

**Date:** May 15, 2015 **To:** Plan Holders

Company: Eugene School District 4J

Project: Twin Oaks ES South Parking Lot Upgrade

C.I.P. 420.343.009

Subject: Addendum #1

From: Roberts Consulting & Engineering

3220 Tilden Street, Suite A

Eugene, OR 97404

The following deletions and additions are hereby made a part of Quotations and Contract Documents, effective this date.

#### **CLARIFICATION**

#### Items:

- "Reconstruction" of south access drive lane requires change in grading and replacement of entire pavement section (Asphalt and gravel base). All other pavement "replacement" areas require removal of existing asphalt, compaction of existing base rock and then placement of new asphalt.
- 2. Referenced Document 00 41 13 BID FORM:
  Unit price Item 2. Asphalt Replacement is for detail 2/C7.0 and does not include south access drive "reconstruction".

#### **PROJECT MANUAL**

#### Items:

- 1. Reference Document 00 22 13 SUPPLEMENTARY INSTRUCTIONS TO BIDDERS
  - 1.2, B, 3.4.1: Replace "all firms listed on the Planholders List" with "posted on the web site".
- Referenced Document 00 41 13 BID FORM

Replace Bid Form Page one.

3. Referenced Document 01 22 00 UNIT PRICES

Insert in project manual

#### **DRAWINGS**

Items:

- 1. Replace Drawings C2.0, C3.0, C5.0 and C7.0 with C2.0r, C3.0r, C5.0r, C7.0r.
- 2. Add to Construction note 2: "EXTEND PIPE, AS RQUIRED, TO DAY LIGHT THROUGH TRANSITION GRADING AREA".

#### ATTACHMENTS:

May 13th Pre-bid sign in sheet Section 00 41 13 Bid Form, Page one Section 01 22 00 UNIT PRICES Revised Drawing Sheets C2.0r, C3.0r, C5.0r, C7.0r

#### Email:

Owner

Central Print to distribute to Oregon Plan Centers & Exchanges (10)

## Wednesday May 13, 2015 – 3:30 PM Mandatory PreBid Sign-in Sheet Twin Oaks ES South Parking Lot Upgrade 2015

	Name	Company	Email	Phone/Fax
1	ROBERT PENNOCK	ALL CITY PAVINO	Www.alleity passing.com	503 - 393 - 4604
2	Econ Emnoh	Brown contracting	Sean@browncontracting,	541-338-93/15
3	Dennis Postma	Knife River	dennis. postma e kniferier	541-936-4553
4	Rick	Eugene Sand	reume we old costle	541-501-2359
5	CeeJay Schulte	Pecific Exe	Spencer@pagificexc.com	541-791-)911
6	KELLY S. HUGULET	KSH CONST. CO.	Kellyokshon.com	503-390-1460
7	SHAWN LEATHAM	DELTA CONSTRUCTION	SLEATHAM@DELTASG.COM	541-688-2233
8	Colin Cunningham	Wildish Coust	estimating ewildish. com	541-683-7735

# TWIN OAKS ELEMENTARY SCHOOL SOUTH PARKING LOT UPGRADE

#### BID FORM DOCUMENT 00 41 13

BID FOR:	Twin Oaks South Parking Lot UCIP Number <b>420.343.009</b>	Jpgrade		
Submitted to:	Facilities Management Eugene School District 4J 715 West Fourth Avenue Eugene, Oregon 97402	Bid Deadline:	2:00 PM Thursday May	21, 2015
Submitted by:				
	(Company Name)			
and to perform	ed proposes to furnish all material all work in strict accordance with appletion occurring on or prior to	n the Contract Documen		
Bid:			\$	
	(Words)		(1	Figures)
the dates specif	ed agrees, if awarded the Contraction of the Contra			
bid.				
and Extended F guaranteed. The be used for add	ive unit prices and extended prices are included in the Base Bine schedule of values shall includition and deduction of quantities be deducted and the value of any	d/Lump Sum. The quant e each Unit Price item a in the base bid/Lump Su	tities of Items ar s a separate line um. The value of	re estimates are not item. Unit Prices to the unused
Item		Estimated Quantity	Unit Price	Extended Price
1. Asphalt Rep (Detail 2/C7	placement '.0 – Areas shown on drawings)	5,100 SF	S/SF	\$

BID FORM 00 41 13 – 1

## TWIN OAKS ELEMENTARY SCHOOL SOUTH PARKING LOT UPGRADE

#### UNIT PRICES SECTION 01 22 00

#### PART 1 - GENERAL

#### 1.1 RELATED DOCUMENTS

A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 1 Specification Sections, apply to this Section.

