

RIVER ROAD/EL CAMINO DEL RIO EARTHWORK PACKAGE EUGENE SCHOOL DISTRICT 4J 120 WEST HILLIARD LANE, EUGENE OR 97404 CONSTRUCTION DOCUMENTS

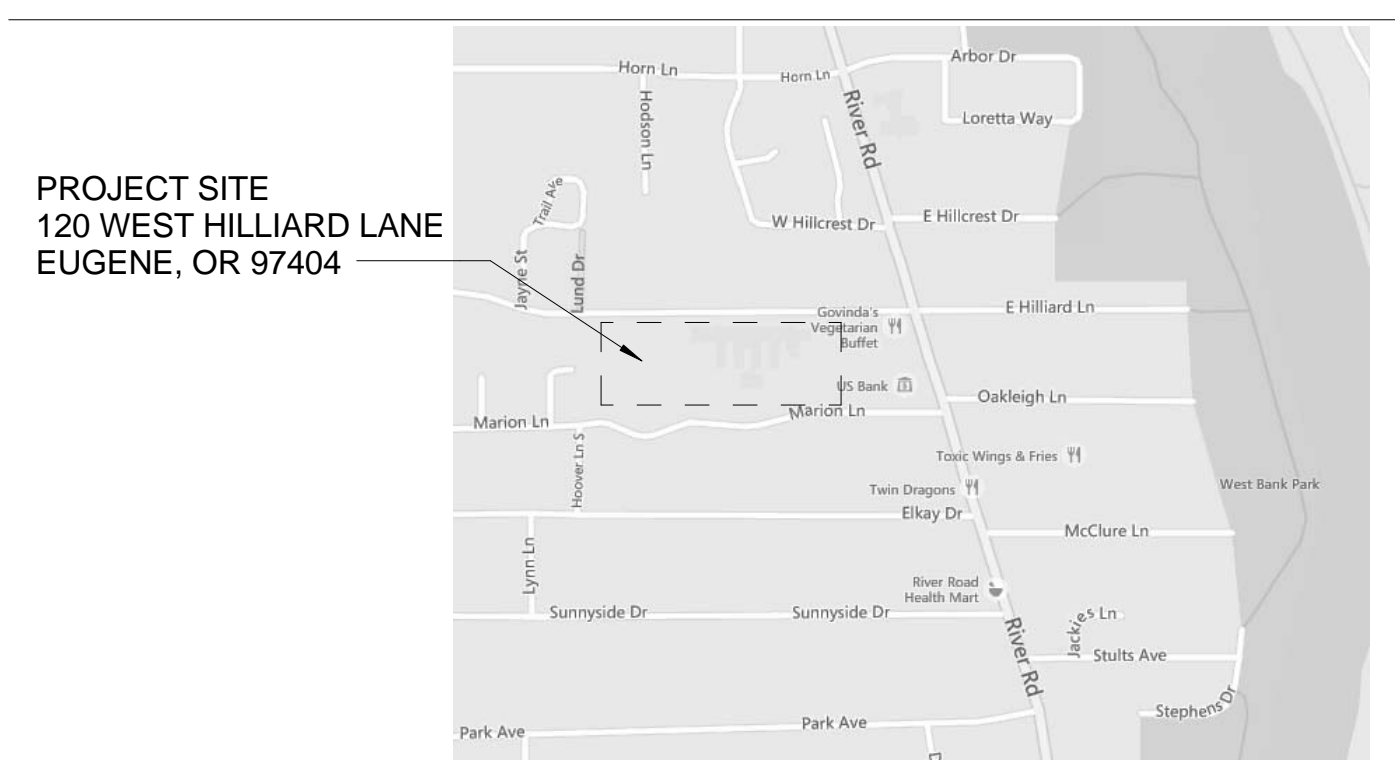
5/15/15



ARCHITECTURAL ABBREVIATIONS

AB	ANCHOR BOLT
AC	ASPHALTIC CONCRETE
ACOUS	ACOUSTIC
ACT	ACOUSTICAL TILE CEILING SYSTEM
AFF	ABOVE FINISH FLOOR
ALUM	ALUMINUM
BLDG	BUILDING
BO	BOTTOM OF
CB	CATCH BASIN
CFDI	CONTRACTOR FURNISHED/CONTRACTOR INSTALLED
CJ	CONTROL JOINT
CL	CENTER LINE
CLG	CLEARING
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
CONC	CONCRETE
CONT	CONTINUOUS
CPT	CARPET
DBL	DOUBLE
DEMO	DEMOLITION/DEMOLISH
DF	DOUGLAS FIR, DRINKING FOUNTAIN
DIAG	DIAGONAL
DIA	DIAMETER
DISP	DISPENSER
DN	DOWN
DS	DOWNSPOUT
DTL	DETAIL
DWG	DRAWING
EJ	EXISTING
EA	EACH
EJ	EXPANSION JOINT
EL ELEV	ELEVATION
ELEC	ELECTRICAL
EQ	EQUAL
EW	EACH WAY
EXT	EXTERIOR
FD	FLOOR DRAIN
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FF	FINISH FLOOR
FIN	FINISH/FINISHED
FLR	FLOOR
FO	FACE OF
FRP	FIBER REINFORCED PANEL
FTG	FOOTING
GA	GAUGE
GB	GRAB BAR
GLB	GLUE LAM BEAM
GYP BD	GYP SUM BOARD
HGT	HEIGHT
HORIZ	HORIZONTAL
HR	HANDRAIL
HM	HOLLOW METAL
INSUL	INSULATION
INT	INTERIOR
IT	JOINT
KD	KNOCK DOWN
LAV	LAVATORY
LOC	LOCATION
MAX	MAXIMUM
MECH	MECHANICAL
MFR	MANUFACTURER
MIN	MINIMUM
MISC	MISCELLANEOUS
MTL	METAL
NTS	NOT TO SCALE
OC	ON CENTER
OD	OUTSIDE DIMENSION
OPCI	OWNER FURNISHED CONTRACTOR INSTALLED
OPCI	OWNER FURNISHED OWNER INSTALLED
OFS	OUTSIDE FACE OF STUD
OH	OPPOSITE HAND
OPNG	OPENING
OPP	OPPOSITE
P LAM	PLASTIC LAMINATE
PS	PAIN SYSTEM
PT	PRESSED TREATED
PTD	PAINTED
PLY	PLYWOOD
R	RADIUS
RB	RUBBER BASE
RD	ROOF DRAIN
ROOM	ROOM
RO	ROUGH OPENING
ROW	RIGHT OF WAY
RUB	RUBBER
SD	STORM DRAIN
SECT	SECTION
SHT	SHEET
SIM	SIMILAR
SPECS	SPECIFICATIONS
SQFT, SF	SQUARE FOOT
S STL	STAINLESS STEEL
STD	STANDARD
STL	STEEL
STRUC	STRUCTURAL
T&B	TOP & BOTTOM
T&G	TONGUE AND GROOVE
TEMP	TEMPERED, TEMPORARY
TO	TOP OF
TOC	TOP OF CONCRETE
TOW	TOP OF WALL
TOS	TOP OF STRUCTURE
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VFY	VERIFY
WA	WALL ASSEMBLY
W	WITH
WD	WOOD
WP	WATER PROOF

VICINITY MAP



ARCHITECTURAL SYMBOLS

1/4" = 1'-0"

	3	BUILDING ELEVATION
	2	INTERIOR ELEVATION
		BUILDING SECTION
		WALL SECTION
		DETAIL CALLOUT
		DETAIL SECTION
		VERTICAL ELEVATION
		ROOM NAME & NUMBER
		WINDOW SYMBOL
		DOOR SYMBOL
		CEILING HEIGHT SYMBOL
		WALL ASSEMBLIES
		SPECIFICATION KEYNOTE
		KEYNOTE

PROJECT TEAM

OWNER

4J EUGENE SCHOOL DISTRICT
715 W 4TH AVENUE
EUGENE, OR 97402
PHONE: (541) 790-7417 FAX: (541) 790-7420
CONTACT: RYAN SPAIN

ARCHITECT OF RECORD

PIVOT ARCHITECTURE PC
44 WEST BROADWAY, SUITE 300
EUGENE, OR 97401
PHONE: (541) 342-7291 FAX: (541) 342-1535
CONTACT: JOHN STAPLETON

DESIGN ARCHITECT

DULL OLSON WEEKES IBI GROUP ARCHITECTS INC.
907 SW STARK STREET
PORTLAND, OR 97205
PHONE: (503) 226-6960
CONTACT: DAVID JOHNSON

STRUCTURAL ENGINEER

HOHBACH-LEWIN, INC.
296 E 5TH AVE
EUGENE, OR 97401
PHONE: (541) 349-1701 FAX: (541) 349-1702
CONTACT: VIKKI BOURGIER

CIVIL ENGINEER

BALZHISER & HUBBARD ENGINEERS
100 W 13TH AVENUE, #100
EUGENE, OR 97401
PHONE: (541) 686-8478 FAX: (541) 345-5303
CONTACT: JOHN HORNBERGER

MECHANICAL/PLUMBING ENGINEER

PAE CONSULTING ENGINEERS, INC.
522 SW 5TH AVENUE, #1500
PORTLAND, OR 97204
PHONE: (503) 226-2921 FAX: (503) 226-2930
CONTACT: BRETT COURNOYER

ELECTRICAL ENGINEER

PAE CONSULTING ENGINEERS, INC.
522 SW 5TH AVENUE, #1500
PORTLAND, OR 97204
PHONE: (503) 226-2921 FAX: (503) 226-2930
CONTACT: BRETT COURNOYER

LANDSCAPE ARCHITECT

CAMERON MCCARTHY LANDSCAPE ARCHITECTS
160 EAST BROADWAY
EUGENE, OR 97401
PHONE: (541) 485-7385 FAX: (541) 485-7389
CONTACT: KRISTINA KOENIG

SHEET INDEX

GENERAL	
TITLE	TITLE SHEET
G011	CODE REVIEW - EGRESS PLAN
G021	TOPOGRAPHICAL SURVEY
G022	TOPOGRAPHICAL SURVEY
CIVIL	
C001	EROSION CONTROL PLAN
C002	EROSION CONTROL NOTES
C010	SITE EARTH MOVING PLANS
C321	CIVIL LEGENDS AND DETAILS
C031	SANITARY SEWER PLAN
D002	CIVIL SITE DEMOLITION PLAN
ARCHITECTURAL	
A001	SITE PLAN
A101	OVERALL FIRST FLOOR PLAN - INFORMATION ONLY
A102	OVERALL SECOND FLOOR PLAN - INFORMATION ONLY

SITE DATA SUMMARY (EARTHWORK PACKAGE)

TOTAL SITE AREA: 364,090 SF
EXISTING IMPERVIOUS SURFACE AREA: 49,982 SF
 ROOF: 49,982 SF
 PAVING: 76,792 SF
TOTAL: 126,964 SF
PROPOSED IMPERVIOUS SURFACE AREA: 49,982 SF
 ROOF BUILDING: 49,982 SF
 PAVING: 77,399 SF
TOTAL: 127,381 SF

LAND USE CODE INFORMATION

ADDRESS: 120 WEST HILLIARD AVENUE
 EUGENE, OR 97404
MAP & TAX LOT #: 17 04 24 23 - 004-00
ZONE: PL PUBLIC LAND
SETBACKS: MINIMUM FRONT & INTERIOR YARD: 10'
 MAXIMUM FRONT YARD: NA
LANDSCAPING: MINIMUM LANDSCAPE AREA: NONE

BIKE PARKING CALCULATIONS:
 1 PER 8 STUDENTS
 SCHOOL CAPACITY = 450 STUDENTS
 450/8 = 57 REQUIRED SPACES
 25% LONG TERM, 75% SHORT TERM
 25% OF SHORT TERM SPACES MUST BE COVERED
TOTAL SHORT TERM SPACES REQUIRED = 43, 32 OPEN AND 11 COVERED
TOTAL LONG TERM SPACES REQUIRED = 14
TOTAL SHORT TERM SPACES PROVIDED = 56, 40 OPEN AND 16 COVERED
TOTAL LONG TERM SPACES PROVIDED = 14
TOTAL SPACES PROVIDED = 70

VEHICULAR PARKING SPACE CALCULATIONS
 1 PER 8 STUDENTS
 SCHOOL CAPACITY = 450 STUDENTS
 450/8 = 57 REQUIRED SPACES
 MAXIMUM SPACES = REQUIRED NUMBER X 125% = 72

ORS 447.233 ADA SPACES REQUIRED FOR LOT 51-75 SPACES -
 3 REQUIRED ADA SPACES, 1 REQUIRED VAN ACCESSIBLE SPACE
 5% VANPOOL (EUGENE CODE 9.6420) N/A
TOTAL STANDARD PARKING SPACES PROVIDED: 68 PARKING SPACES

SDC INFORMATION:
 PLUMBING FIXTURES TO BE REMOVED: 0 WC, 0 LAV, 0 KITCHEN SINKS
 PLUMBING FIXTURES TO BE PROVIDED: NONE
 ROOF & PAVING AREA: SEE SITE DATA ABOVE

STORMWATER MANAGEMENT:
 SOLID WASTE STORAGE AREAS:
 COVERED, PAVED, HYDRAULICALLY ISOLATED, WASTEWATER DRAIN
 OUTDOOR STORAGE OF BULK MATERIALS:
 RECYCLING MATERIALS, INCLUDED WITH SOLID WASTE AREA ABOVE

BUILDING CODE INFORMATION (FOR BUILDING PACKAGE)

APPLICABLE CODES:
 2014 OREGON STRUCTURAL SPECIALTY CODE
 2011 OREGON ELECTRICAL SPECIALTY CODE
 2014 OREGON ENERGY EFFICIENCY CODE
 2010 OREGON MECHANICAL SPECIALTY CODE
 2011 OREGON PLUMBING SPECIALTY CODE
 2011 OREGON ELEVATOR SPECIALTY CODE
 2010 OREGON FIRE CODE
 2012 NFPA 1, 10, 13
SEISMIC DESIGN:
 SEISMIC OCCUPANCY CATEGORY (1604.5): III
 SEISMIC DESIGN CATEGORY (1613): D
 SEE STRUCTURAL FOR ADDITIONAL DESIGN CRITERIA

CONSTRUCTION TYPE: III
AUTOMATIC SPRINKLER SYSTEM: PROVIDED, IN ACCORDANCE WITH NFPA 13 AND SECTION 903.1.

BUILDING AREA SUMMARY:
 ENCLOSED CANOPY
 1ST FLOOR: 42,635 SF 2,332 SF
 2ND FLOOR: 19,553 SF
TOTAL: 62,188 SF 2,332 SF

OCCUPANCY: E- EDUCATIONAL

OCCUPANCY SEPARATIONS: N/A

MIXED OCCUPANCIES (508): N/A

ALLOWABLE AREA PER STORY: E OCCUPANCY
 $A_s = A_1 + [A_2 \times F_1] + [A_3 \times F_2]$
 $A_s = 14,500 + [14,500 \times .75] + [14,500 \times 2]$
 $A_s = 54,375 \text{ SF} = 42,635, \text{ OK (PROPOSED 1ST FLOOR AREA} = 42,635)$

FRONTAGE INCREASE:
 $I = \text{H} \times \text{P} / (0.25 \times \text{W} \times 30)$
 $I = [1 \times 1] - .25 \times 30 / 30$
 $I = [1 - .25] \times 30 / 30$
 $I = .75 \times 1 = .75$

BUILDING HEIGHT: ALLOWABLE:
 E: 2 STORY, 55'
 PROPOSED: 51'

DESIGN OCCUPANT LOAD:
 1ST FLOOR: 1,896
 2ND FLOOR: 654

CORRIDORS, 1018: NO RATING IN SPRINKLERED BUILDING.

PLUMBING FIXTURE CALCULATIONS: E OCCUPANCY

1 FIXTURE/50 OCCUPANTS FOR E OCCUPANCIES, OR BY USE (LAVATORIES AND WCs)

ALTHOUGH E OCCUPANCIES, GYMNASIUM AND CAFETERIA HAVE SAME USE OF SPACE AS A-3, WHICH ALLOCATES FIXTURES AT 1-125 FOR MALES AND 1-65 FOR FEMALES AND 1-200 FOR LAVATORIES.

