## RIVER ROAD/EL CAMINO DEL RIO EARTHWORK PACKAGE EUGENE SCHOOL DISTRICT 4J

120 WEST HILLIARD LANE, EUGENE OR 97404 CONSTRUCTION DOCUMENTS

5/15/15

### ARCHITECTURAL **ABBREVIATIONS** VICINITY MAP ANCHOR BOLT ASPHALTIC CONCRETE ACOUSTICAL TILE CEILING SYSTEM EUGENE, OR 97404 CONTRACTOR FURNISHED/CONTRACTOR INSTALLED CONTROL JOINT CENTER LINE CLG CLR CMU COL CONC CEILING Toxic Wings & Fries Y1 CONCRETE MASONRY UNIT CONCRETE CONT CPT DBL CONTINUOUS DOUBLE DEMO DEMOLITION/DEMOLISH DOUGLAS FIR, DRINKING FOUNTAIN DIAMETER DISP DISPENSER DOWNSPOUT ARCHITECTURAL SYMBOLS DRAWING EXISTING EACH **EXPANSION JOINT** EL, ELEV ELEVATION ELECTRICAL **EACH WAY BUILDING ELEVATION** EXTERIOR FLOOR DRAIN FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FINISH FLOOR FINISH/FINISHED FLR FLOOR FACE OF FIBER REINFORCED PANEL FTG FOOTING GAUGE **GRAB BAR BUILDING SECTION** GLUE LAM BEAM GYP BD **GYPSUM BOARD** HGT HORIZONTAL HANDRAIL **HOLLOW METAI** INSULATION INTERIOR JOINT WALL SECTION KNOCK DOWN LAV LOC MAX LAVATORY LOCATION MAXIMUM MECH MECHANICAL MANUFACTURER MINIMUM MISC MTL NTS MISCELLANEOUS NOT TO SCALE ON CENTER OUTSIDE DIMENSION OFCI OFOI OFS OH OWNER FURNISHED CONTRACTOR INSTALLED OWNER FURNISHED OWNER INSTALLED OUTSIDE FACE OF STUD **DETAIL SECTION** OPPOSITE HAND OPNG OPP OPENING OPPOSITE PLASTIC LAMINATE PAINT SYSTEM PRESSURE TREATED VERTICAL ELEVATION

**ROOM NAME & NUMBER** 

STOREFRONT SYMBOL

CEILING HEIGHT SYMBOL

WALL ASSEMBLIES

05 5000-A — SPECIFICATION KEYNOTE

■ KEYNOTE

WINDOW SYMBOL

PAINTED

PLYWOOD

RUBBER BASE

**ROUGH OPENING** RIGHT OF WAY

STORM DRAIN SECTION SHEET

SPECIFICATIONS SQUARE FOOT STAINLESS STEEL

STEEL STRUCTURAL **TOP & BOTTOM** 

TOP OF

WITH WOOD

TONGUE AND GROOVE TEMPERED, TEMPORARY

UNLESS NOTED OTHERWISE

TOP OF CONCRETE

TOP OF WALL TOP OF STRUCTURE

WALL ASSEMBLY

WATER PROOF

**ROOF DRAIN** 

**RADIUS** 

RUBBER

RUB

### PROJECT TEAM 4J EUGENE SCHOOL DISTRICT 715 W 4TH AVENUE EUGENE, OR 97402 PHONE: (541) 790-7417 FAX: (541) 790-7420 CONTACT: RYAN SPAIN **ARCHITECT OF RECORD** PIVOT ARCHITECTURE PC 44 WEST BROADWAY, SUITE 300 EUGENE, OR 97401 PHONE: (541) 342-7291 FAX: (541) 342-1535 CONTACT: JOHN STAPLETON **DESIGN ARCHITECT** DULL OLSON WEEKES -IBI GROUP ARCHITECTS INC. 907 SW STARK STREET PORTLAND, OR 97205 PHONE: (503) 226-6950 CONTACT: DAVID JOHNSON STRUCTURAL ENGINEER HOHBACH-LEWIN, INC. 296 E 5TH AVE EUGENE, OR 97401 PHONE: (541) 349-1701 FAX: (541) 349-1702 CONTACT: VIKKI BOURCIER **CIVIL ENGINEER** BALZHISER & HUBBARD ENGINEERS 100 W 13TH AVENUE, #100 EUGENE, OR 97401 PHONE: (541) 686-8478 FAX: (541) 345-5303 CONTACT: JOHN HORNBERGER MECHANICAL/PLUMBING ENGINEER PAE CONSULTING ENGINEERS, INC. 522 SW 5TH AVENUE, #1500 PORTLAND, OR 97204 PHONE: (503) 226-2921 FAX: (503) 226-2930 CONTACT: BRETT COURNOYER **ELECTRICAL ENGINEER** PAE CONSULTING ENGINEERS, INC. 522 SW 5TH AVENUE, #1500 PORTLAND, OR 97204 PHONE: (503) 226-2921 FAX: (503) 226-2930 CONTACT: BRETT COURNOYER LANDSCAPE ARCHITECT CAMERON MCCARTHY LANDSCAPE ARCHITECTS 160 EAST BROADWAY EUGENE, OR 97401