#### 1.2 SUMMARY

- A. This Section includes administrative and procedural requirements for unit prices.
- B. Related Sections include the following:
  - 1. Division 1 Section 01 25 00 "Contract Modification Procedures" for procedures for submitting and handling Change Orders.
  - 2. Division 1 Section 01 40 00 "Quality Requirements" for general testing and inspecting requirements.
  - 3. Division 32 Section "Concrete Walks, Pavement, Curbs and Gutters" for procedures for measurement and payment for concrete curb. Division 32 Section "Asphaltic Concrete Paving" for procedures for measurement and payment for Pavement Repair and Asphalt Replacement.

#### 1.3 DEFINITIONS

A. Unit price is an amount proposed by bidders, stated on the Bid Form, **as** a price per unit of measurement for materials or services added to or deducted from the Contract Sum by appropriate modification, if estimated quantities of Work required by the Contract Documents are increased or decreased.

#### 1.4 PROCEDURES

- A. Unit prices include all necessary material, plus cost for delivery, installation, insurance, applicable taxes, overhead, and profit.
- B. Measurement and Payment: Refer to individual Specification Sections for work that requires establishment of unit prices. Methods of measurement and payment for unit prices are specified in those Sections.
- C. Owner reserves the right to reject Contractor's measurement of work-in-place that involves use of established unit prices and to have this work measured, at Owner's expense, by an independent surveyor acceptable to Contractor.
- D. List of Unit Prices: A list of unit prices is included in Part 3. Specification Sections referenced in the schedule contain requirements for materials described under each unit price.
- E. The Extended Prices for the Unit Price items (estimated quantity x unit price) are to be included in the base bid.

UNIT PRICES 01 22 00 - 1

## TWIN OAKS ELEMENTARY SCHOOL SOUTH PARKING LOT UPGRADE

#### UNIT PRICES SECTION 01 22 00

F. Owner, at its sole discretion, may award Unit Prices or negotiate as changes to the work.

PART 2 - PRODUCTS (Not Used)

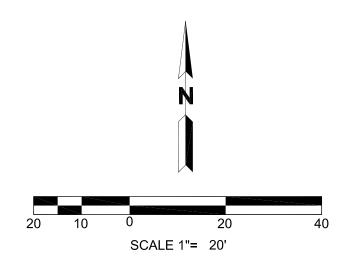
#### PART 3 - EXECUTION

- 3.1 LIST OF UNIT PRICES
  - A. Unit Price No. 2 Asphalt Replacement:
    - 1. Description: Areas shown on drawings and per detail 2/C7.0, according to Division 32 Section "Asphaltic Concrete Paving"
    - 2. Unit of Measurement: Square Foot

END OF SECTION 01 22 00

UNIT PRICES 01 22 00 - 2





<u>SHEET NOTES:</u>
1. SEE SHEET <u>C1.0</u> FOR GENERAL NOTES AND LEGEND.

- 2. REFER TO SHEET <u>C4.0</u>, HORIZONTAL CONTROL PLAN, FOR SITE LAYOUT AND DIMENSIONS.
- 3. PRIVATE UTILITY LOCATES TO BE PROVIDED BY CONTRACTOR.
- 4. REFER TO SHEET <u>C6.0</u>, SITE UTILITY PLAN, FOR PRIVATE UTILITY WORK.
- 5. REMOVE ALL PARKING LOT SIGNS WITHIN DEMOLITION AREA AND SALVAGE FOR REINSTALLATION WHEN PAVING IS COMPLETE.
- 6. COORDINATE WITH SCHOOL DISTRICT STAFF FOR STORAGE OF SALVAGED MATERIALS DURING CONSTRUCTION.
- 7. RE-PAINT ENTIRE UPPER AND LOWER PARKING LOTS AND LOWER ENTRANCE DRIVE TO MATCH EXISTING. 4" WIDE PAINTED STRIPES (WHITE) TO DIMENSIONS SHOWN, UNLESS NOTED OTHERWISE. ADA PARKING SPACES TO BE ADA COMPLIANT. RE-STRIPE ANY OTHER PAVEMENT MARKINGS ON-SITE TRAFFICKED BY CONSTRUCTION EQUIPMENT DURING CONSTRUCTION.
- 8. LANDSCAPE AREA DISTURBED BY CONSTRUCTION TO BE RESEEDED. PREPARE AREAS FOR RESEEDING TO GRADING OR DISTURBANCE LIMITS. REFER TO EARTHWORK SPECIFICATION FOR SUBGRADE PREPARATION, TOP SOIL PLACEMENT AND SEEDING REQUIREMENTS. TOP 12 INCHES OF LANDSCAPE/LAWN AREAS TO BE TOPSOIL.