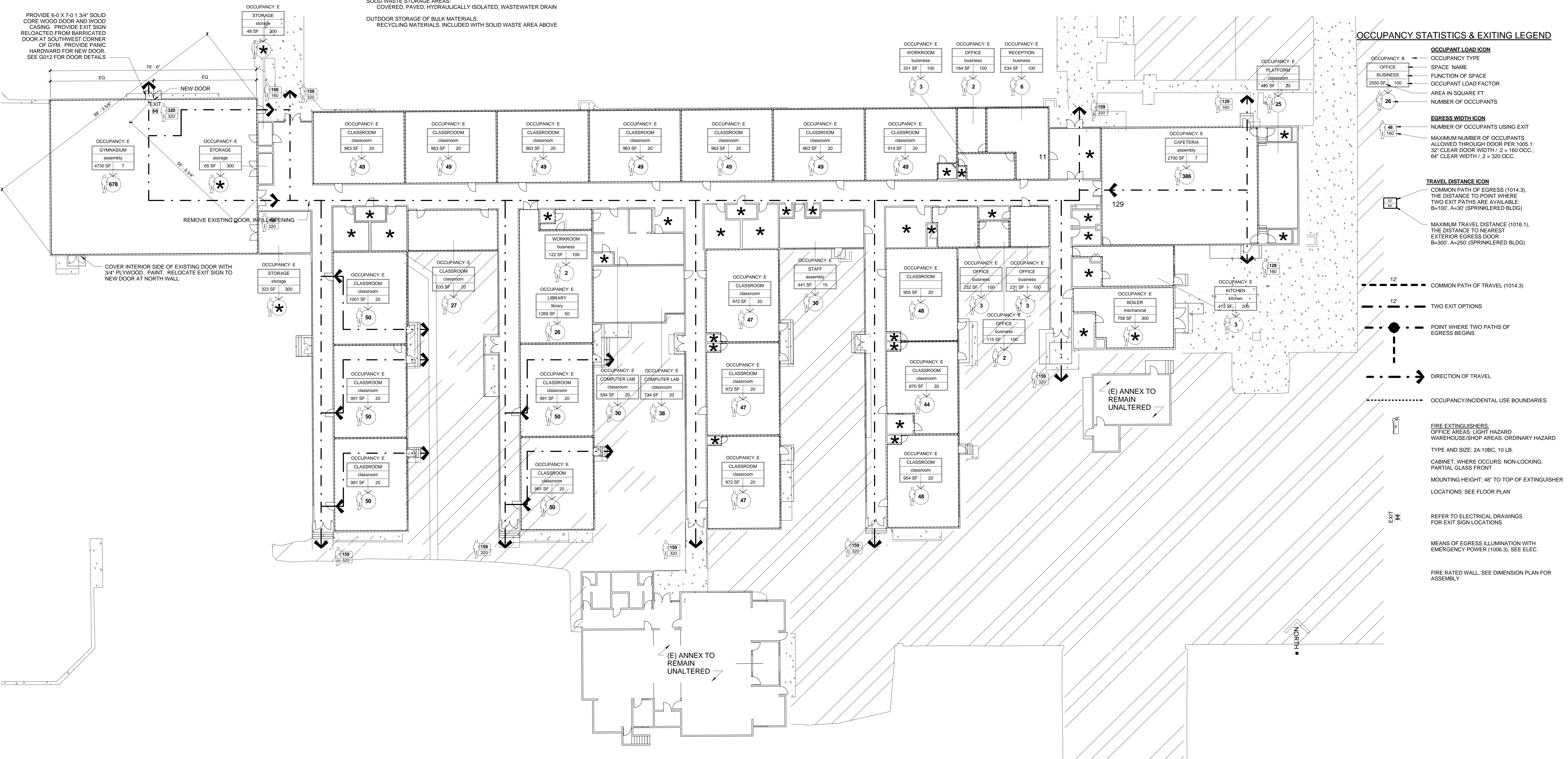
1 URINAL = 2/3 TOILET

SPACE	REQD. WATER CLOSETS		REQD. LAVATORIES	
	OCCUPANTS	MALE/FEMALE	MALE/FEMALE	
FIXTURES ALLOCATED PER A-3 RATIOS (GYMNASIUM & CAFETERIA)	1,224	5/10		4/4
FIXTURES ALLOCATED PER E RATIOS	1,326	14/14		14/14
TOTAL	2,550	19/24		18/18

TOTAL	REQUIRED		PROVIDED	
	MALE/FEMALE		MALE/FEMALE	
	19 WC / 18 LAV	24 WC / 5 LAV	19 WC / 29 LAV	23 WC / 29 LAV

DRINKING FOUNTAINS: AT LEAST ONE ON EACH FLOOR

PERMIT HISTORY



1 EGRESS PLAN - EXISTING BUILDING FIRST FLOOR
 1/16" = 1'-0"

PIVOT ARCHITECTURE
 REGISTERED ARCHITECT
 CURTIS H. WILSON
 EUGENE, OREGON 97403
 STATE OF OREGON

IBI GROUP

lowa

CONSTRUCTION DOCUMENTS
 EUGENE SCHOOL DISTRICT 4J
 120 WEST HILLIARD LANE, EUGENE, OR 97404
 RIVER ROAD/EL CAMINO DEL RIO EARTHWORK PACKAGE

4J

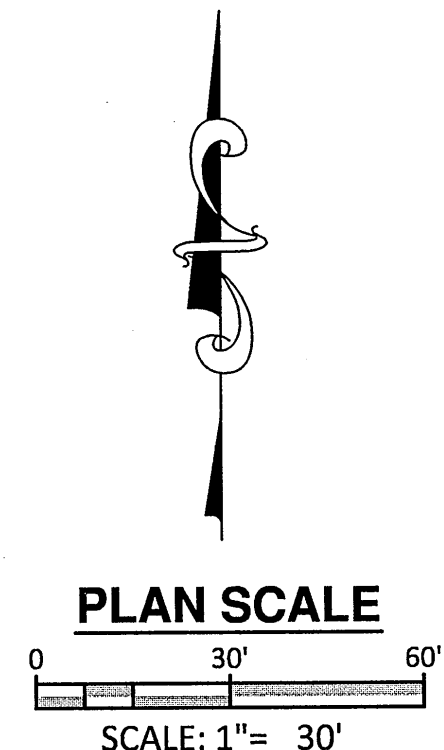
CODE REVIEW - EGRESS PLAN

PROJECT # 133730 REVISIONS
 ISSUE DATE 5/15/15

G011

TOPOGRAPHIC SURVEY FOR 4J SCHOOL DISTRICT

LYING IN
NW 1/4 OF SECTION 24
TOWNSHIP 17S, RANGE 4W, W.M.
CITY OF EUGENE
LANE COUNTY, OREGON
NOVEMBER 2013



BALZHISER & HUBBARD ENGINEERS
MECHANICAL
ELECTRICAL
CIVIL
SURVEYORS
100 WEST 17TH AVENUE
EUGENE, OR 97401
P. 541-686-8478
F. 541-345-3363

REGISTERED PROFESSIONAL LAND SURVEYOR
James S. Montoya
OREGON
JAMES S. MONTOYA
78508
EXPIRES DECEMBER 31, 2014



PROJECT TITLE
**EUGENE SCHOOL DISTRICT 4J
RIVER ROAD/EL CAMINO DEL RIO ELEMENTARY SCHOOL
120 W HILLIARD LANE, EUGENE, OR 97404**

SHEET TITLE
TOPOGRAPHY SURVEY

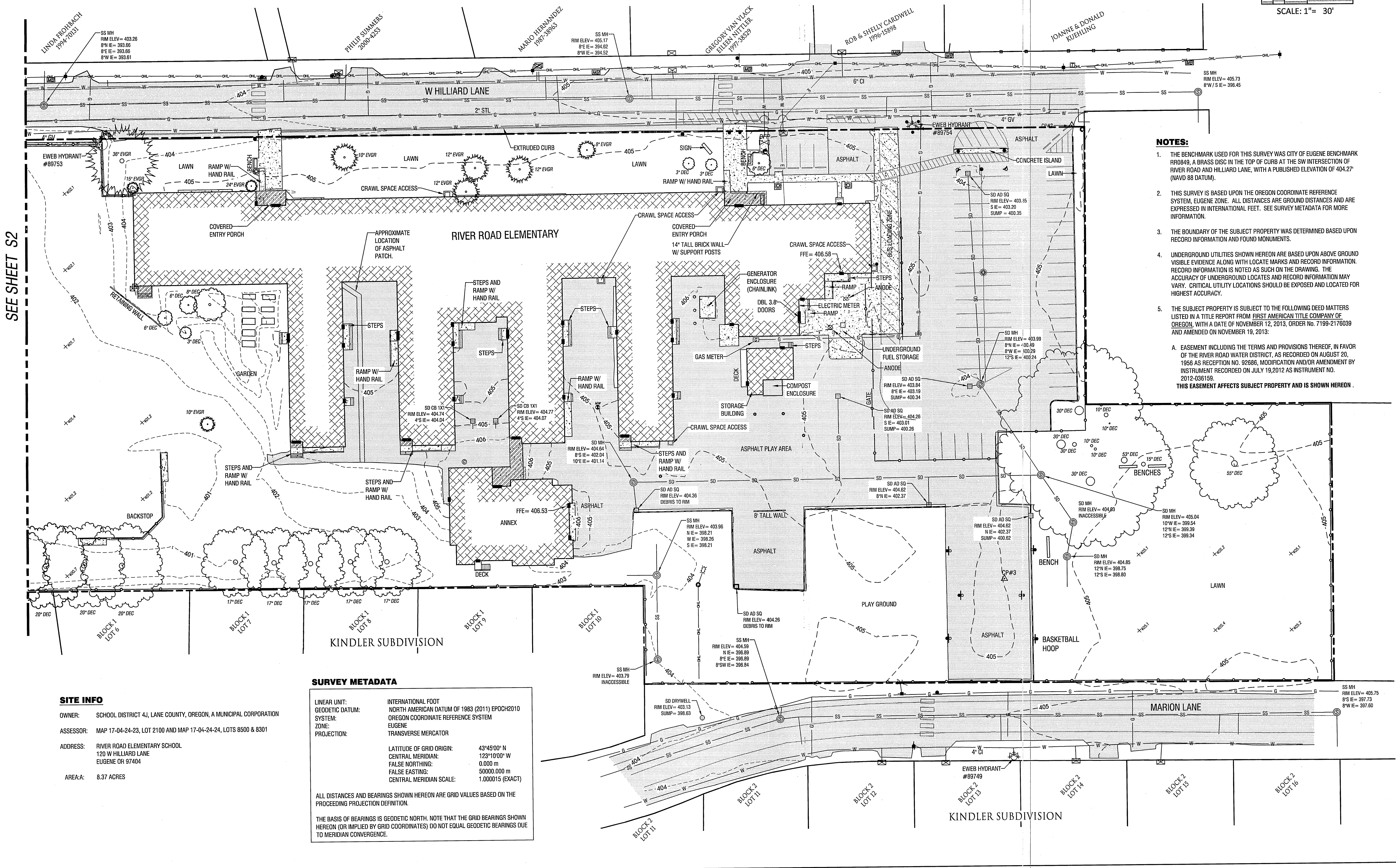
DATE ISSUED: 11/19/2013
LAST REVISION: 11/19/2013

DRAFTING: SBB
FIELD: APD / HDM

PROJECT: 3900-003-13

FILENAME: 3900-003-13 TOPO.dwg

SHEET No.
S1
SHEET 1 OF 2



- NOTES:**
1. THE BENCHMARK USED FOR THIS SURVEY WAS CITY OF EUGENE BENCHMARK RR084, A BRASS DISC IN THE TOP OF CURB AT THE ON INTERSECTION OF RIVER ROAD AND HILLIARD LANE, WITH A PUBLISHED ELEVATION OF 404.27 (NAVD 88 DATUM).
 2. THIS SURVEY IS BASED UPON THE OREGON COORDINATE REFERENCE SYSTEM, EUGENE ZONE. ALL DISTANCES ARE GROUND DISTANCES AND ARE EXPRESSED IN INTERNATIONAL FEET. SEE SURVEY METADATA FOR MORE INFORMATION.
 3. THE BOUNDARY OF THE SUBJECT PROPERTY WAS DETERMINED BASED UPON RECORD INFORMATION AND FOUND MONUMENTS.
 4. UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON ABOVE GROUND VISIBLE EVIDENCE ALONG WITH LOCATE MARKS AND RECORD INFORMATION. RECORD INFORMATION IS NOTED AS SUCH ON THE DRAWING. THE ACCURACY OF UNDERGROUND LOCATIONS AND RECORD INFORMATION MAY VARY. CRITICAL UTILITY LOCATIONS SHOULD BE EXPOSED AND LOCATED FOR HIGHEST ACCURACY.
 5. THE SUBJECT PROPERTY IS SUBJECT TO THE FOLLOWING DEED MATTERS LISTED IN A TITLE REPORT FROM FIRST AMERICAN TITLE COMPANY OF OREGON, WITH A DATE OF NOVEMBER 12, 2013, ORDER NO. 7199-2176039 AND AMENDED ON NOVEMBER 19, 2013:
A. EASEMENT INCLUDING THE TERMS AND PROVISIONS THEREOF, IN FAVOR OF THE RIVER ROAD WATER DISTRICT, AS RECORDED ON AUGUST 20, 1956 AS RECEPTION NO. 92886, MODIFICATION AND/OR AMENDMENT BY INSTRUMENT RECORDED ON JULY 19, 2012 AS INSTRUMENT NO. 2012-036159.
THIS EASEMENT AFFECTS SUBJECT PROPERTY AND IS SHOWN HEREON.

SURVEY METADATA

LINEAR UNIT: INTERNATIONAL FOOT
GEOIDETIC DATUM: NORTH AMERICAN DATUM OF 1983 (2011) EPOCH2010
SYSTEM: OREGON COORDINATE REFERENCE SYSTEM
ZONE: EUGENE
PROJECTION: TRANSVERSE MERCATOR

LATITUDE OF GRID ORIGIN: 43°45'00" N
CENTRAL MERIDIAN: 123°10'00" W
FALSE NORTHING: 0.000 m
FALSE EASTING: 500000.000 m
CENTRAL MERIDIAN SCALE: 1.000015 (EXACT)

ALL DISTANCES AND BEARINGS SHOWN HEREON ARE GRID VALUES BASED ON THE PRECEDING PROJECTION DEFINITION.
THE BASIS OF BEARINGS IS GEOIDETIC NORTH. NOTE THAT THE GRID BEARINGS SHOWN HEREON (OR IMPLIED BY GRID COORDINATES) DO NOT EQUAL GEOIDETIC BEARINGS DUE TO MERIDIAN CONVERGENCE.

SITE INFO

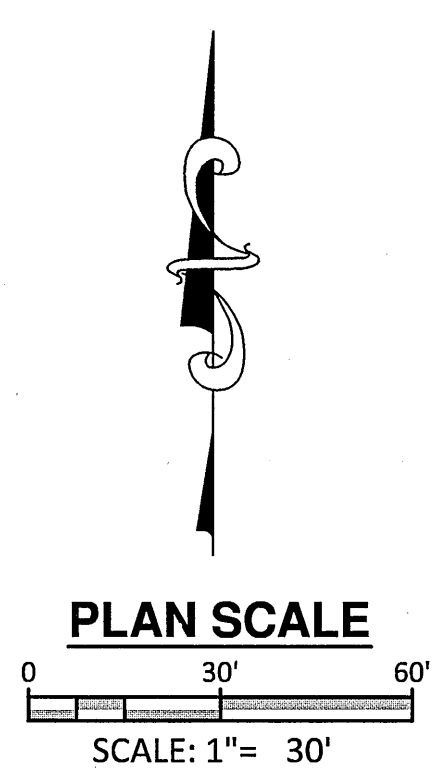
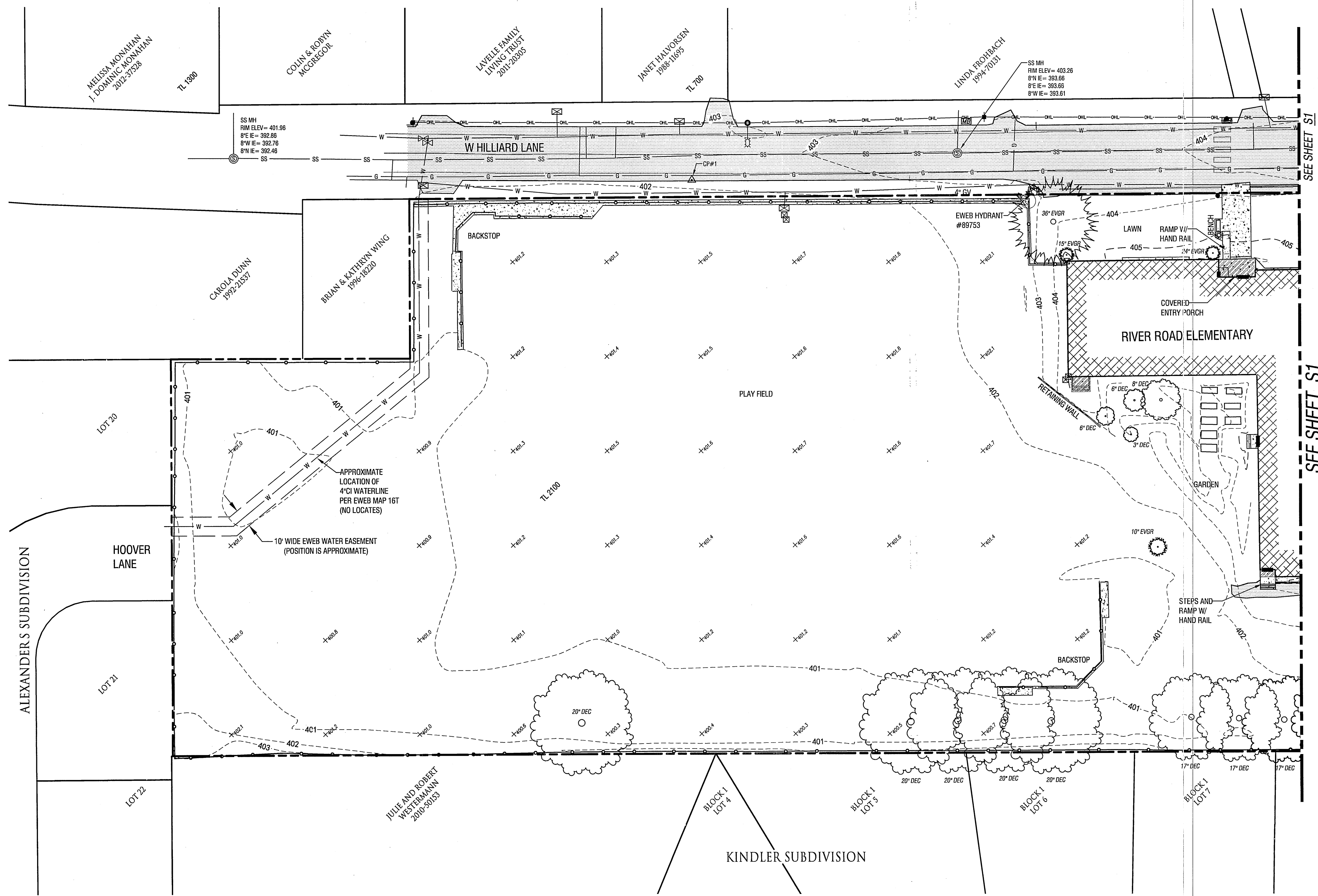
OWNER: SCHOOL DISTRICT 4J, LANE COUNTY, OREGON, A MUNICIPAL CORPORATION
ASSESSOR: MAP 17-04-24-23, LOT 2100 AND MAP 17-04-24-24, LOTS 8500 & 8301
ADDRESS: RIVER ROAD ELEMENTARY SCHOOL
120 W HILLIARD LANE
EUGENE OR 97404
AREA: 8.37 ACRES