PHONE: (541) 485-7385 FAX: (541) 485-7389

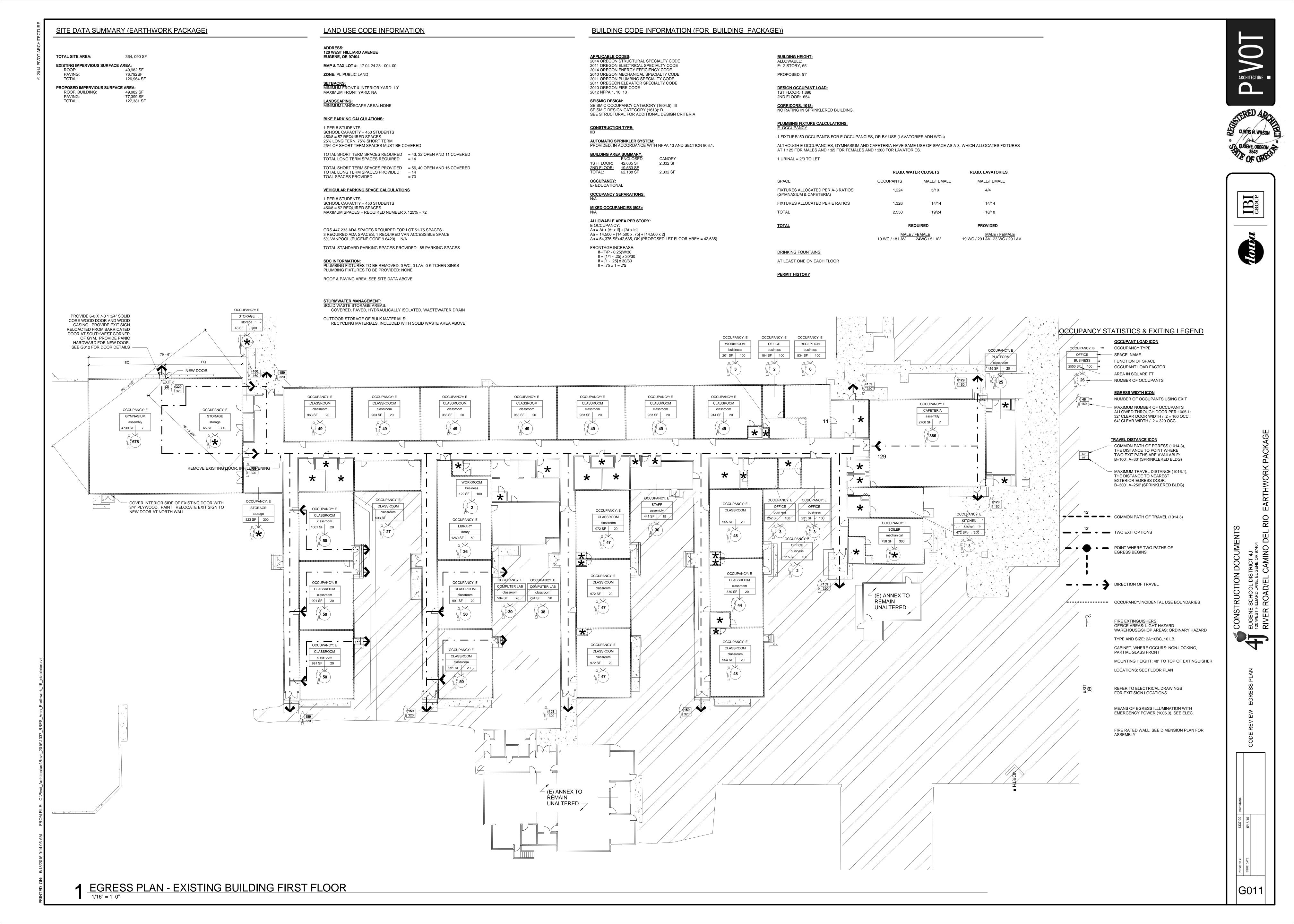
CONTACT: KRISTINA KOENIG

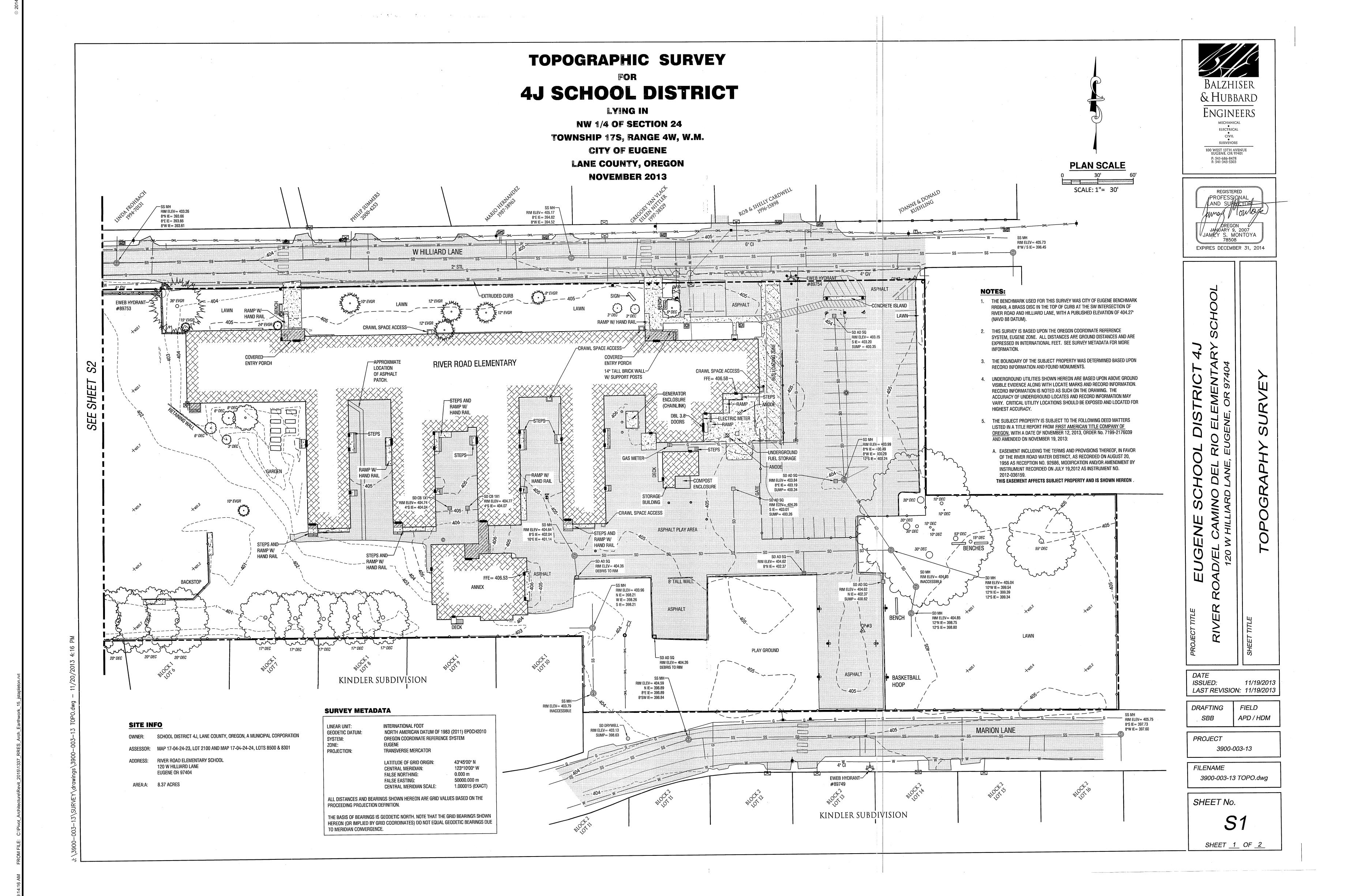
# **SHEET INDEX** C002 **EROSION CONTROL NOTES** SITE EARTH MOVING PLANS CIVIL LEGENDS AND DETAILS SANITARY SEWER PLAN CIVIL SITE DEMOLITION PLAN ARCHITECTURAL A001 OVERALL FIRST FLOOR PLAN - INFORMATION OVERALL SECOND FLOOR PLAN -INFORMATION ONLY