## CONSTRUCTION NOTES:

- 1. BOLLARDS TO BE 4" DIAMETER STEEL POSTS FILLED WITH CONCRETE. INSTALL DOMED CAP ON TOP AND PAINT YELLOW. INSTALL BOLLARDS IN FRONT OF EX BUILDING CANOPY POSTS (APPROX 12' O.C.). VERIFY LOCATIONS WITH ENGINEER OR OWNER PRIOR TO INSTALLATION.
- 2. TANK REMOVAL BY OTHERS, WORK PERFORMED BY OTHERS INCLUDES:
- REMOVE EX CONCRETE WALK OVER TANK, ASPHALT PAVEMENT AND CONCRETE CURB AS REQUIRED.
- EXCAVATED AREA WILL BE BACK FILLED WITH CDF TO 2 FEET BELOW FINISH GRADE
- AREAS UNDER ASPHALT PAVEMENT AND IN LANDSCAPE AREA WITHIN 10 FEET FROM BACK OF EX CURB WILL BE BACK FILLED WITH COMPACTED CRUSHED ROCK.
- OTHER LANDSCAPE AREAS TO BE BACK FILLED WITH

EX CURB AND ASPHALT PAVEMENT REMOVED FOR TANK REMOVAL TO BE REPLACED UNDER THIS CONTRACT.

3. INSTALL 4' HIGH CHAIN LINK FENCE 5' FROM FACE OF EX CONCRETE CURB. POST MATERIAL PER SPECIFICATIONS AND COLOR TO BE BLACK VINYL. CHAIN LINK PANELS TO BE INSTALLED WITH BOTTOM RAIL AT FINISH GRADE. VERIFY LOCATIONS WITH ENGINEER PRIOR TO INSTALLATION.

POST FOOTINGS: 12" DIA, 3' DEEP. COVERAGE 3" AT BOTTOM. 3,000 PSI CONCRETE POURED OVER 4" COMPACTED BASE ROCK. 

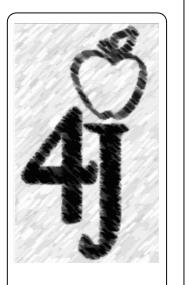
4. COUNTY PERMIT REQUIRED FOR WORK WITHIN BAILEY HILL ROAD RIGHT-OF-WAY. PAVEMENT REPLACEMENT AREA TO BE MARKED IN HE FIELD BY ENGINEER, APPROX 2,300 SF. CONTRACTOR TO MAKE NOTE OF CURRENT PAVEMENT MARKINGS AND RESTIPE TO MATCH AFTER PAVEMENT REPLACEMENT.





[EXPIRATION DATE: 12/31/2016]

PROJECT TITLE



Facilities Management School District 4J 715 W. 4th Avenue Eugene, OR 97402 (541) 687-3257