SEE SHEET S2

J:\3900-003-13\SURVEY\drawings\3900-003-13 TOPO.dwg - 11/20/2013 4:16 PM

d:\3900-003-13\SURVEY\Drawings\3900-003-13 TOPO.dwg - 11/20/2013 4:18 PM

TOPOGRAPHIC SURVEY
FOR
4J SCHOOL DISTRICT
 LYING IN
 NW 1/4 OF SECTION 24
 TOWNSHIP 17S, RANGE 4W, W.M.
 CITY OF EUGENE
 LANE COUNTY, OREGON
 NOVEMBER 2013



SURVEY CONTROL TABLE

CP#	NORTHING	EASTING	ELEVATION	DESCRIPTION
1	119903.91	174925.29	402.44	SET NAIL W WASHER
2	119901.70	175742.64	404.90	SET NAIL W WASHER
3	119904.79	175695.21	405.13	SET NAIL W WASHER
5	119898.82	175498.28	405.00	SET NAIL W WASHER
6	119876.72	175424.75	404.49	SET NAIL W WASHER
7	119900.73	175391.10	405.31	SET NAIL W WASHER
8	119895.46	175284.50	404.58	SET NAIL W WASHER

SYMBOL LEGEND

	PROPERTY LINE
	EASEMENT LINE
	5' CONTOUR INTERVAL
	1' CONTOUR INTERVAL
	HATCH DENOTES BUILDING
	HATCH DENOTES BUILDING OVERHEAD
	HATCH DENOTES ASPHALT PAVEMENT
	HATCH DENOTES CONCRETE
	PAVEMENT PAINT STRIPE OR MARKING
	CHAIN LINK FENCE
	UNDERGROUND ELECTRIC LINE
	UNDERGROUND GAS LINE
	UNDERGROUND STORM DRAIN LINE
	UNDERGROUND SANITARY SEWER LINE
	UNDERGROUND WATER LINE
	OVERHEAD COMBINED UTILITY LINE
	3.0' DOOR UNLESS OTHERWISE NOTED
	WATER VALVE
	WATER METER
	IRRIGATION VALVE
	BACK FLOW PREVENTER
	FIRE HYDRANT
	ANODE
	AREA DRAIN (ROUND)
	AREA DRAIN (SQUARE)
	GUTTER INLET OR CATCH BASIN
	STORM DRAIN MANHOLE
	UTILITY POLE
	GUY ANCHOR
	LIGHT POLE
	LIGHT POLE WITH ARM
	ELECTRIC METER
	ELECTRIC TRANSFORMER
	ELECTRIC VAULT
	CLEANOUT
	SANITARY SEWER MANHOLE
	GAS METER
	SIGN
	BOLLARD
	FLAG POLE
	POLE
	MAIL BOX
	BASKETBALL HOOP
	ADA PARKING
	CONIFEROUS TREE
	BROADLEAF TREE
	SQUARE AREA DRAIN
	ELECTRIC
	FINISHED FLOOR ELEVATION
	FOUND
	STORM DRAIN
	SANITARY SEWER
	WATER

BALZHISER & HUBBARD ENGINEERS
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 P. 541-686-8478
 F. 541-345-5353

REGISTERED PROFESSIONAL LAND SURVEYOR

 OREGON
 JANUARY 9, 2007
 JAMEY S. MONTOYA
 78505
 EXPIRES DECEMBER 31, 2014

PROJECT TITLE
EUGENE SCHOOL DISTRICT 4J
RIVER ROAD/EL CAMINO DEL RIO ELEMENTARY SCHOOL
 120 W HILLIARD LANE, EUGENE, OR 97404

SHEET TITLE
TOPOGRAPHY SURVEY

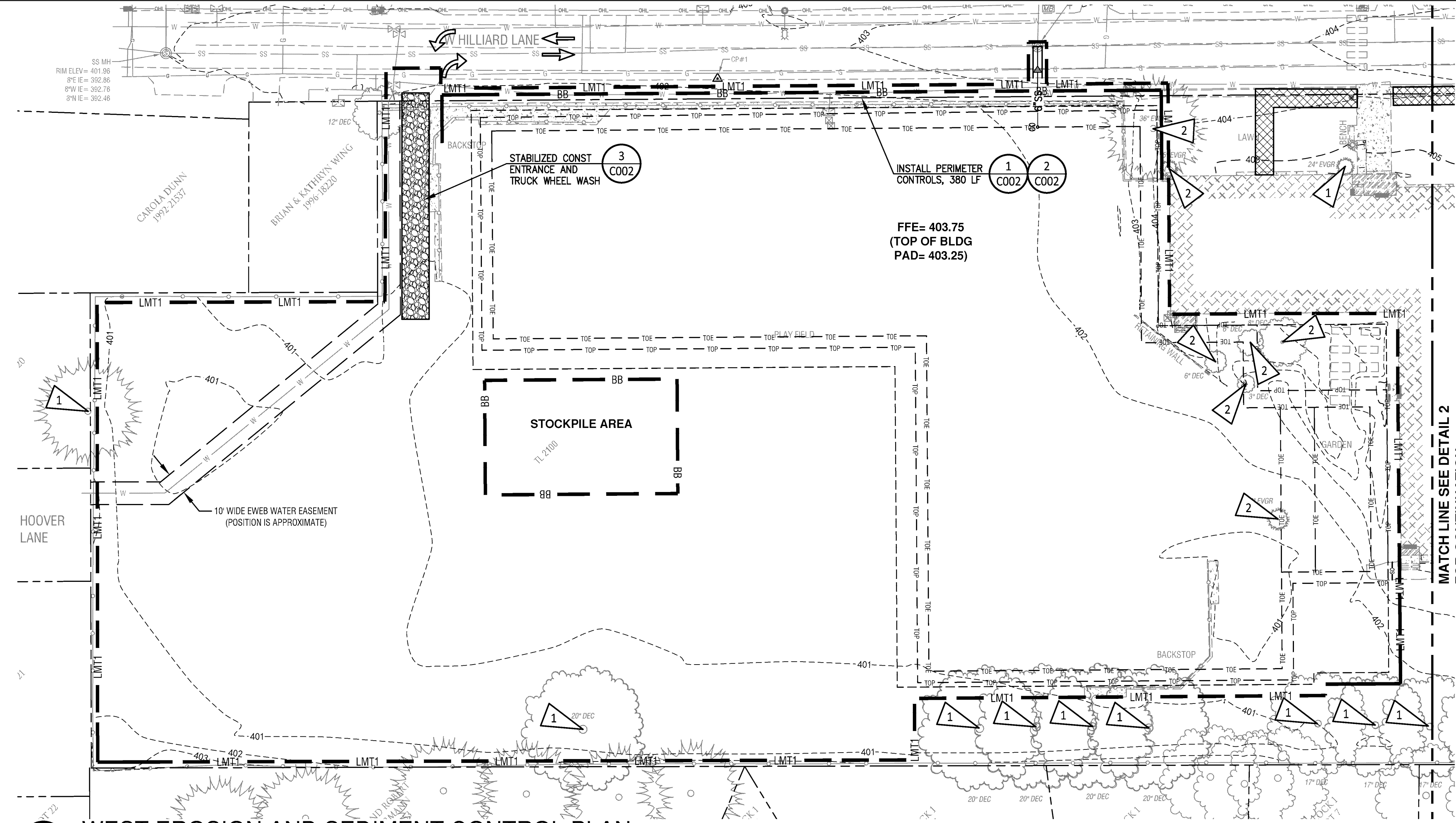
DATE ISSUED: 11/19/2013
 LAST REVISION: 11/19/2013

DRAFTING SBB FIELD APD / HDM

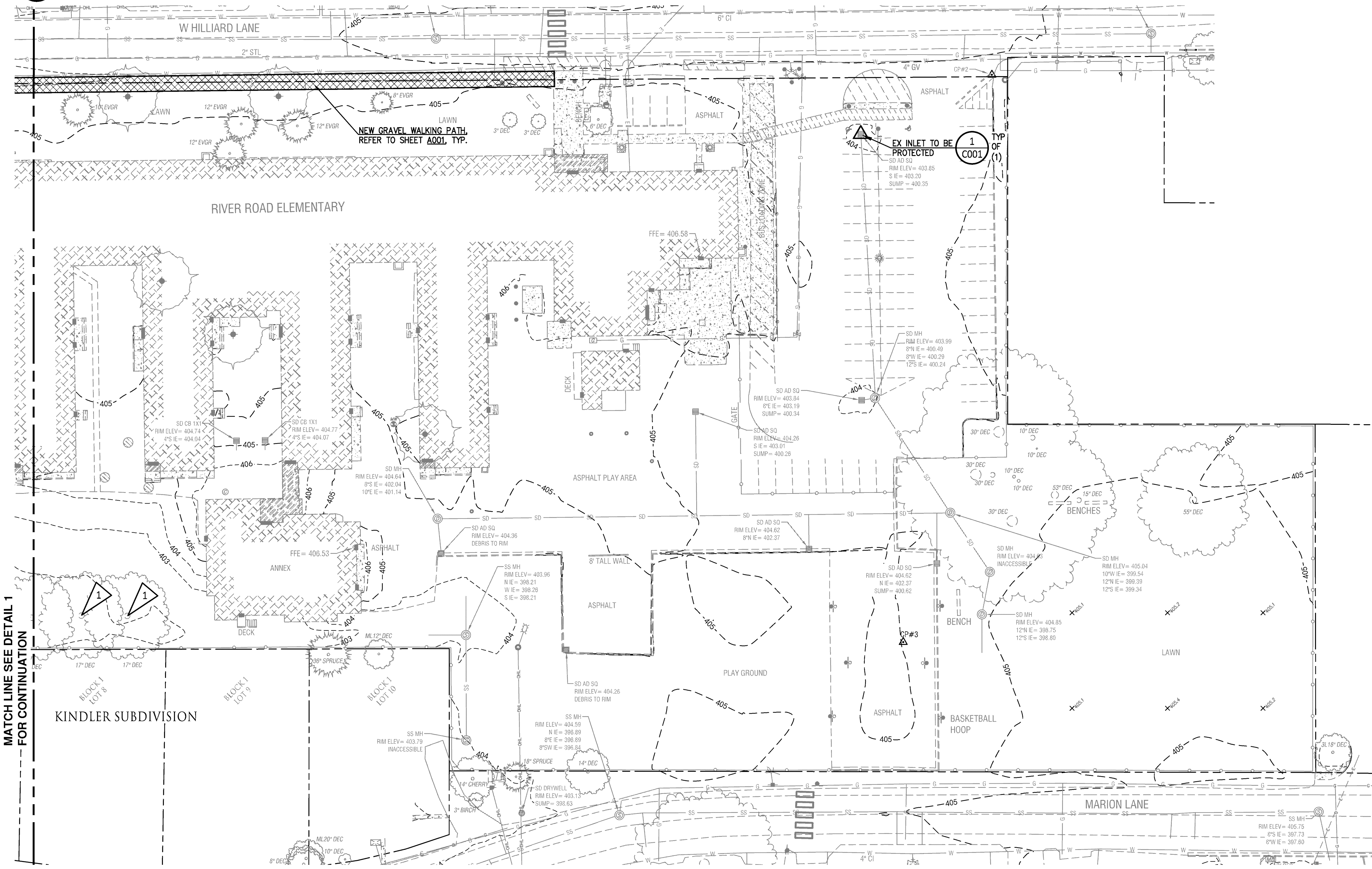
PROJECT 3900-003-13

FILENAME 3900-003-13 TOPO.dwg

SHEET No.
S2
 SHEET 2 OF 2



1 WEST EROSION AND SEDIMENT CONTROL PLAN
Scale: 1" = 30'



2 EAST EROSION AND SEDIMENT CONTROL PLAN
Scale: 1" = 30'

PLAN SCALE
0 30' 60'
SCALE: 1" = 30'

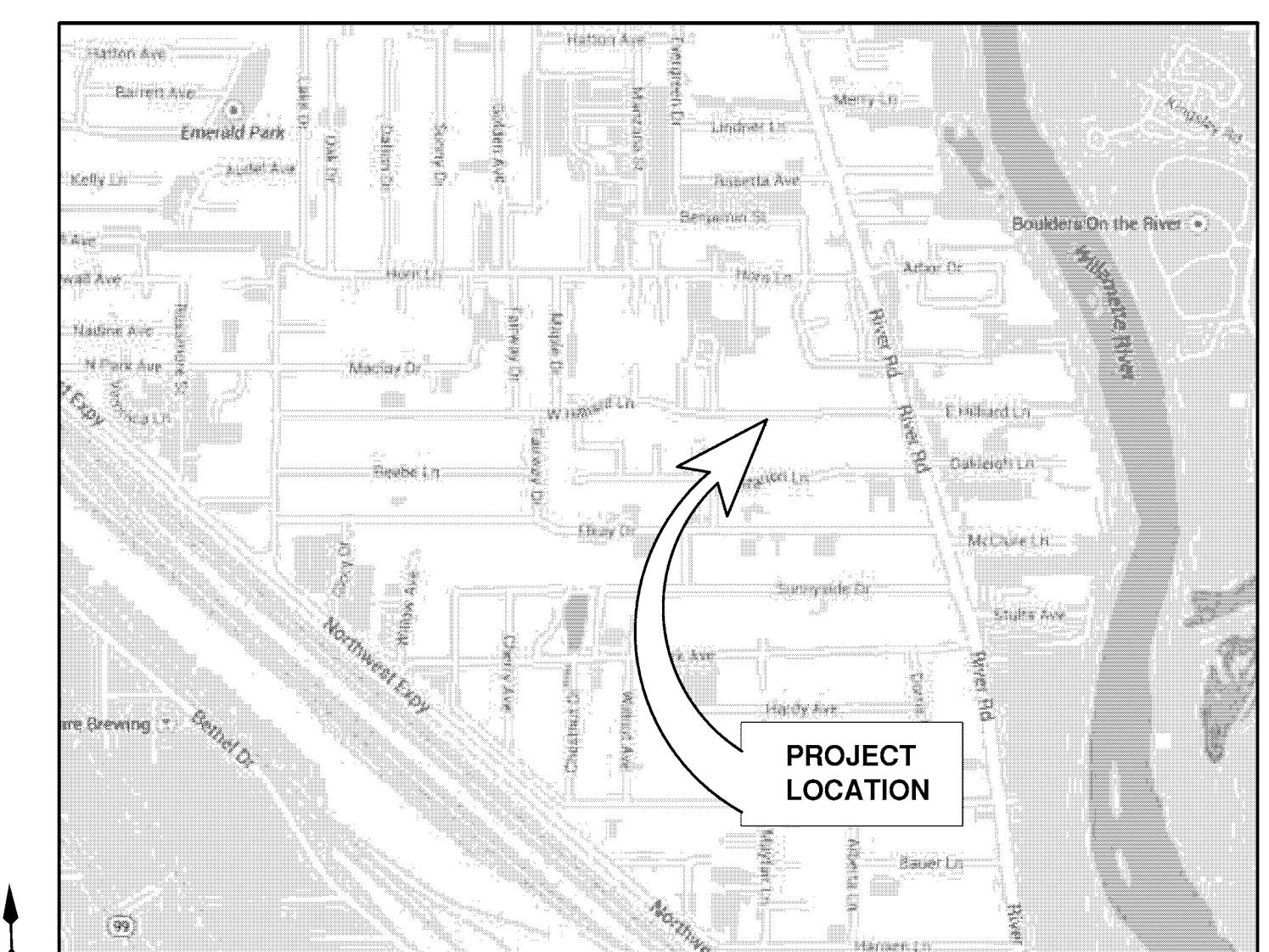
SHEET NOTES

1. REFER TO SHEET C321 FOR LEGENDS AND GENERAL NOTES.
2. REFER TO SHEETS C001 AND C002 FOR EROSION AND SEDIMENT CONTROL NOTES AND DETAILS.
3. FOR THE BUILDING EXCAVATION, NATIVE SOILS MAY BE SIDE CAST AND MOISTURE CONDITIONED DIRECTLY ADJACENT TO THE EXCAVATION TRENCH PROVIDED THE MOISTURE CONDITIONING IS COMPLETE AND THE SOILS ARE PLACED BACK IN THE EXCAVATION WITHIN 2 DAYS. EROSION CONTROL STOCKPILE REQUIREMENTS APPLY TO NATIVE SOILS EXCAVATED AND MOISTURE CONDITIONED IN THIS MANNER.
4. REMOVE EXCESS STOCKPILED SOIL FORM SITE.
5. UPON PROJECT COMPLETION LEAVE EROSION CONTROL MEASURES IN PLACE.

