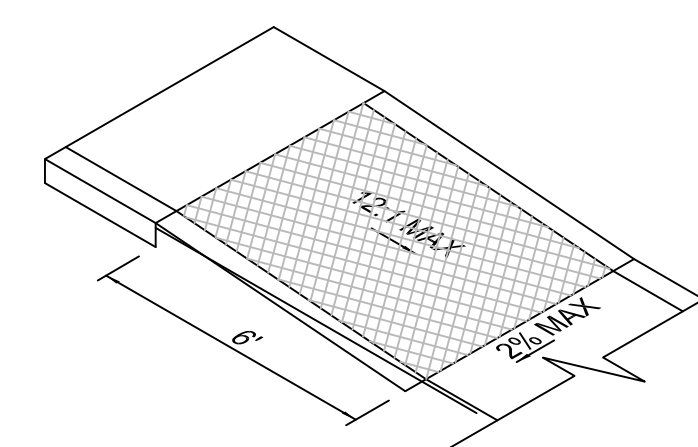
CONSTRUCTION NOTES:

- SAWCUT EX ASPHALT AS REQUIRED FOR NEW CONSTRUCTION. REFER TO DETAIL 3/C1.0.
- CONST ADA RAMP PER DETAIL 2/C7.0. REFER TO GRADING PLAN FOR RAMP SLOPES. REPLACE EXISTING FULL DEPTH CURB, DETAIL 3/C1.0, ALONG RAMP EDGE TO MATCH RAMP GRADE.
- REPLACE PAVEMENT PER DETAIL 1/C7.0. BLEND TO ACHIEVE FLUSH SURFACE TRANSITION FROM CONCRETE WALK TO ASPHALT PAVEMENT.
- CONST 3' WIDE THICKENED EDGE WALK PER DETAIL 2/C1.0. 2' WIDE STAMPED MESH ALONG ENTIRE OUTER EDGE OF REPLACED CONCRETE PAVEMENT FOR TACTILE WARNING.
- UTILITY TRENCH INSTALLATION BY OTHERS, NIC. RE-GRADE BASE ROCK AND COMPACT TO ACHIEVE REQUIRED PAVEMENT SECTION PRIOR TO PAVING, DETAIL 1/C7.0
- UNDERGROUND HEATING OIL TANK REMOVED BY OTHER, NIC. GRAVEL BACKFILL WAS PLACED UNDER NEW CONCRETE WALK AND REMOVED PAVEMENT AREAS. RE-GRADE BASE ROCK AND COMPACT TO ACHIEVE REQUIRED PAVEMENT/CONCRETE SECTION PRIOR TO PAVING AND PLACING CONCRETE, DETAIL 1/C7.0
- CONST FULL DEPTH CURB PER DETAIL 3/C1.0.
- CONST FLUSH ASPHALT EDGE PER DETAIL 3/C7.0.
- REPLACE PAVEMENT PER DETAIL 1/C7.0. GRADE TO ACHIEVE POSITIVE DRAINAGE (2% MIN) AND BLEND TO MATCH ADJACENT ASPHALT SURFACE ELEVATIONS.



1 PAVEMENT REPLACEMENT - HEAVY SECTION

NO SCALE

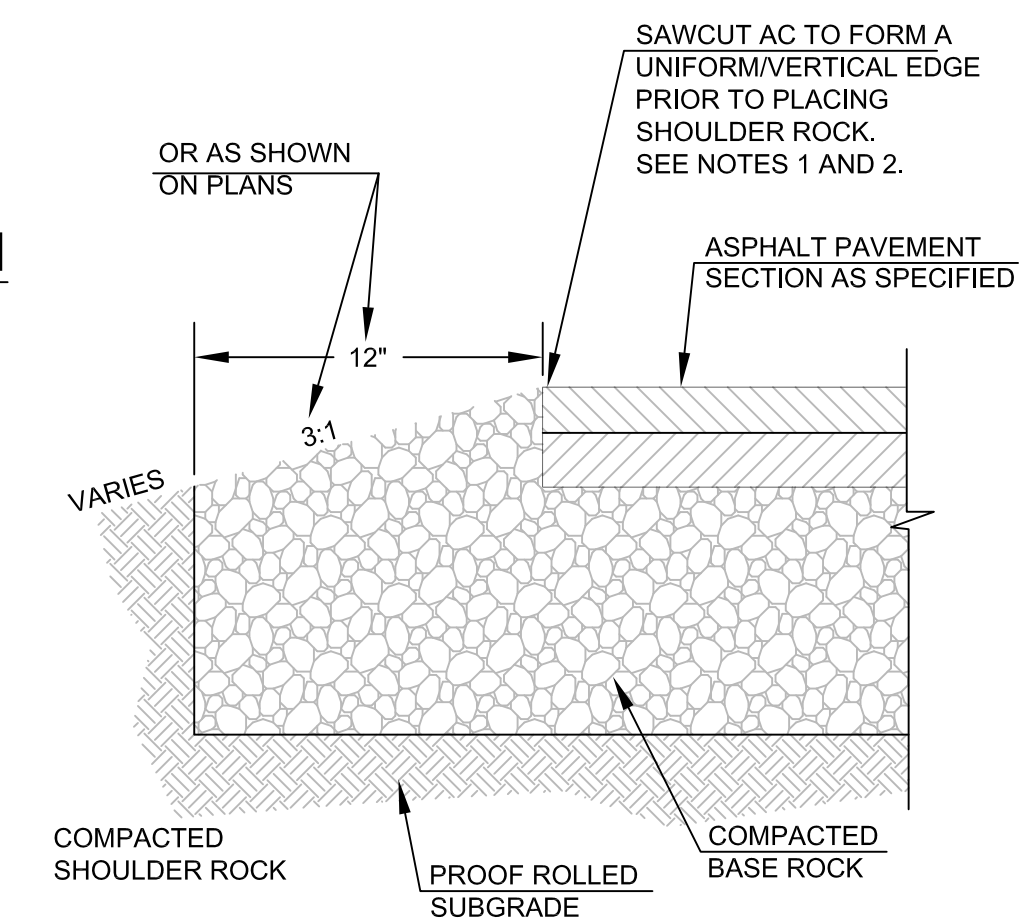


NOTES:

- CONCRETE SHALL BE 3000 PSI, SLUMP RANGE 3" TO 5".
- RAMP TEXTURING IS TO BE DONE WITH AN EXPANDED METAL GRATE PLACED AND REMOVED FROM WET CONCRETE TO LEAVE A DIAMOND PATTERN. EACH DIAMOND SHALL HAVE THE LONG SECTION AXIS ORIENTED PERPENDICULAR TO THE CURB.

2 CURB RAMP - PARALLEL

NO SCALE



NOTES:

- INSTALL PAVEMENT SECTION BEYOND EDGE OF PAVEMENT AREA TO ALLOW FOR TRIMMING OF AC EDGE PRIOR TO PLACEMENT OF SHOULDER ROCK.
- TRIMMING OF EDGE OF AC PAVEMENT INSTALLED WITH A CLEAN, EVEN EDGE MAY NOT BE REQUIRED, AS APPROVED BY ENGINEER.

3 FLUSH ASPHALT EDGE

NO SCALE

PAVING LEGEND