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REVISIONS

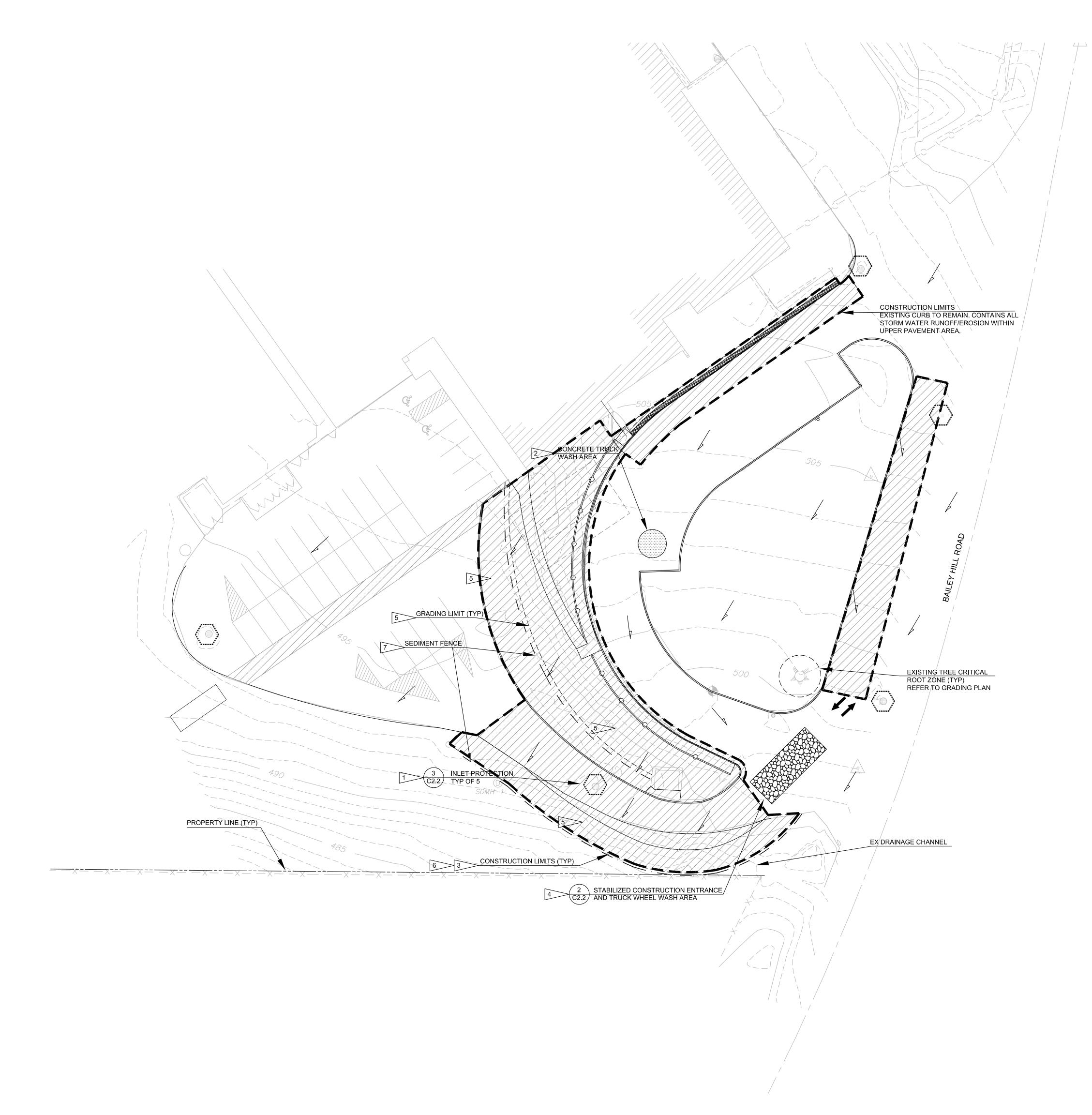
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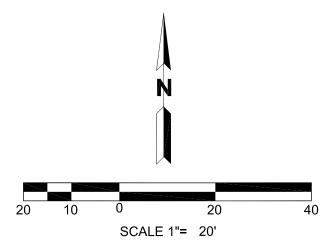
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PROJECT: 141603 DRAWN: BJR

CHECKED: BJR DATE: 05/08/2015 DRAWING TITLE

SITE PLAN





SHEET NOTES: 1. SEE <u>C1.0</u>, FOR CIVIL GENERAL NOTES AND LEGEND.

2. LESS THAN 1 ACRE WILL BE DISTURBED DURING CONSTRUCTION; AN CONSTRUCTION EROSION CONTROL PERMIT (1200-C) IS NOT REQUIRED FOR THIS PROJECT. CONTRACTOR IS TO ADHERE TO ANY SITE PERMIT REQUIREMENTS, CONSTRUCTION SITE MANAGEMENT PLAN AND STANDARD EROSION CONTROL PRACTICES FOR THE DURATION OF CONSTRUCTION ACTIVITIES.

## BMP RATIONALE AND IMPLEMENTATION

A COMPREHENSIVE LIST OF AVAILABLE BEST MANAGEMENT PRACTICES (BMP) OPTIONS BASED ON DEQ'S 1200-C PERMIT APPLICATION AND ESCP GUIDANCE DOCUMENT HAS BEEN REVIEWED TO COMPLETE THIS EROSION AND SEDIMENT CONTROL PLAN. SOME OF THE LISTED BMPS (SHEET C3.1) WERE NOT CHOSEN BECAUSE THEY WERE DETERMINED TO NOT EFFECTIVELY MANAGE EROSION PREVENTION AND SEDIMENT CONTROL FOR THIS PROJECT BASED ON SPECIFIC SITE CONDITIONS, INCLUDING SOIL CONDITIONS, TOPOGRAPHIC CONSTRAINTS, ACCESSIBILITY TO THE SITE, AND OTHER RELATED CONDITIONS. AS THE PROJECT PROGRESSES AND THERE IS A NEED TO REVISE THE ESCPS, AN ACTION PLAN WILL BE SUBMITTED.

## CONSTRUCTION NOTE

1. INSTALL INLET PROTECTION, PER DETAIL 3/<u>C3.1</u>. BIO-BAGS MAY BE INSTALLED AROUND INLET PERIMETERS IN LIEU OF INSERTS, IF APPROVED BY ENGINEER.

2. CONSTRUCT CONCRETE WASH AREA IN ACCORDANCE WITH CSMP NOTES. LOCATION(S) SHOWN ARE APPROXIMATE, BUT SHALL BE LOCATED 50 FEET AWAY FROM ANY STORM DRAIN INLETS.