CONSTRUCTION NOTES

1. EXISTING TREE TO REMAIN, PROTECT EXISTING TREE DURING CONSTRUCTION WITH PROTECTIVE FENCING.
2. EXISTING TREE TO BE REMOVED.

EROSION SEDIMENTATION CONTROL LEGEND	
	EXISTING CONTOUR ELEVATION - MAJOR
	EXISTING CONTOUR ELEVATION - MINOR
	APPROXIMATE LIMITS OF PHASE I CONSTRUCTION
	CONTINUOUS BIO BERM/SEDIMENT FENCING
	EXISTING DRAINAGE FLOW PATTERN
	EXISTING INLET TO BE PROTECTED
	CONSTRUCTION TRAFFIC ACCESS ROUTING
	EROSION SEDIMENTATION CONTROL
	STABILIZED CONSTRUCTION ENTRANCE

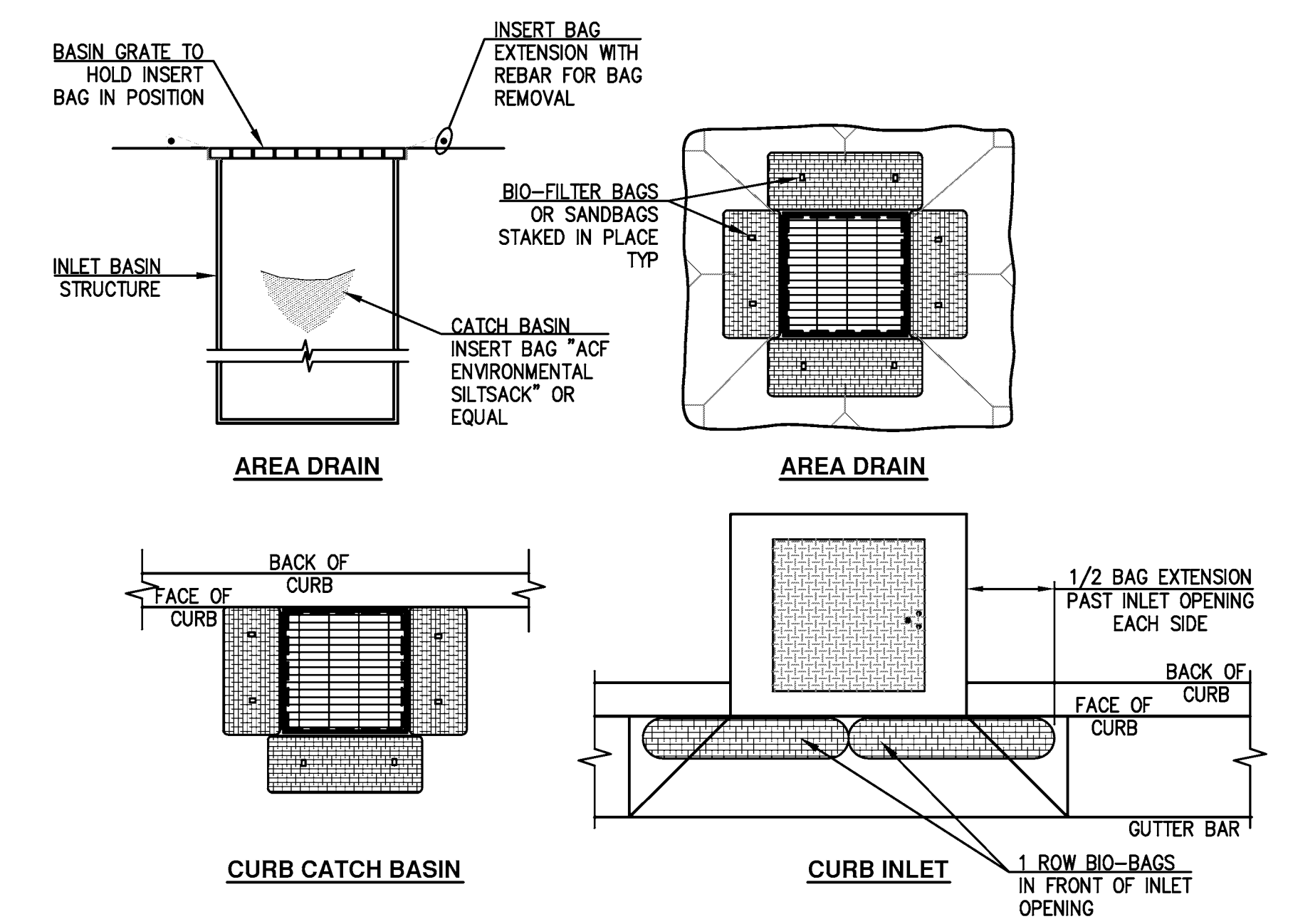


VICINITY MAP
NO SCALE

PROJECT LOCATION
LANE COUNTY, OREGON
LATITUDE= 44.0787°
LONGITUDE= -123.1243°

PROPERTY/SITE DESCRIPTION

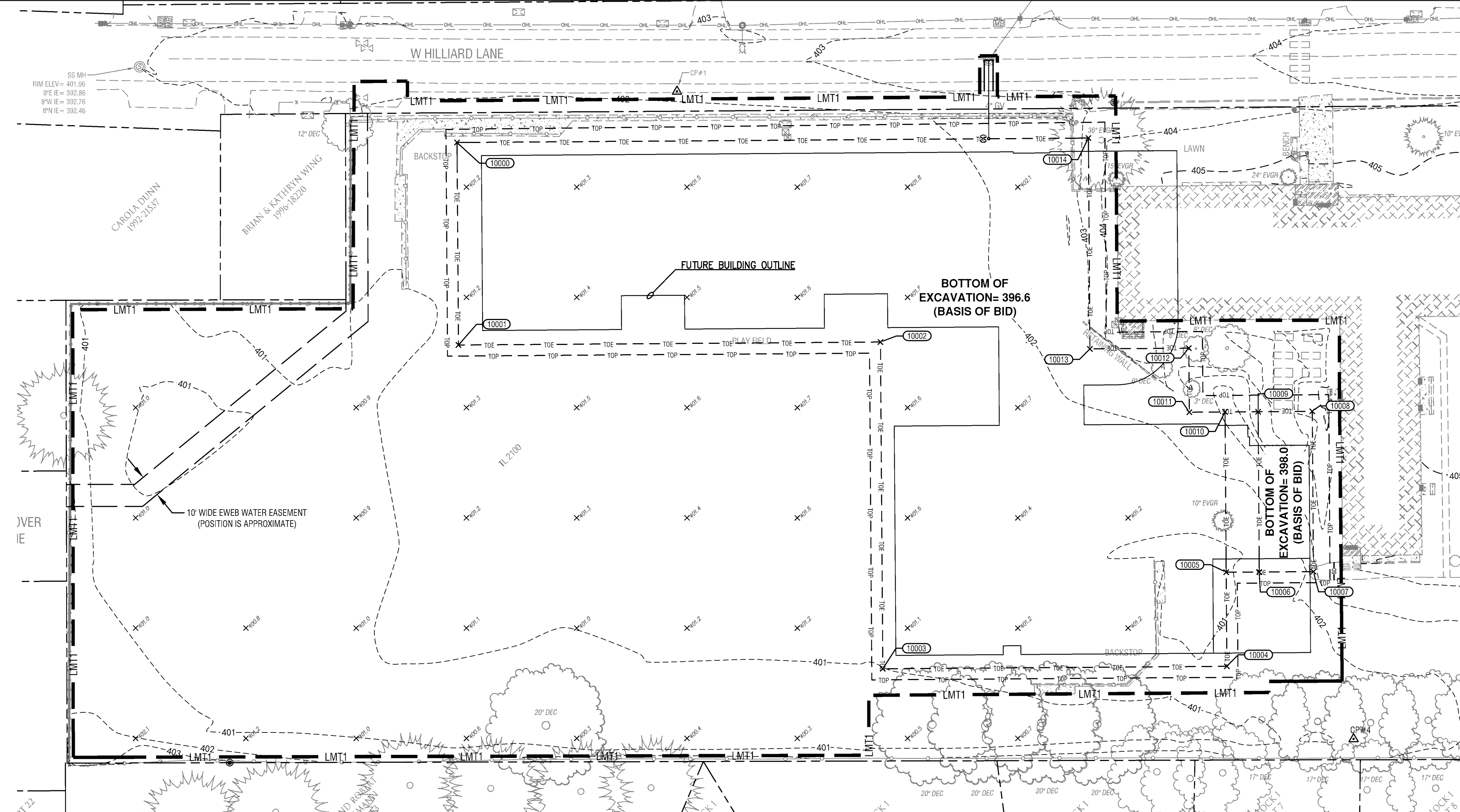
TAX LOT 100 (LANE COUNTY TAX MAP 17-04-24-23) LOCATED IN THE SW 1/4 OF SECTION 14, TOWNSHIP 17 SOUTH, RANGE 4 WEST, WILLAMETTE MERIDIAN LANE COUNTY, OREGON
TOTAL SITE AREA = 5.95 ACRES
TOTAL DISTURBED AREA = 1.56 ACRES



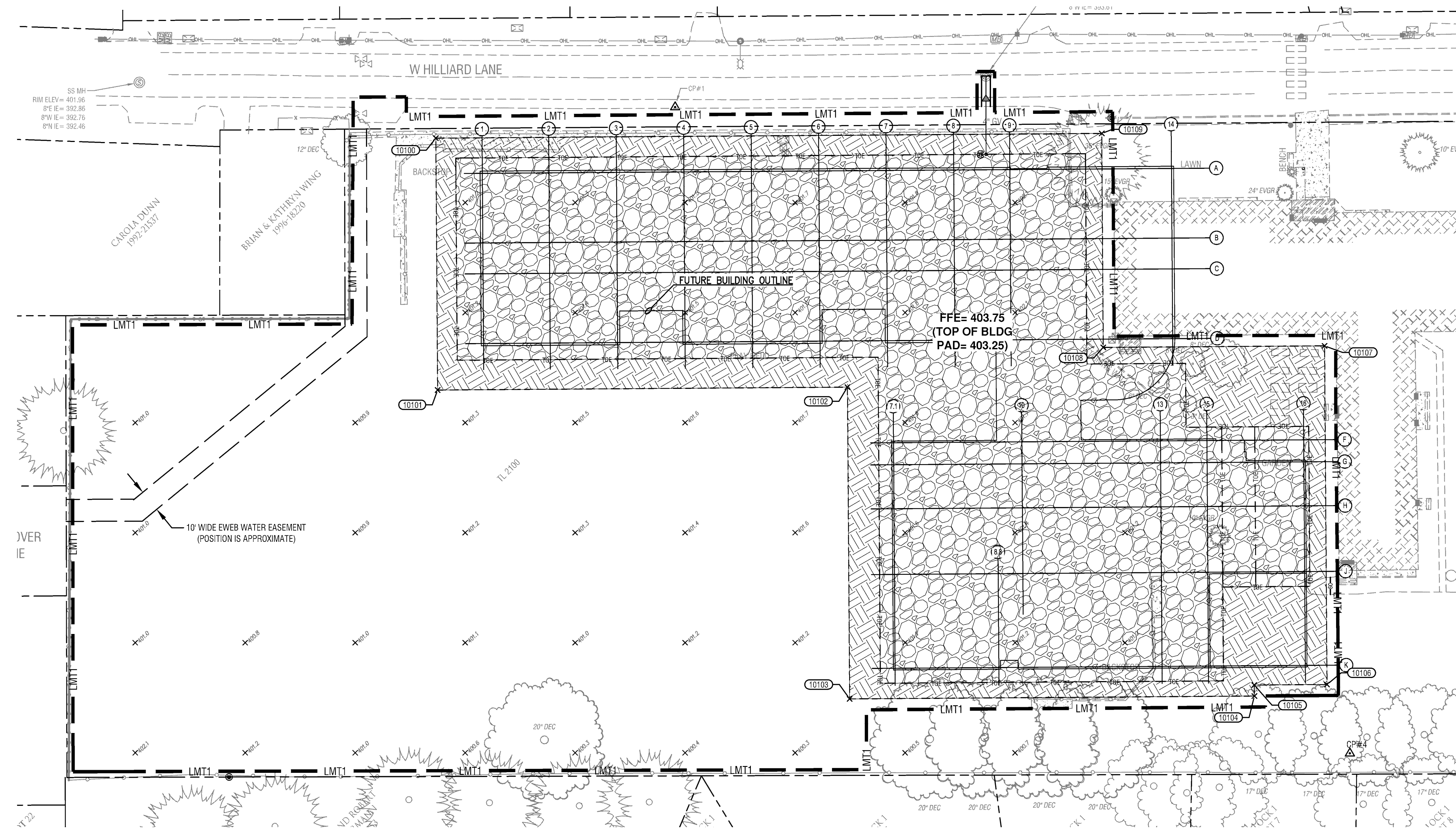
- NOTES**
1. PRIOR TO 1st PAVEMENT LIFT, REMOVE BIO-BAG/SANDBAG BARRIERS AND INSTALL BASIN INSERT BAG OR CURB INLET SEDIMENT DAM AT ALL INLET STRUCTURES.

1 DRAINAGE INLET STRUCTURE PROTECTION
NO SCALE

PROJECT #	1337.00	REVISIONS	
DRAWN	SK/MS	CHECKED	MSA
DATE	04/11/16		



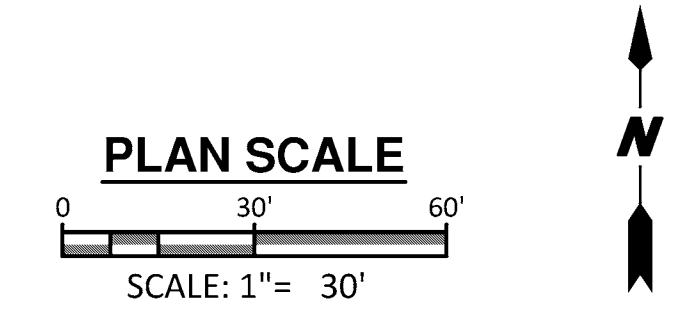
1 BUILDING EXCAVATION PLAN
Scale: 1" = 30'



2 BUILDING PAD PLAN
Scale: 1" = 30'

HORIZONTAL LAYOUT TABLE

POINT	NORTHING	EASTING	DESCRIPTION
10000	119890.73	174825.59	BTM EXC
10001	119786.90	174826.24	BTM EXC
10002	119790.26	175017.57	BTM EXC
10003	119642.10	175018.62	BTM EXC
10004	119645.20	175174.61	BTM EXC
10005	119665.87	175174.31	BTM EXC
10006	119685.97	175169.31	BTM EXC
10007	119686.15	175213.87	BTM EXC
10008	119758.84	175213.35	BTM EXC
10009	119758.66	175188.80	BTM EXC
10010	119758.56	175173.80	BTM EXC
10011	119758.44	175157.60	BTM EXC
10012	119787.48	175157.39	BTM EXC
10013	119787.16	175112.52	BTM EXC
10014	119882.76	175111.84	BTM EXC



- SHEET NOTES**
- REFER TO SHEET Q32L FOR LEGENDS AND GENERAL NOTES.
 - WIDTHS AND DEPTHS OF EXCAVATION WERE DETERMINED WITH INFORMATION PROVIDED BY THE GEOTECHNICAL ENGINEER (FOUNDATION ENGINEERING, INC.). REFER TO THE ORIGINAL REPORT DATED APRIL 2, 2015.
 - THE TOP OF OF BUILDING EXCAVATION SLOPE LOCATION SHOWN IS APPROXIMATE AND IS BASED ON THE GEOTECHNICAL ENGINEER'S RECOMMENDED 1:1 OUT SLOPES AND 5.0 FOOT SETBACK FROM EXISTING BUILDINGS AND FOUNDATIONS TO TOP OF CUT SLOPES. 5.0 FOOT SETBACK SHALL BE INCREASED TO 10 FEET IF THE EXCAVATION IS EXPOSED FOR MORE THAN ONE WEEK.
 - THE BOTTOM OF EXCAVATION IS SPECIFIED AS ELEVATION 396.6 FOR BIDDING PURPOSES. THE CONTRACTOR SHALL EXCAVATE TO THE DEPTHS REQUIRED BY THE GEOTECHNICAL ENGINEER AND PER THE EARTH MOVING SPECIFICATION. EXCAVATION AND EARTHWORK BELOW ELEVATION 396.6 WILL BE PAID AS AN ADDITION TO THE CONTRACT.
 - BUILDING PAD MATERIAL SHALL BE PLACED AS SHOWN BEYOND THE LIMITS OF THE BUILDING EXCAVATION TO PROVIDE A WORKING PAD.
 - FOR THE BUILDING EXCAVATION, NATIVE SOILS MAY BE SIDE CAST AND MOISTURE CONDITIONED DIRECTLY ADJACENT TO THE EXCAVATION TRENCH PROVIDED THE MOISTURE CONDITIONING IS COMPLETE AND THE SOILS ARE PLACED BACK IN THE EXCAVATION WITHIN 2 DAYS. EROSION CONTROL STOCKPILE REQUIREMENTS APPLY TO NATIVE SOILS EXCAVATED AND MOISTURE CONDITIONED IN THIS MANNER.
 - COORDINATE WITH GEOTECHNICAL ENGINEER ON EXCAVATION APPROACH AND SEQUENCING REQUIREMENTS FOR THE EXCAVATION ADJACENT TO THE EXISTING BUILDING BETWEEN POINTS 10007 AND 10008 SHOWN IN DETAIL 1, BUILDING EXCAVATION PLAN.
 - REMOVE EXCESS STOCKPILED SOIL FROM SITE.
 - *GRANULAR SITE FILL PER BID ALLOWANCE No. 2" IS TO PROVIDE MAKEUP FOR THE DIFFERENCE BETWEEN NATU AND COMPACTED DENSITIES OF THE NATIVE MATERIAL BENEATH THE BUILDING PAD.