3. PROJECT CONSTRUCTION LIMITS ARE APPROXIMATE AND REFLECT THE SITE WORK CONSTRUCTION LIMITS AND ACCESSES. LIMITS SHALL BE DETERMINED AT THE PRE CONSTRUCTION MEETING AND CLEARLY FLAGGED OR FENCED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION. DURING CONSTRUCTION NO DISTURBANCE BEYOND THE CONSTRUCTION LIMITS WILL BE PERMITTED. THE FLAGGING OR FENCING DENOTING THE CONSTRUCTION LIMITS SHALL BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF CONSTRUCTION.

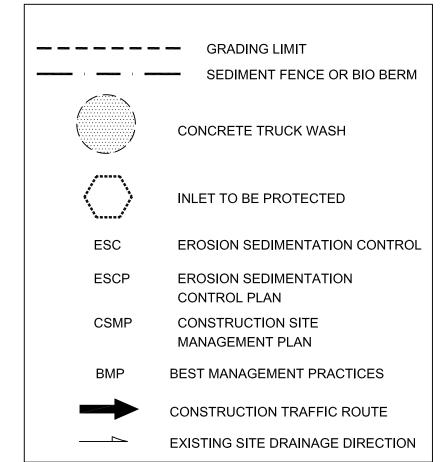
4. CONSTRUCTION ENTRANCE LOCATION IS APPROXIMATE. EXISTING PAVEMENT AREA TO SERVE AS STABILIZED CONSTRUCTION ENTRANCE AND GRAVEL ENTRANCE IS NOT REQUIRED. ENTRANCES AND LOCATIONS TO BE DETERMINED WITH THE CONTRACTOR AT THE PRE CONSTRUCTION MEETING.

5. RESEED DISTURBED AREAS PER SHEET  $\underline{\text{C2.0}}$ , SITE IMPROVEMENT PLANS, AND SPECIFICATIONS. IMPORTED TOPSOIL/LOAM REQUIRED IN THIS AREA.

6. EXISTING VEGETATION SERVES AS VEGETATED BUFFER STRIP ALONG SOUTH EDGE OF ENTRANCE DRIVE.

7. INSTALL SILT FENCE ALONG BOTTOM OF GRADING LIMITS, PER DETAIL 1/<u>C3.1</u>.

# CSMP LEGEND





DISTURBANCE AREA

DISTURBANCE AREA = GROUND DISTURBING ACTIVITIES. INCLUDES EXISTING PAVEMENT AREAS THAT ARE TO BE REMOVED AND REPLACED AND VEGETATED AREAS THAT ARE TO BE REGRADED AND/OR CONSTRUCTION TRAFFIC AREAS. EXISTING PAVEMENT AREAS USED FOR CONSTRUCTION TRAFFIC ARE NOT INCLUDED.

CONSTRUCTION EQUIPMENT TO STAY WITHIN THESE AREAS UNLESS APPROVED BY OWNER AND ESC MEASURES ARE ADJUSTED TO PROTECT AGAINST EROSION AND SEDIMENT TRANSPORT AND TO MEET PERMIT REQUIREMENTS.





EXPIRATION DATE: 12/31/2016

PROJECT TITLE



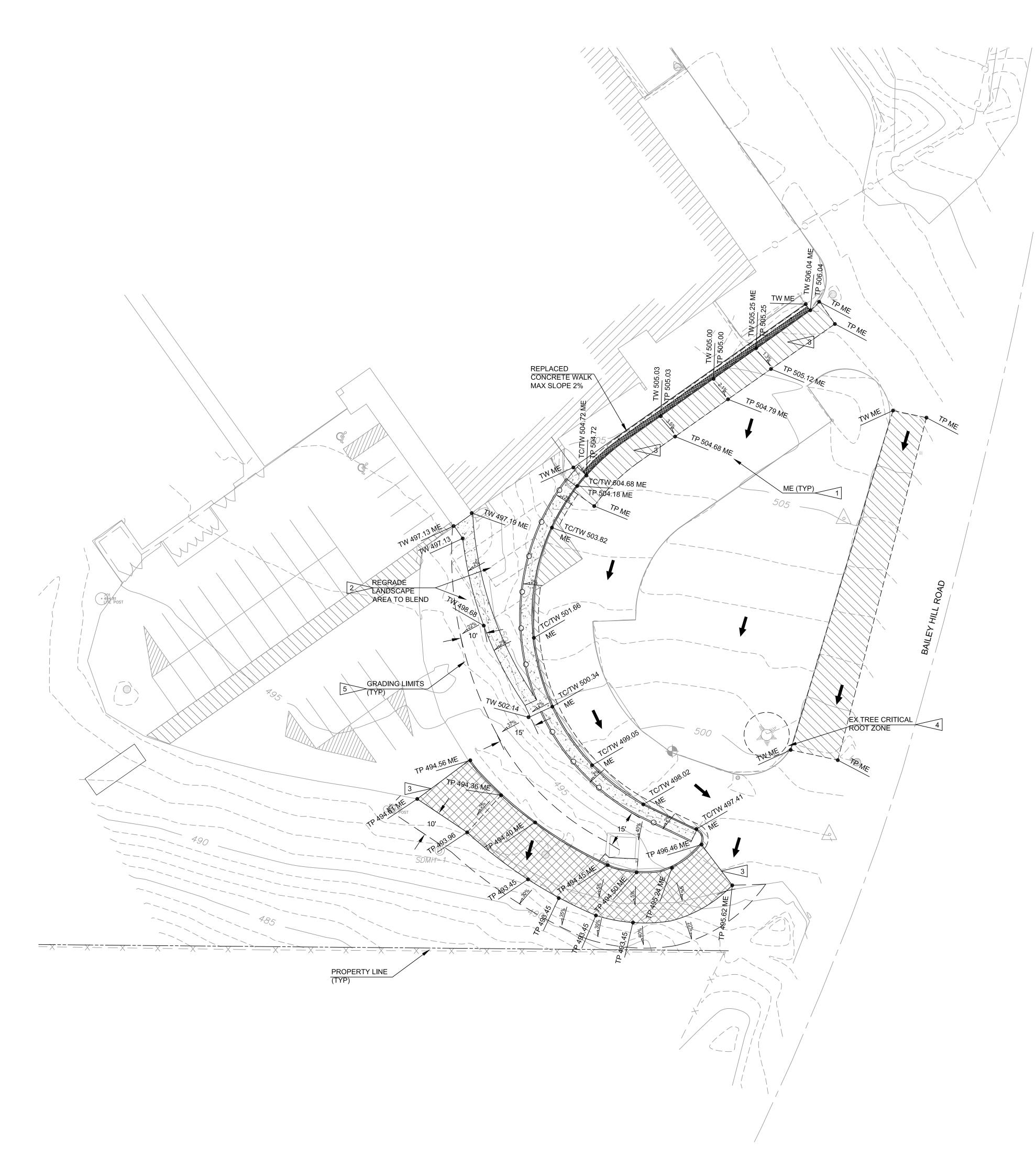
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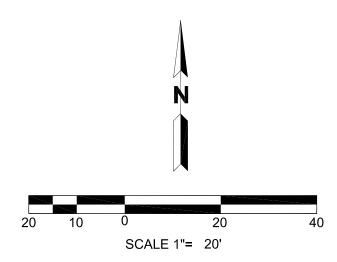
ELEMENTARY SCHOOL

AK PA

C3.0r

DRAWING NUMBER





SHEET NOTES:

1. SEE SHEET C1.0 FOR GENERAL NOTES AND LEGEND.

2. REFER TO SHEET C4.0 HORIZONTAL CONTROL PLAN, FOR SITE LAYOUT AND DIMENSIONS.

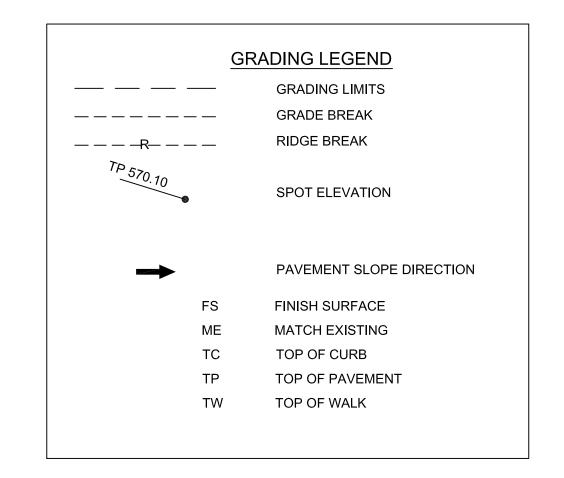
3. FS = TC, TP OR TW UNLESS NOTED OTHERWISE.

### 4. TW = TC UNLESS NOTED OTHERWISE.

5. TC AND TW = 6" ABOVE TP UNLESS NOTED OTHERWISE

- 6. REFER TO SHEET <u>C7.0</u>, PAVING PLAN, FOR EXISTING PAVEMENT SAW CUT REQUIREMENTS.
- 7. CONTROL POINTS WERE SET BY SURVEYOR, SEE SHEET C1.0 GENERAL NOTES 1 AND 2.
- 8. GRADE EVENLY BETWEEN SPOT ELEVATIONS SHOWN TO ACHIEVE POSITIVE DRAINAGE.
- 9. MATCH ELEVATIONS AT EDGES OF EX ADJACENT FLAT CONCRETE AND AC SURFACES.