PAVEMENT LEGEND

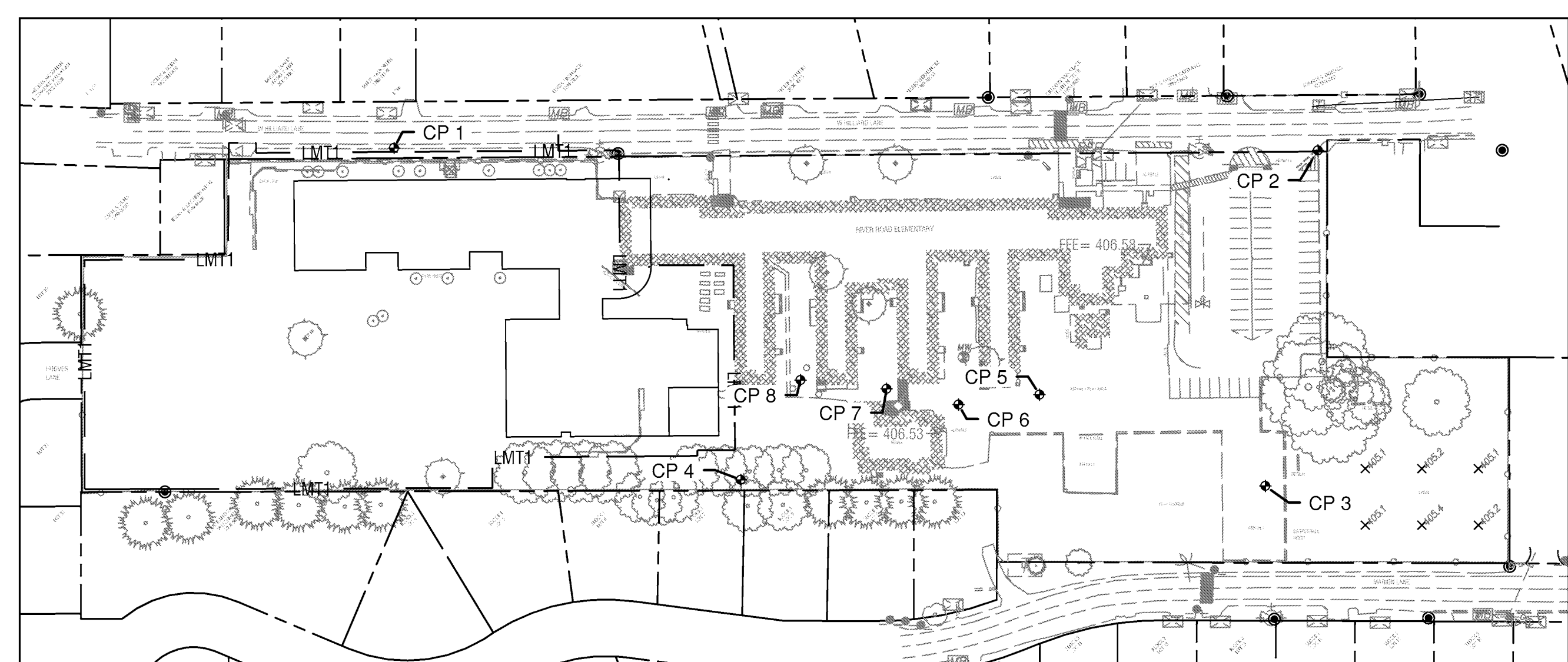
SYMBOL	DESCRIPTION
	BUILDING PAD AND WORKING PAD 12" (MIN) SELECT FILL OVER, 12" (MIN) SELECT FILL OR GRANULAR SITE FILL OVER, 6" (MIN) GRANULAR SITE FILL PER BID ALLOWANCE No. 2 OVER, GEOTEXTILE FABRIC OVER, APPROVED SUBGRADE
	WORKING PAD 12" (MIN) SELECT FILL OVER, 12" (MIN) SELECT FILL OR GRANULAR SITE FILL OVER, GEOTEXTILE FABRIC OVER, APPROVED SUBGRADE
	PAVEMENT REMOVAL SAWCUT LINE

HORIZONTAL LAYOUT TABLE

POINT	NORTHING	EASTING	DESCRIPTION
10100	119888.80	174816.53	TPAD
10101	119775.34	174817.34	TPAD
10102	119776.66	175003.67	TPAD
10103	119635.00	175004.67	TPAD
10104	119638.30	175188.66	TPAD
10105	119641.30	175188.03	TPAD
10106	119641.53	175221.69	TPAD
10107	119795.42	175220.60	TPAD
10108	119784.71	175119.97	TPAD
10109	119881.94	175119.28	TPAD

SURVEY CONTROL TABLE

CP#	NORTHING	EASTING	ELEVATION	DESCRIPTION
1	119903.91	174925.29	402.44	SET NAIL W/ WASHER
2	119901.70	175742.84	404.90	SET NAIL W/ WASHER
3	119904.79	175098.21	405.13	SET NAIL W/ WASHER
4	119910.67	175232.09	401.13	SET NAIL W/ WASHER
5	119905.62	175496.26	405.00	SET NAIL W/ WASHER
6	119916.72	175424.75	404.49	SET NAIL W/ WASHER
7	119900.73	175381.10	405.31	SET NAIL W/ WASHER
8	119908.46	175284.80	404.58	SET NAIL W/ WASHER



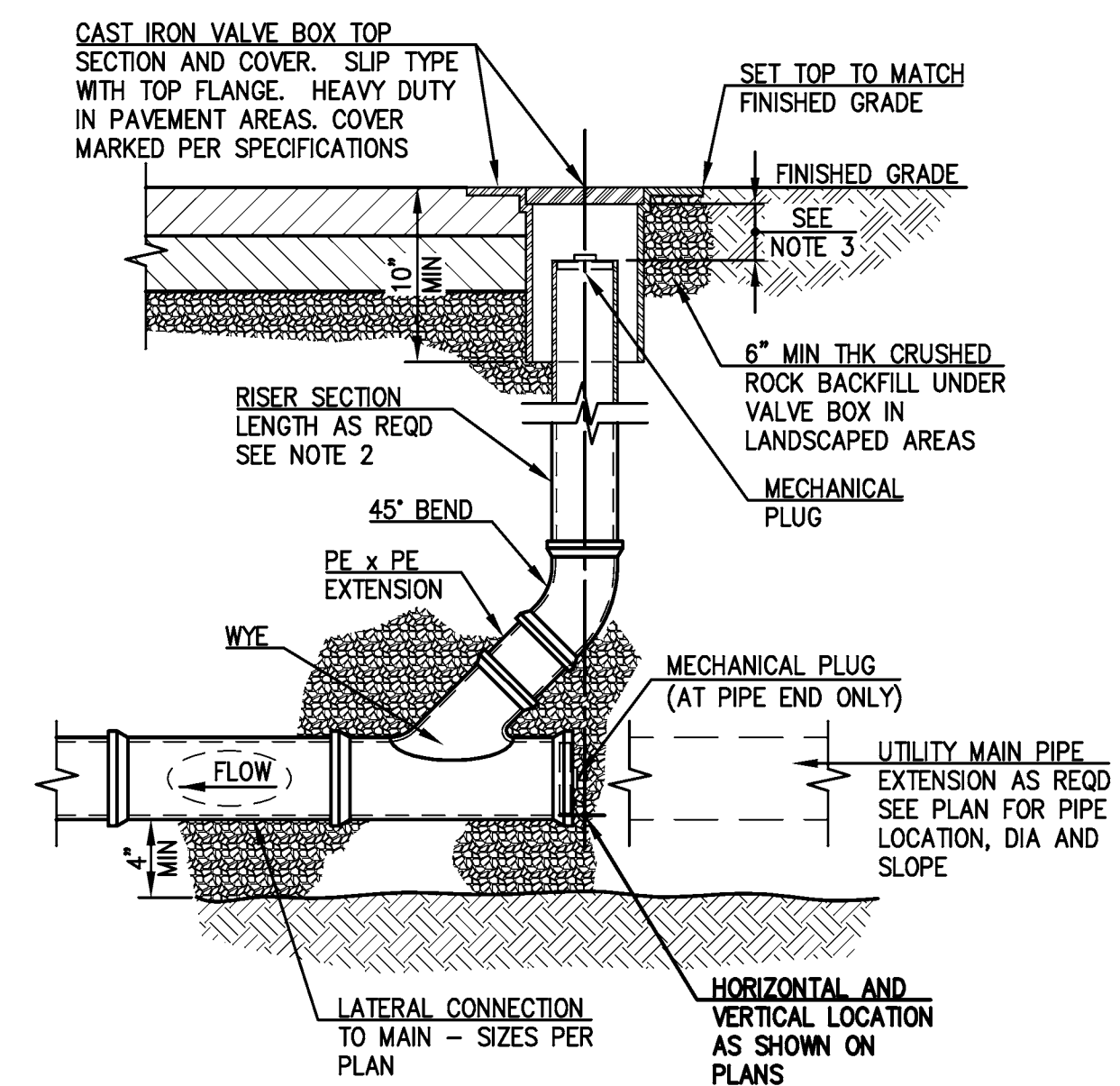
3 CONTROL POINT MAP AND TABLE
Scale: 1" = 100'

GENERAL NOTES:

- EXISTING TOPOGRAPHIC INFORMATION: FROM SURVEY PREPARED BY BALZHISER & HUBBARD ENGINEERS TITLED "TOPOGRAPHIC SURVEY FOR 4J SCHOOL DISTRICT LYING IN NW 1/4 OF SEC. 24, TOWNSHIP 17S, RANGE 4W, W.M., CITY OF EUGENE, LANE COUNTY, OREGON", LAST REVISED APRIL 17, 2015.
- BASE OF BEARING: BASED ON THE OREGON COORDINATE REFERENCE SYSTEM, EUGENE ZONE. ALL DISTANCES ARE GROUND DISTANCES AND ARE EXPRESSED IN INTERNATIONAL FEET. SEE SURVEY METADATA FOR MORE INFORMATION.
- BASE OF ELEVATION: THE BENCHMARK USED FOR THIS SURVEY WAS CITY OF EUGENE BENCHMARK RR0849, A BRASS DISC IN THE TOP OF CURB AT THE SW INTERSECTION OF RIVER ROAD AND HILLIARD LANE, WITH A PUBLISHED ELEVATION OF 404.27' (NAVD 88 DATUM).
- THE CONTRACTOR SHALL LOCATE AND MARK ALL EXISTING PROPERTY AND STREET MONUMENTS PRIOR TO CONSTRUCTION. ANY MONUMENTS DISTURBED DURING CONSTRUCTION OF THE PROJECT SHALL BE REPLACED BY A REGISTERED LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE. THE MONUMENTS SHALL BE REPLACED WITHIN A MAXIMUM OF 90 DAYS, AND THE COUNTY SURVEYOR SHALL BE NOTIFIED IN WRITING AS REQUIRED BY ORS 209.150.
- LOCATIONS OF EXISTING UTILITIES ARE ASSUMED FROM INFORMATION AVAILABLE AND ARE NOT GUARANTEED TO BE COMPLETE AND ACCURATE. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, POTHOLE AND VERIFY LOCATION AND ELEVATION OF EXISTING SANITARY UTILITIES AT CONNECTION POINT SHOWN ON PLANS, AND OF OTHER UTILITIES AT CROSSINGS WITH NEW UTILITIES. NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN PLANS AND FIELD CONDITIONS.
- CONTRACTOR SHALL NOTIFY EACH UNDERGROUND UTILITY PRIOR TO EXCAVATING, BORING, OR POTHOLING. ATTENTION: OREGON LAW REQUIRES THE CONTRACTOR TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN O.A.R. 852-001-0010 - 852-001-0090. THE CONTRACTOR MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER. (NOTE: THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS 1-800-332-2344)
- CONTRACTOR SHALL MAKE THE NECESSARY ARRANGEMENTS AND COMPLY WITH REQUIREMENTS AND SPECIFICATIONS OF ANY RESPECTIVE UTILITY COMPANY FOR UTILITIES TO BE CUT, MOVED, RELOCATED, OR RE-CONNECTED TO AN EXISTING FACILITY.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH ANY SERVING UTILITY COMPANY INSTALLING UTILITIES ON SITE. CONSTRUCTION OF OTHER UTILITIES MAY OCCUR AT SAME TIME ON SITE.
- CONTRACTOR SHALL COORDINATE WITH PLUMBING INSPECTOR PRIOR TO CONNECTION OF PRIVATE SANITARY SEWER PIPING TO EXISTING PUBLIC SANITARY SEWER SYSTEM.
- QUANTITIES SHOWN ARE FOR THE PURPOSE OF IDENTIFYING LENGTHS. ACTUAL QUANTITIES MAY VARY. CONTRACTOR TO PROVIDE QUANTITIES NEEDED FOR LAYOUT OF SYSTEM AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL PROVIDE AND INSTALL FITTINGS AS REQUIRED TO COMPLETE PIPE CONNECTIONS AND TRANSITIONS PER PLAN, AND TO CONFORM TO TRENCHING REQUIREMENTS AND SITE GRADES.
- MANHOLE AND CLEANOUT RIM ELEVATIONS ARE APPROXIMATE. FINAL ELEVATIONS MAY VARY AND SHALL MATCH FINISHED ELEVATIONS OF ADJACENT SURFACES.
- TRACER WIRE SHALL ENTER ALL MANHOLE AND CLEANOUT STRUCTURES. EXTEND TRACER WIRE INTO STRUCTURE FAR ENOUGH TO PROVIDE ADEQUATE FREE WIRE TO EXTEND END OF WIRE 24" ABOVE/OUTSIDE OF STRUCTURE TO FACILITATE TESTING. COIL AND SECURE TRACER WIRE WITHIN EASY REACH OF STRUCTURE OPENING. VERIFY WIRE IS CLEAR OF ALL FILL MATERIAL IN CLEANOUT AND VALVE BOX STRUCTURES.
- ALL SANITARY SEWER LATERAL CONNECTIONS TO BE CONSTRUCTED USING WYE FITTINGS OR MANHOLES.
- CAP AND MARK ALL SANITARY SEWER PIPE ENDS WITH A 2"x4" BOARD STUCK IN GROUND. END OF BOARD SHALL BE PAINTED GREEN AND EXTEND MINIMUM 18" ABOVE GROUND SURFACE.
- WATER PIPES CROSSING SANITARY SEWER AND/OR STORM DRAINAGE PIPING: WATER PIPES CROSSING SEWER OR DRAINAGE PIPING CONSTRUCTED OF CLAY OR MATERIALS THAT ARE NOT APPROVED FOR USE WITHIN A BUILDING SHALL BE LAID A MINIMUM OF 12" ABOVE THE SEWER OR DRAIN PIPE. WHERE MINIMUM SEPARATION CANNOT BE MET, SANITARY SEWER AND/OR STORM DRAIN LINE SHALL BE CONSTRUCTED OF MATERIAL APPROVED FOR USE UNDER BUILDINGS, WITH A FULL LENGTH OF PIPE CENTERED AT THE CROSSING POINT, AND EXTENDING 10' MIN EACH SIDE OF CROSSING.
- REFER TO SHEET 0200, EROSION CONTROL PLAN, FOR EROSION SEDIMENT CONTROL MEASURES AND ADDITIONAL CONSTRUCTION REQUIREMENTS.
- CONTRACTOR SHALL INCLUDE DEMOLITION OF EXISTING PRIVATE STORM DRAIN, SANITARY SEWER, AND WATER UTILITIES. REMOVE EXISTING STRUCTURES WHERE ENCOUNTERED. CUT AND CAP EXPOSED ENDS OF EXISTING PIPES ENCOUNTERED. (ABANDON EXISTING PIPE IN PLACE IN ALL AREAS EXCEPT UNDER NEW BUILDINGS. REMOVE EXISTING PIPES BENEATH NEW BUILDINGS.)

SURVEY LEGEND			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	3/4" DOOR UNLESS OTHERWISE NOTED	AD SQ	SQUARE AREA DRAIN
	WATER VALVE	ELEC	ELECTRIC
	WATER METER	FFE	FINISHED FLOOR ELEVATION
	IRRIGATION VALVE	FND	FOUND
	BACK FLOW PREVENTER	SD	STORM DRAIN
	FIRE HYDRANT	SS	SANITARY SEWER
	ANGLE	W	WATER
	AREA DRAIN (ROUND)		AREA DRAIN (SQUARE)
	GUTTER INLET OR CATCH BASIN		STORM DRAIN MANHOLE
	UTILITY POLE		GUY ANCHOR
	LIGHT POLE		LIGHT POLE WITH ARM
	ELECTRIC METER		ELECTRIC TRANSFORMER
	ELECTRIC VAULT		CLEANOUT
	SANITARY SEWER MANHOLE		GAS METER
	SIGN		BOLLARD
	FLAG POLE		POLE
	MAIL BOX		BASKETBALL HOOP
	ADA PARKING		

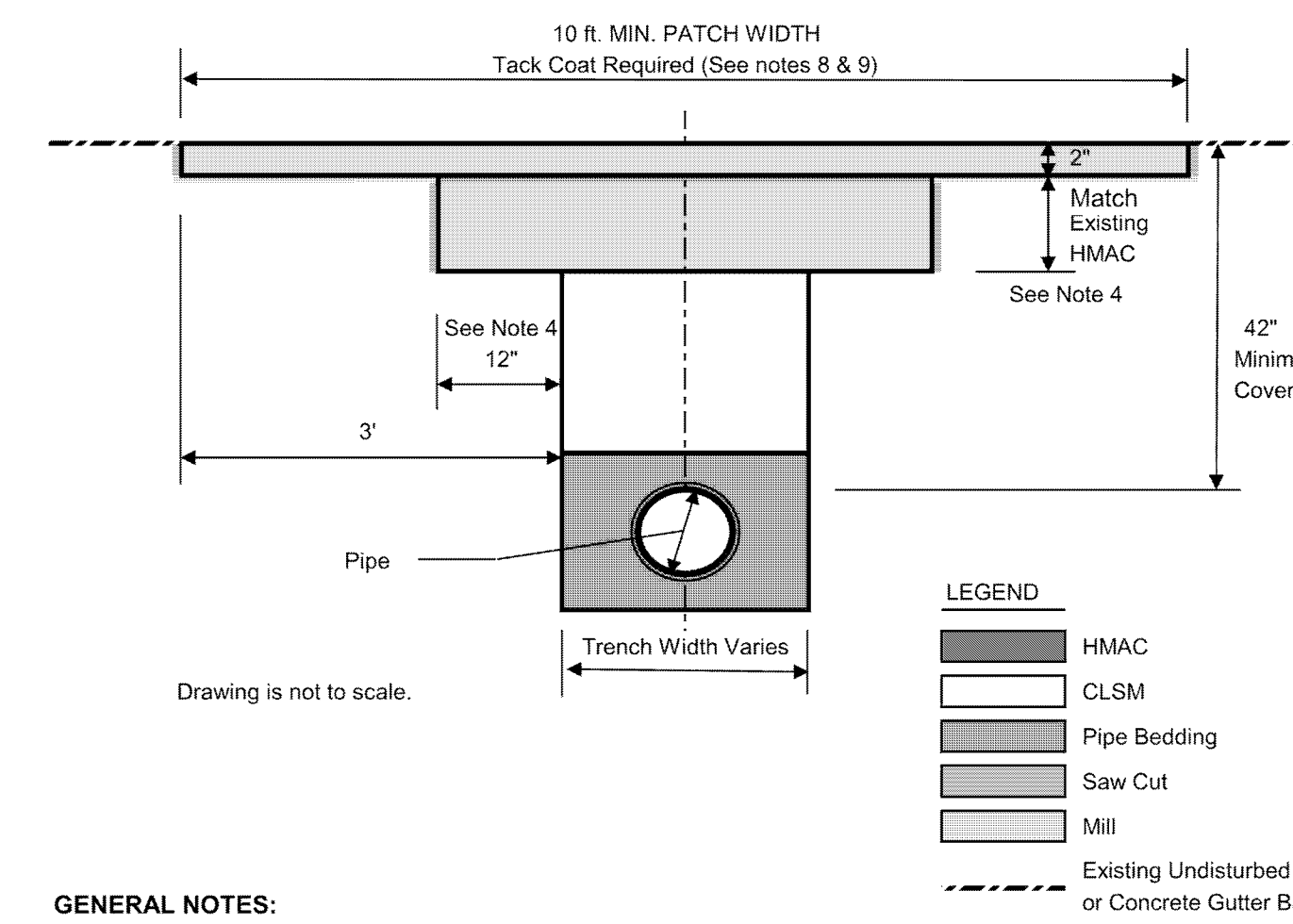
CIVIL SYMBOLS AND ABBREVIATIONS LIST						
SYMBOL	ABBR.	DESCRIPTION	ABBR.	DESCRIPTION	ABBR.	DESCRIPTION
	SS	SANITARY SEWER WITH SIZE	BLDG	BUILDING	REQD	REQUIRED
	-	PIPE WITH FLOW DIRECTION ARROW	BTM	BOTTOM	RIM	STRUCTURE RIM ELEVATION
	LMT	LIMITS OF CONSTRUCTION	CONST	CONSTRUCT	S=	SLOPE=
	SC	PAVEMENT REMOVAL SAWCUT LINE	DIA	DIAMETER	SHT	SHEET
	TOE	BUILDING EXCAVATION - TOE	ELEV	ELEVATION	STD	STANDARD
	TOE	BUILDING EXCAVATION - TOP	ESC	EROSION SEDIMENTATION CONTROL	TPAD	TOP OF BUILDING/WORKING PAD
	CO	STANDARD CLEANOUT	EX	EXISTING	TYP	TYPICAL
	DET	DETAIL REFERENCE - DETAIL # OVER SHEET #	EXC	EXCAVATION		
	-	CONSTRUCTION NOTE WITH REFERENCE NUMBER	FL	FLOWLINE		
	-	SECTION REFERENCE - SECTION # OVER SHEET #	LF	LINEAR FEET		
			MAX	MAXIMUM		
			MIN	MINIMUM		



- NOTES**
- TRACER WIRE SHALL ENTER STRUCTURE WITH RISER PIPE. PROVIDE ENOUGH FREE WIRE TO EXTEND 24" ABOVE FINISHED GRADE TO FACILITATE TESTING. VERIFY FREE END OF WIRE IS WITHIN EASY REACH OF OPENING IN TOP SECTION.
 - RISER PIPE SIZE:
4", 6", AND 8" DIA MAIN - 4" DIA RISER PIPE
10" DIA AND LARGER MAIN - 6" DIA RISER PIPE.
 - ADJUST END OF RISER PIPE TO MAINTAIN 3" MIN AND 6" MAX CLEARANCE BETWEEN END PIPE AND BOTTOM OF VALVE BOX LID.

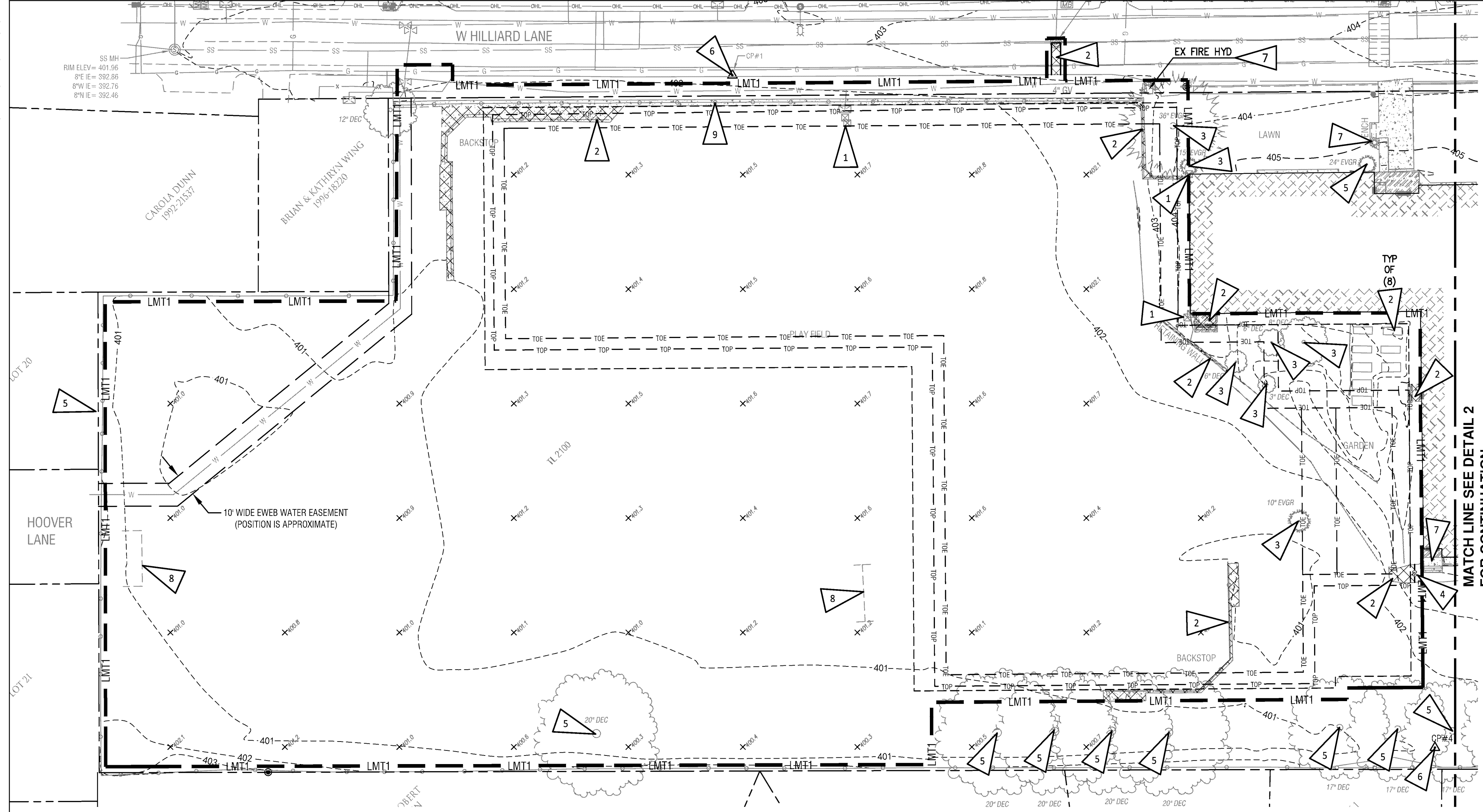
1 STANDARD CLEANOUT (CO)
NO SCALE

**LANE COUNTY
"T"-CUT
FOR COLLECTOR AND ARTERIAL ROADS (40 MPH or Less)**

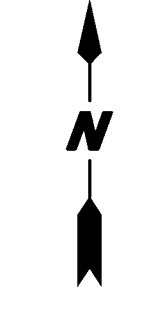
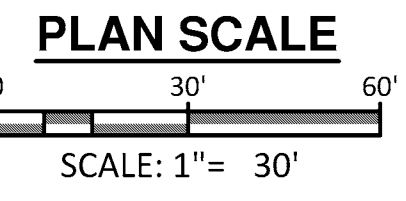


- GENERAL NOTES:**
- See Std. Dwg. RD300 for Trench Backfill, Bedding, Pipe Zone and Multiple Installations.
 - See Std. Dwg. RD302 for Street Cuts on Local and Residential roads.
 - Controlled Low Strength Materials (CLSM) backfill material is required unless otherwise directed.
 - 12 inch "T" Cut requirement may be waived when CLSM backfill is used.
 - Joints in the travel lane are to be at the curb & gutter and/or at the nearest longitudinal joint outside a wheel path.
 - All cuts in pavement shall be full depth saw cuts. A minimum compacted thickness of 2 inches or the thickness of the removed pavement, whichever is greater. Pavement to be compacted in 2 inch lifts.
 - Cut areas shall be cold patched at the end of the workday and the patch maintained. Cold patched areas shall be hot patched within 10 days. All cold patch material shall be excavated prior to hot patch restoration.
 - Pavement grinding shall conform to Oregon Standard Specifications for Construction, Section 00620, Cold Plane Pavement Removal. Pavement surface shall be uniformly milled using equipment that is capable of accurately establishing profile grades within a tolerance of 1/4" by reference from either the existing pavement or independent.
 - Asphalt emulsion tack coat shall be used to seal the asphalt to the edges of the existing asphalt. All cut areas shall be sealed with an ODOT approved polymer asphalt sealant.
 - All existing pavement markings and legends are to be restored with like kind.
 - The road shoulder and pavement edge shall be restored to match the previous condition.
 - Applicant shall accept responsibility for pavement stress or settlement of the "T" Cut restoration section for a period of one year.
- NOTE: FOR THIS PROJECT THE APPLICANT IS THE CONTRACTOR.**

2 LANE COUNTY TRENCH REPAIR DETAIL
NO SCALE



1 WEST CIVIL SITE DEMOLITION PLAN
Scale: 1" = 30'



SHEET NOTES

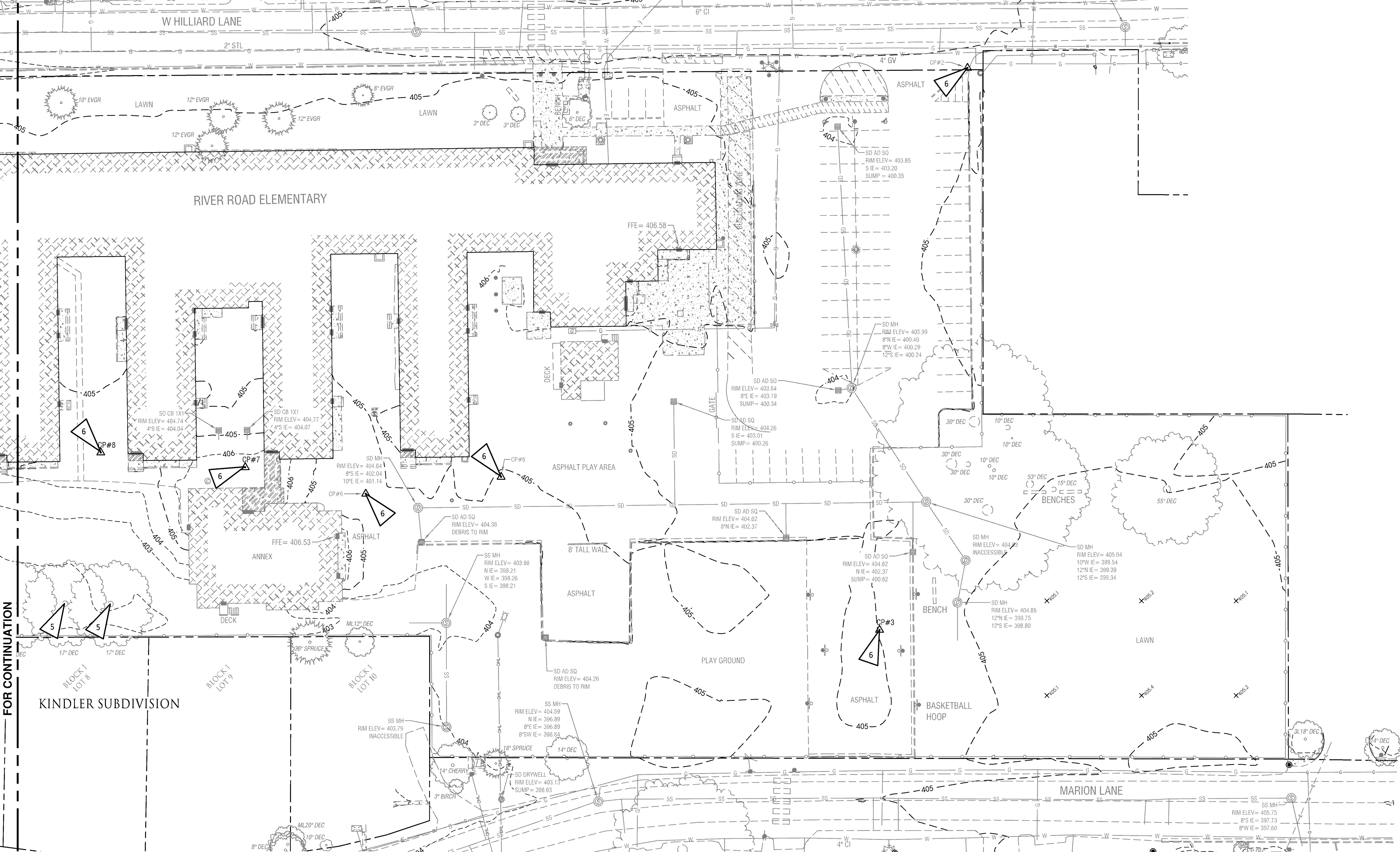
- REFER TO SHEET C321 FOR LEGENDS AND GENERAL NOTES.
- OWNER TO PARTIALLY REMOVE AND/OR SALVAGE EXISTING IRRIGATION SYSTEM AND SPRINKLER HEADS PRIOR TO CONSTRUCTION.