- . FIELD VERIFY EXISTING ELEVATIONS WHERE THE NEW GRADING IS TO MATCH EXISTING, AS INDICATED ON THE GRADING PLAN BY THE "ME" DESIGNATION (I.E.; TP 416.42 ME). PROVIDE FIELD VERIFIED ELEVATIONS (TO CONFIRM THE DESIGN) FAR ENOUGH IN ADVANCE OF WORK TO MAKE NECESSARY DESIGN MODIFICATIONS WITHOUT DELAYING WORK.
- 2. TRANSITION GRADE TO GRADING LIMITS TO ACHIEVE POSITIVE DRAINAGE THROUGH ALL DISTURBED
- 3. BLEND TO MATCH EVENLY AT SAWCUT LINE, GRADE EVENLY TO ACHIEVE POSITIVE DRAINAGE.
- 4. NOT ALL TREES SHOWN ON TOPO SURVEY AND DRAWINGS. CRITICAL ROOT ZONE IS 18 X TREE DBH (DIAMETER AT BREAST HEIGHT). TREE PROTECTION NOTES APPLY TO ALL EX TREES TO REMAIN. LESS THAN 30% OF THE EX TREE CRITICAL ROOT ZONE (CRZ) TO BE IMPACTED. REFER TO TREE PROTECTION NOTES FOR WORK LIMITATIONS WITHIN THE CRZ.
- 5. CONTRACTOR TO CONFINE CONSTRUCTION ACTIVITIES TO WITHIN GRADING LIMITS . ANY DISTURBANCE BEYOND THE GRADING LIMITS IS TO BE RESTORED BY THE CONTRACTOR AT CONTRACTORS EXPENSE.



## TREE PROTECTION NOTES:

- 1. INSTALL PROTECTIVE FENCING AROUND DESIGNATED TREES TO SURROUND THE ZONE OF PROTECTION EXCEPT AS NECESSARY TO COMPLETE THE REQUIRED WORK. MARK PROPOSED LOCATION OF FENCING WITH PAINT OR WOODEN STAKES FOR REVIEW BY THE OWNER. MAKE ADJUSTMENTS TO FENCING LOCATIONS OR ALIGNMENT AS REQUIRED BY THE OWNER. INSTALL FENCING PRIOR TO START OF CONSTRUCTION. 2. PARKING AND DRIVING OF CONSTRUCTION EQUIPMENT THROUGH ZONE IS NOT ALLOWED. PREVENT SOIL COMPACTION OVER ROOT SYSTEMS.
- 3. DO NOT EXCAVATE WITHIN THE ZONE UNLESS INDICATED ON THE PLANS.
- 4. WHERE EXCAVATION IS REQUIRED WITHIN THE TREE PROTECTION ZONE, HAND DIG OR AIR SPADE TO MINIMIZE DAMAGE TO ROOT SYSTEMS. 5. PROVIDE BRIDGING OR PROTECTIVE PLANKING WHERE EQUIPMENT OPERATES.
- 6. RELOCATE ROOTS IN BACK FILL AREAS WHERE POSSIBLE. IF RELOCATION OF ROOTS IS NOT PRACTICAL, ROOTS MAY BE CUT IS APPROVED BY
- 7. UTILITY TRENCHES: DO NOT CUT MAIN LATERAL ROOTS OR TAP ROOTS; CUT ONLY SMALLER ROOTS THAT INTERFERE WITH INSTALLATION OF
- UTILITIES. OBTAIN OWNER APPROVAL PRIOR TO CUTTING ROOTS LARGER THAN TWO INCHES (2") IN DIAMETER. 8. REGRADING: HAND GRADE WITHIN ZONE OF PROTECTION TO REQUIRED FINISH ELEVATIONS.
- 9. ALL ROOT CUTS ARE TO BE WITH AN APPROVED ROOT-PRUNING DEVICE. MAKE CLEAN CUTS. DO NOT LEAVE SPLIT OR FRAYED ENDS. 10. DO NOT ALLOW EXPOSED ROOTS TO DRY OUT PRIOR TO PLACING PERMANENT BACK FILL. PROVIDE TEMPORARY EARTH COVER OR PACK WITH PEAT MOSS AND WRAP WITH BURLAP. WATER AND MAINTAIN IN A MOIST CONDITION. TEMPORARILY SUPPORT AND PROTECT ROOTS FROM DAMAGE UNTIL THEY ARE PERMANENTLY RELOCATED AND COVERED WITH SOIL.
- 11. TREE BRANCHES THAT INHIBIT CONSTRUCTION EQUIPMENT OPERATION, MAY BE REMOVED ONLY AS APPROVED BY THE OWNER. 12. ACTIVITIES PROHIBITED WITHIN THE ZONE INCLUDE, BUT ARE NOT LIMITED TO: CONSTRUCTION OPERATION OF MACHINERY, STORAGE OF MATERIALS, PAVING, GRADING, CUTTING, FILLING, TRAVEL WITHIN, DUMPING, DISPOSAL OF LIQUIDS, AND PARKING OF EQUIPMENT AND VEHICLES. WHERE CONSTRUCTION IS WITHIN THIS AREA, SPECIAL PROVISIONS OUTLINED ABOVE SHALL BE FOLLOWED AT ALL TIMES.