CONSTRUCTION NOTES

- EXISTING WATER PIPING, BACK FLOW PREVENTORS, AND METERS TO BE REMOVED. ABANDON EXISTING IRRIGATION SYSTEM IN PLACE DOWNSTREAM OF THE BACKFLOW PREVENTOR. CONTRACTOR TO COORDINATE WITH EWEB FOR EXISTING METER REMOVAL/ABANDONMENT OF IRRIGATION SERVICE.
- REMOVE EXISTING IMPROVEMENT (I.E. FENCING, RETAINING WALL, ETC.).
- REMOVE EXISTING TREE AND ALL ASSOCIATED ROOT SYSTEMS. SAWCUT ROOT SYSTEM AS NECESSARY TO PROTECT ADJACENT STRUCTURES AND/OR VEGETATION TO REMAIN.
- SAWCUT AS NEEDED AND REMOVE EXISTING PAVEMENT SECTION.
- EXISTING TREE TO REMAIN, PROTECT EXISTING TREE DURING CONSTRUCTION WITH PROTECTIVE FENCING.
- PRESERVE AND PROTECT HORIZONTAL CONTROL POINT DURING EXTENT OF ALL CONSTRUCTION WORK.
- EXISTING STRUCTURE TO REMAIN, PROTECT DURING CONSTRUCTION.
- REMOVE AND STORE EXISTING SOCCER POSTS ON EAST SIDE OF RIVER ROAD ELEMENTARY SCHOOL SITE. OWNER TO IDENTIFY STORAGE LOCATION.
- EXISTING FENCE TO REMAIN, PROTECT DURING CONSTRUCTION.

DEMOLITION LEGEND

- EX PAVEMENT TO BE REMOVED
- LIMITS OF PHASE 1 DEMOLITION

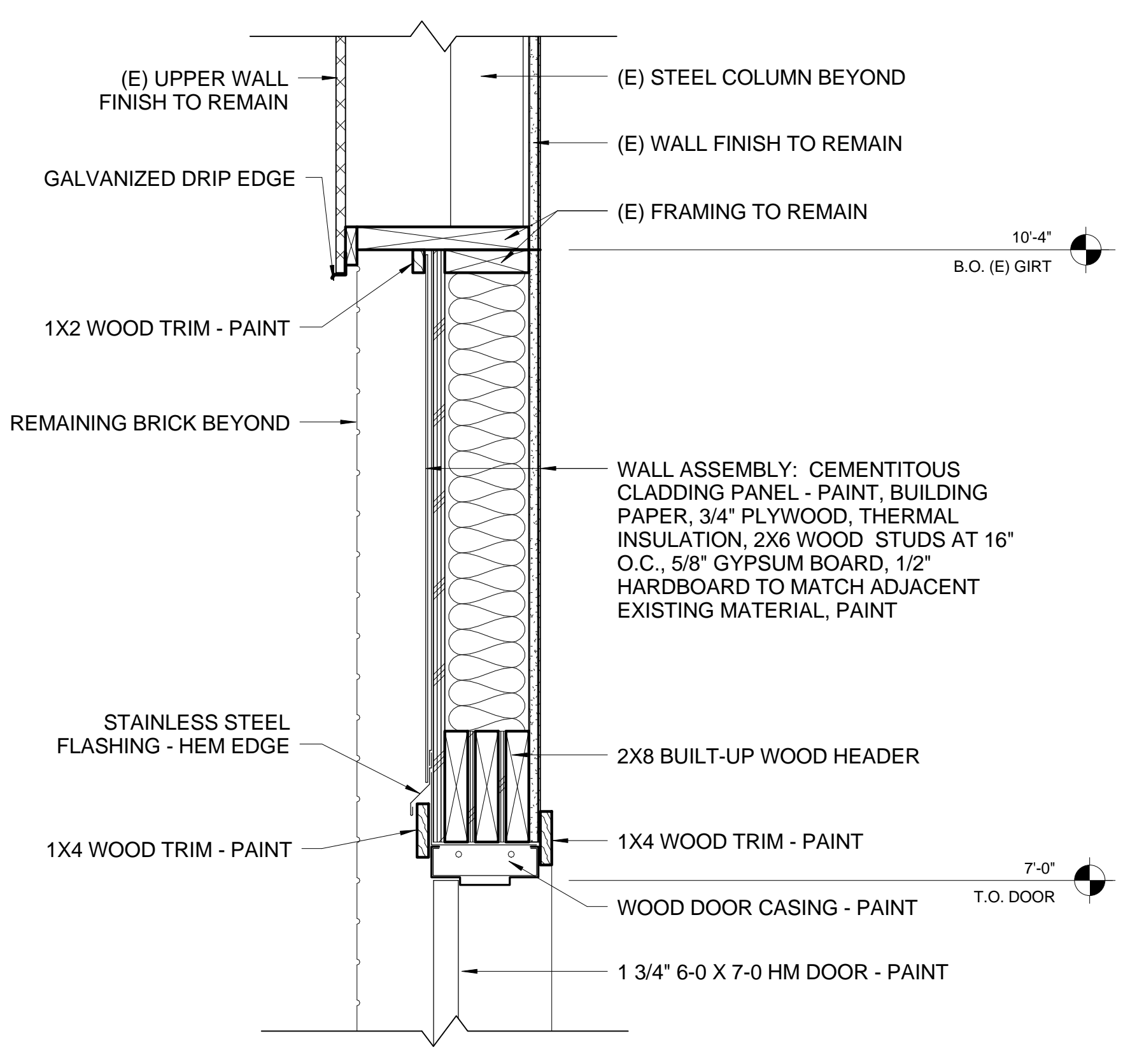


2 EAST CIVIL SITE DEMOLITION PLAN
Scale: 1" = 30'

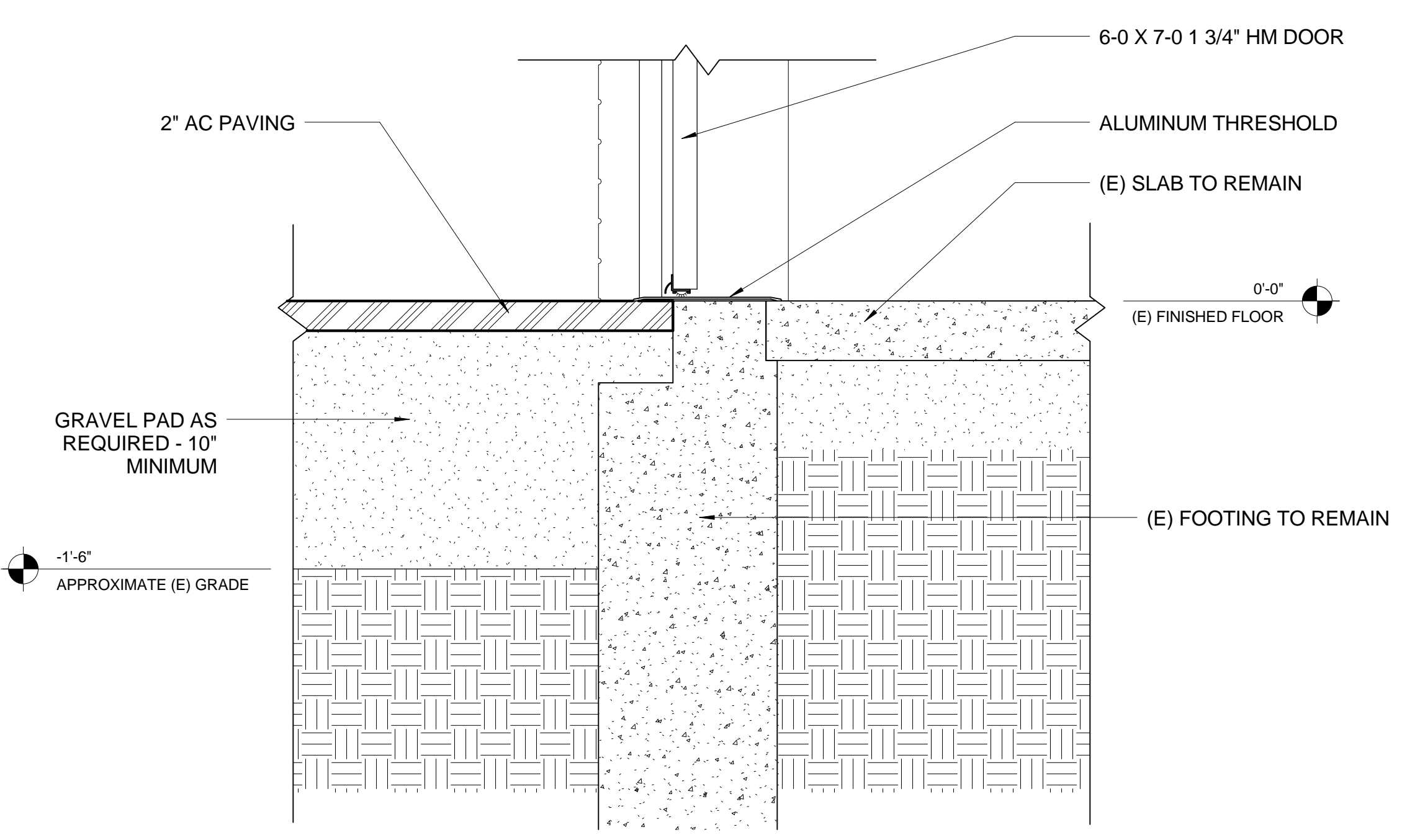
PROJECT #	1337.00	REVISIONS	
DATE	5/15/15	STATUS	
DESIGNED	JAM	CHECKED	MSA
DRAWN	JAM		

KEYNOTE LEGEND

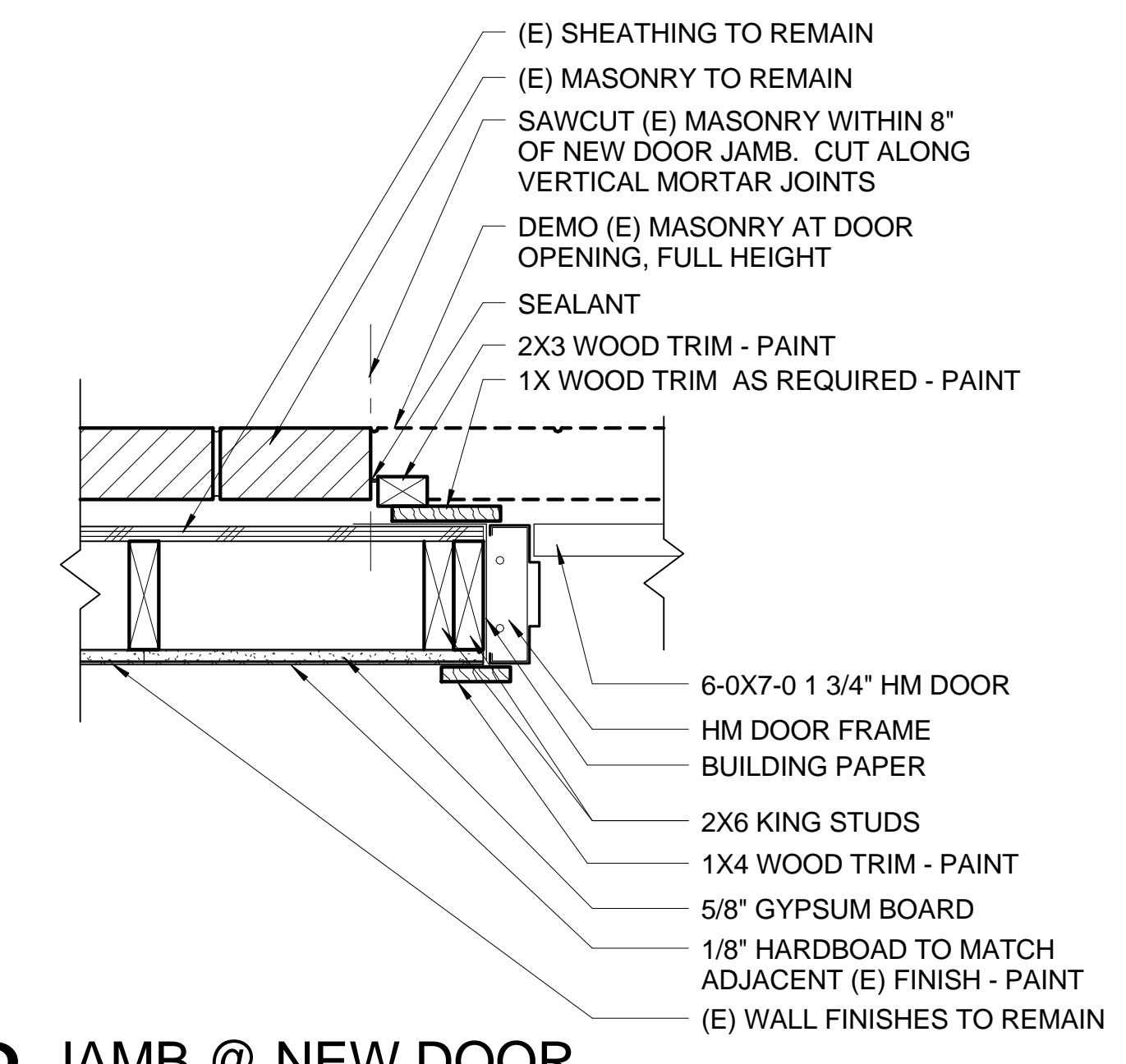
- 1 ADA WALKWAY: EXCAVATE AS NEEDED TO PLACE 2" AC PAVING OVER 10" COMPACTED GRAVEL SUBGRADE.
- 2 CENTER PATH ON NEW EXIT DOOR. SEE SHEET G012 FOR DOOR LOCATION
- 3 END NEW AC PATH FLUSH WITH EXISTING CONCRETE PATH
- 4 EXISTING TREE - DEMOLISH AND REMOVE FROM SITE
- 5 EXISTING FENCE AND CONCRETE WALL/FOOTING - DEMOLISH AND REMOVE FROM SITE
- 6 EXISTING FENCING AND CONCRETE FOOTING TO REMAIN
- 7 INSTALL NEW 8' TALL CHAIN LINK FENCE
- 8 EXISTING BUILDING EXIT TO BE CLOSED
- 9 EXISTING BUILDING EXIT TO REMAIN
- 10 NEW WALK PATH. SAWCUT EXISTING AC PAVING 12" BEHIND EXISTING EXTRUDED CURB. EXCAVATE AC PAVING AND SOILS AS NEEDED TO INSTALL A 12" THICK COMPACTED GRAVEL WALK PATH FLUSH WITH EXISTING AC PAVING.
- 11 END GRAVEL PATH FLUSH WITH CONCRETE PAVING
- 13 DEMOLISH AND REMOVE FROM SITE EXISTING GARDEN BEDS
- 14 DEMOLISH EXISTING RETAINING WALL
- 15 DEMOLISH BACKSTOP
- 18 EDGE OF EXISTING AC PAVING
- 19 RELOCATE EXISTING SOCCER GOALS TO EAST SIDE OF SCHOOL PROPERTY. COORDINATE WITH OWNER TO IDENTIFY LOCATION



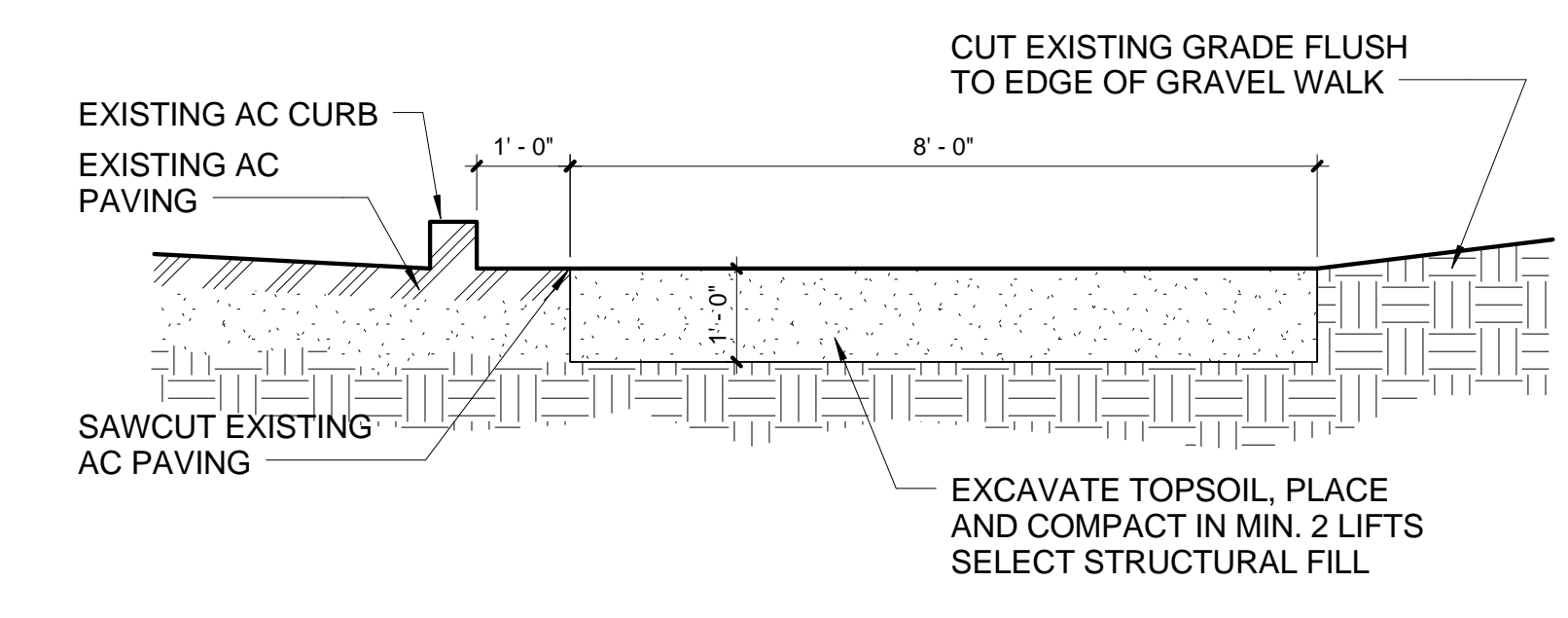
5 HEAD @ NEW DOOR
1/2" = 1'-0"



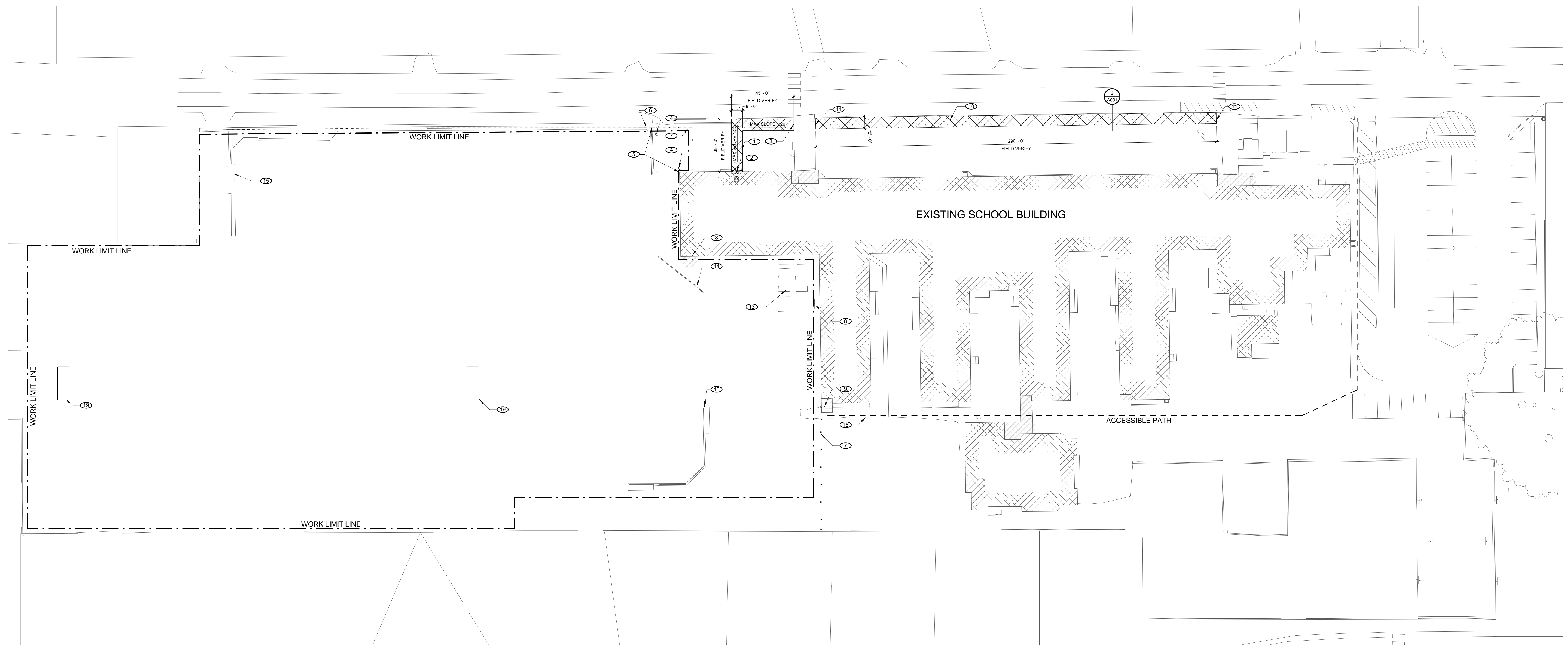
4 THRESHOLD @ NEW DOOR
1/2" = 1'-0"



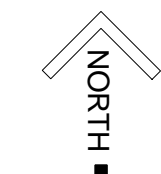
3 JAMB @ NEW DOOR
1/2" = 1'-0"



2 SECTION AT GRAVEL WALK
1/2" = 1'-0"



1 PARTIAL SITE PLAN
1" = 30'-0"



FOR INFORMATION ONLY

GENERAL NOTES - FLOOR PLANS

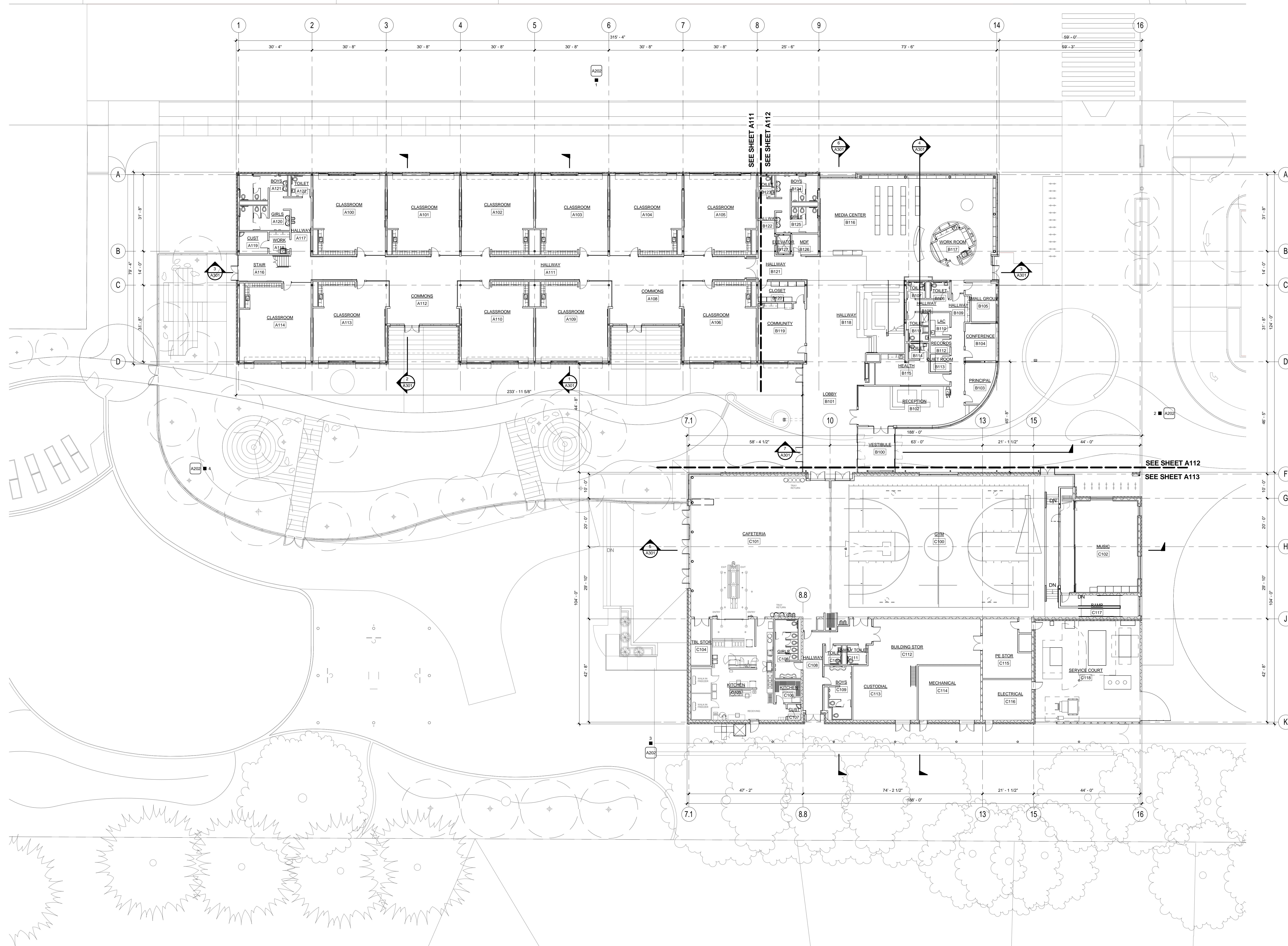
- A. DIMENSIONS ARE TO THE FACE OF STUD OR MASONRY UNLESS OTHERWISE NOTED.
- B. MASONRY DIMENSIONS ARE ACTUAL UNLESS OTHERWISE NOTED.
- C. REFER TO SHEET A100 SERIES FOR ENLARGED PLAN INFORMATION.
- D. REFER TO A200 SERIES FOR EXTERIOR ELEVATIONS.
- E. REFER TO SHEET A135 - A138 FOR WALL ASSEMBLY INFORMATION.
- F. REFER TO A300 SERIES FOR DOOR SCHEDULE AND WINDOW INFORMATION.
- G. REFER TO A400 SERIES FOR CASEWORK, MILLWORK AND INTERIOR ELEVATIONS.
- H. CLERESTORY PLANS ILLUSTRATE PLAN INFORMATION ABOVE THE SECTOR PLAN CUT LINE. DOCUMENTATION IS LIMITED TO WINDOWS AND WALL OTHERWISE NOT VISIBLE IN OTHER PLANS.

PRELIMINARY NOT FOR CONSTRUCTION



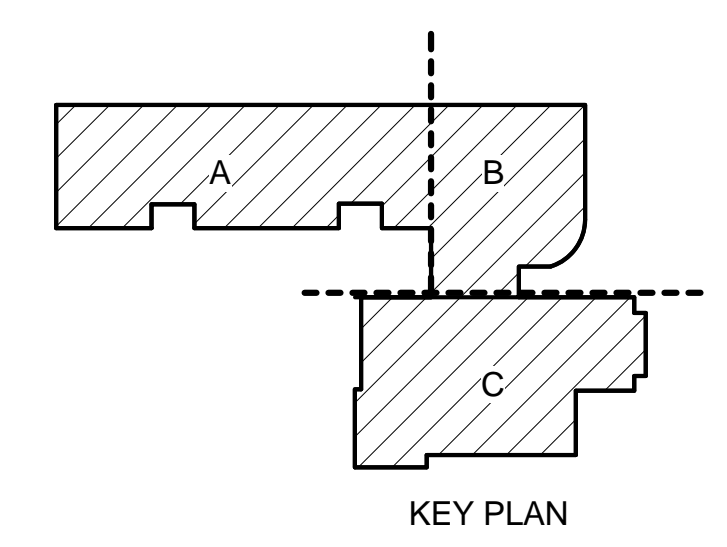
KEYNOTE LEGEND

KEYNOTE LEGEND - SPECIFICATIONS



1 OVERALL FIRST FLOOR PLAN

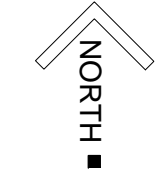
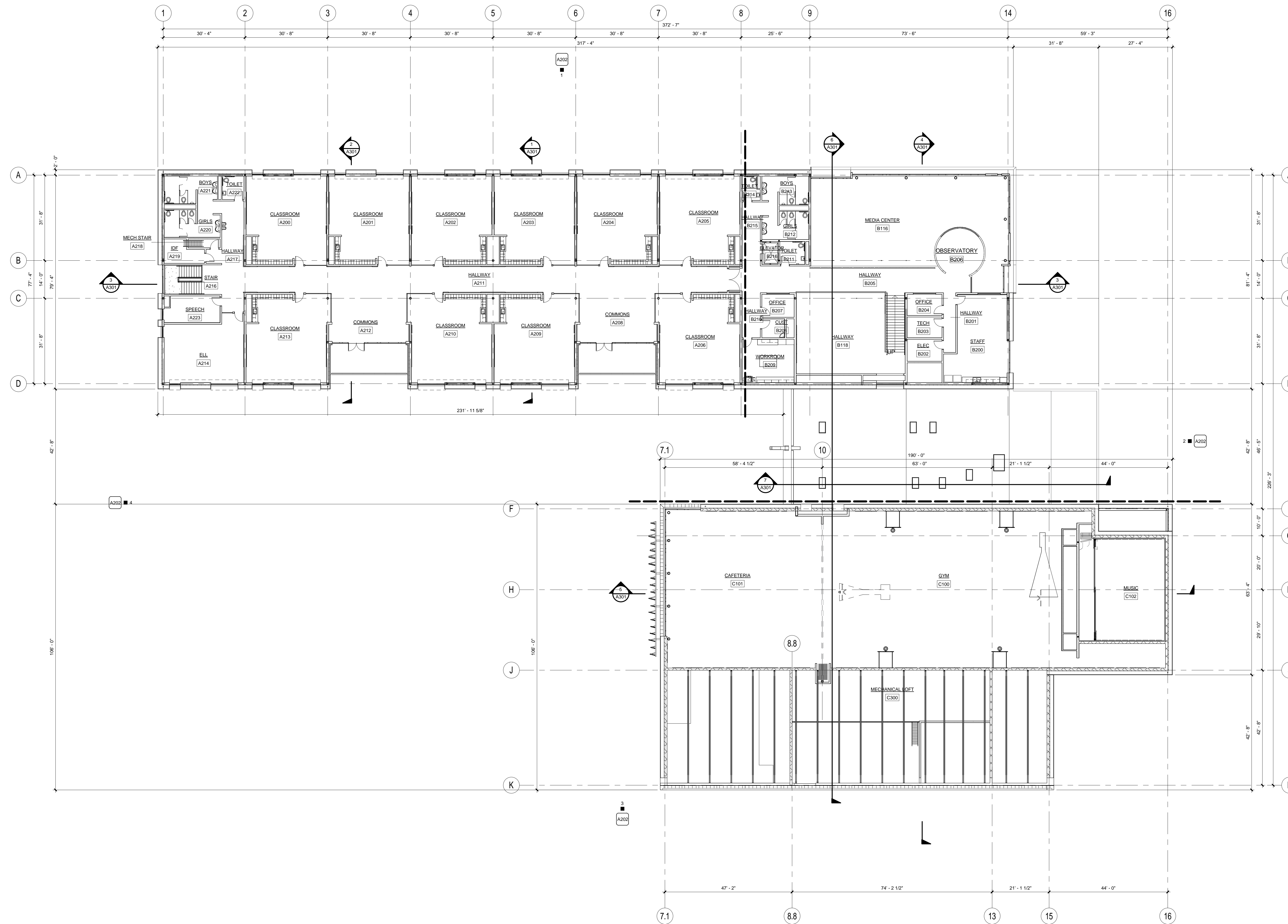
1/16" = 1'-0"



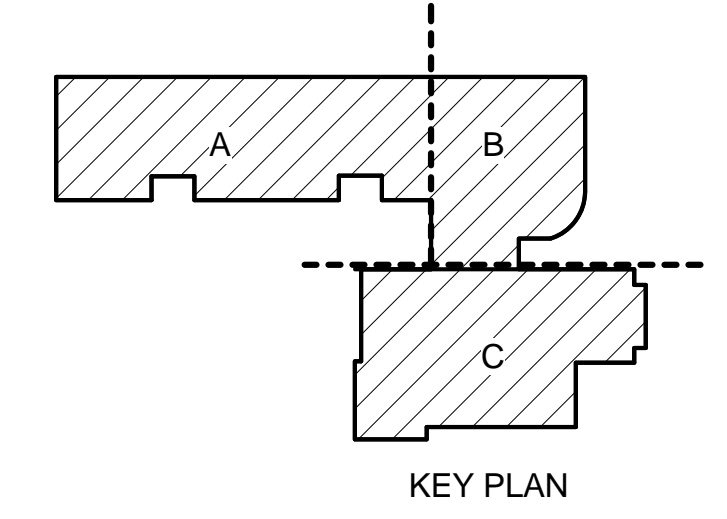
FOR INFORMATION ONLY

GENERAL NOTES - FLOOR PLANS

- A. DIMENSIONS ARE TO THE FACE OF STUD OR MASONRY UNLESS OTHERWISE NOTED.
- B. MASONRY DIMENSIONS ARE ACTUAL UNLESS OTHERWISE NOTED.
- C. REFER TO SHEET A100 SERIES FOR ENLARGED PLAN INFORMATION.
- D. REFER TO SHEET A200 SERIES FOR EXTERIOR ELEVATIONS.
- E. REFER TO SHEET A135 - A138 FOR WALL ASSEMBLY INFORMATION.
- F. REFER TO A300 SERIES FOR DOOR SCHEDULE AND WINDOW INFORMATION.
- G. REFER TO A400 SERIES FOR CASEWORK, MILLWORK AND INTERIOR ELEVATIONS.
- H. CLERESTORY PLANS ILLUSTRATE PLAN INFORMATION ABOVE THE SECTOR PLAN CUT LINE. DOCUMENTATION IS LIMITED TO WINDOWS AND WALL OTHERWISE NOT VISIBLE IN OTHER PLANS.



1 OVERALL SECOND FLOOR PLAN
1/16" = 1'-0"



PRELIMINARY NOT
FOR CONSTRUCTION



PROJECT #	1337.00	REVISIONS
ISSUE DATE	3.17.2015	
A102		