EXPIRATION DATE: 12/31/2016

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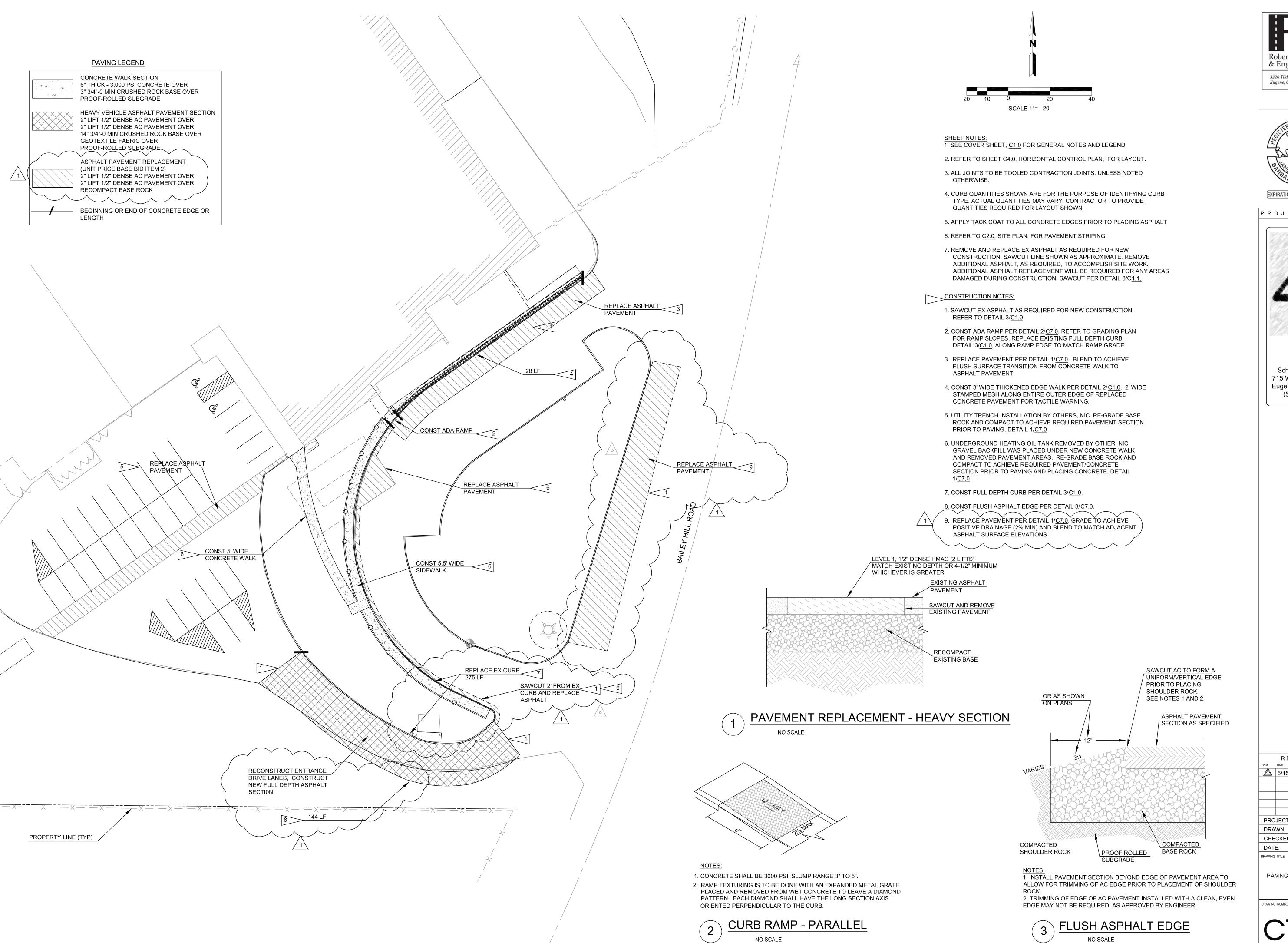
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/1 5/15/15 REV 1

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CHECKED: BJR DATE: 05/08/2015 DRAWING TITLE

GRADING PLAN







[EXPIRATION DATE: 12/31/2016]

PROJECT TITLE



Facilities Management

School District 4J 715 W. 4th Avenue Eugene, OR 97402 (541) 687-3257

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