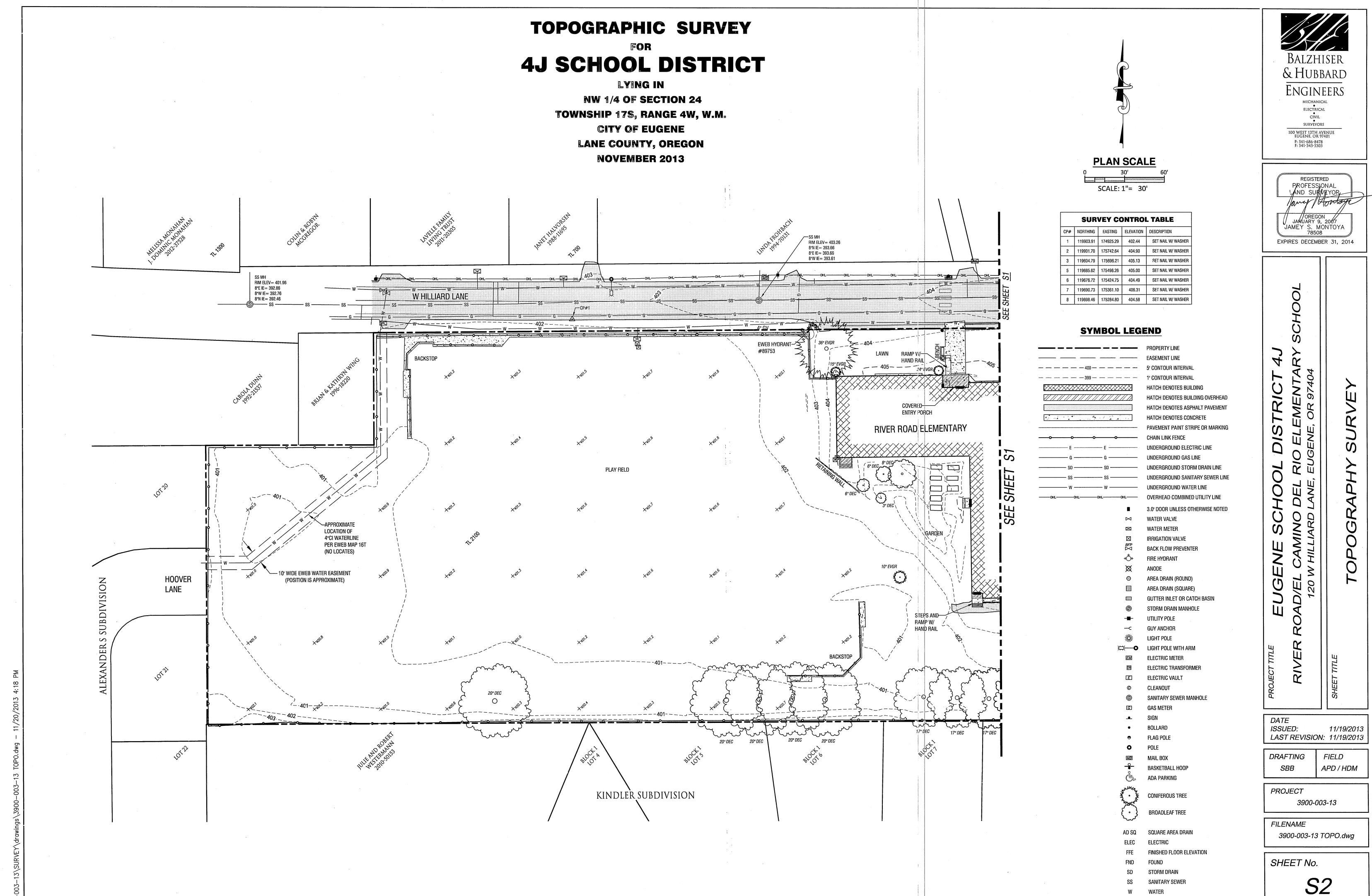


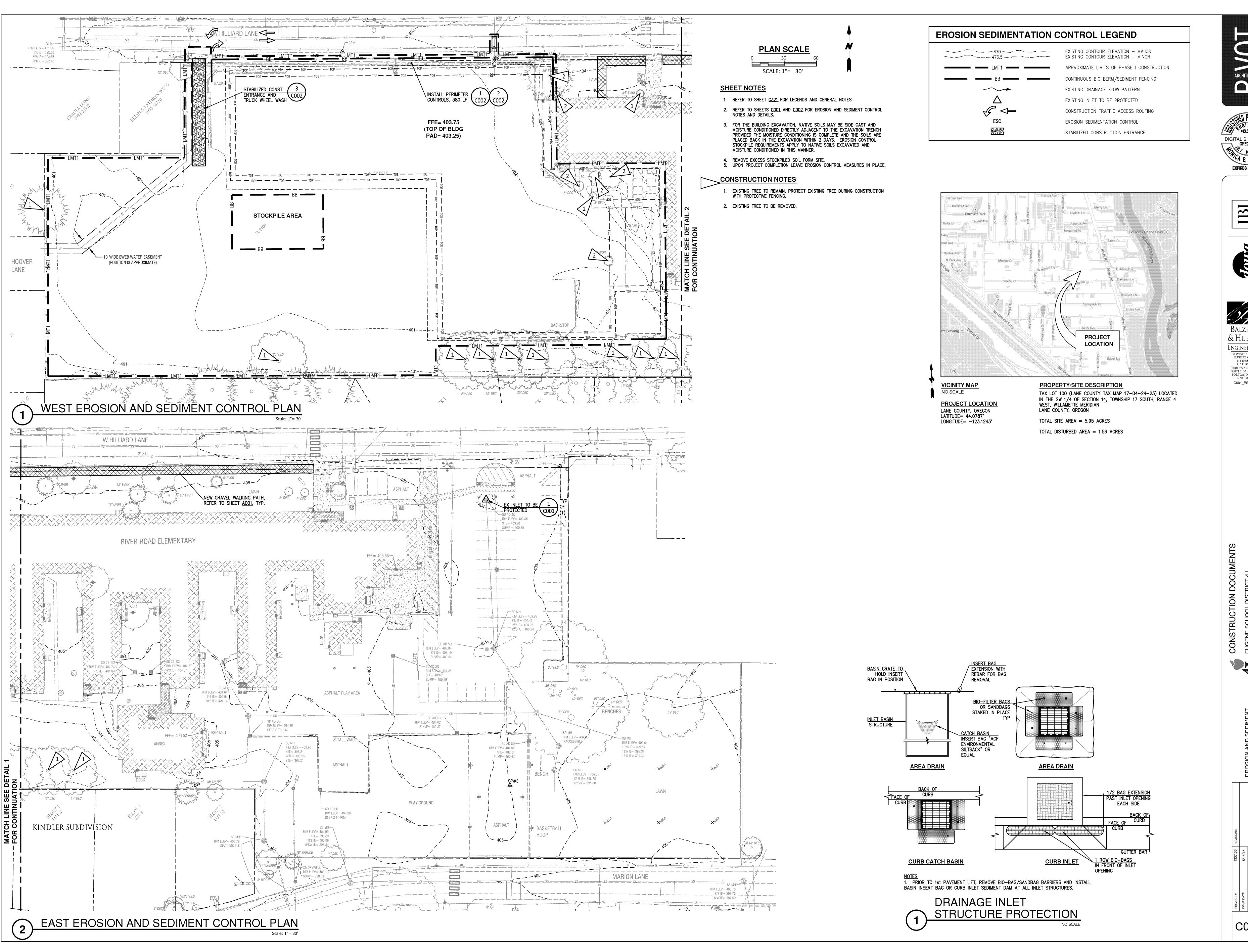






SHEET <u>2</u> OF <u>2</u>













C001

### FAX: 541-790-7711 ENGINEERING/SURVEYING FIRM

BALZHISER & HUBBARD ENGINEERS, INC CONTACT: JOHN HORNBERGER 100 W 13TH AVE EUGENE, OR 97401 PHONE: 541-686-8478 FAX: 541-345-5303

BALZHISER & HUBBARD ENGINEERS, INC CONTACT: JOHN HORNBERGER 1001 SW 5TH AVE., SUITE 1100 PORTLAND, OR 97204 PHONE: 503-961-6440

### NARRATIVE DESCRIPTIONS

SITE CONSISTS OF 5.95 ACRES OF DEVELOPED LAND WITH SLOPES RANGING FROM 0 TO 3 PERCENT. THE EXISTING VEGETATION IS MADE UP OF TREES, SHRUBS, AND VARIOUS GRASSES.

DEVELOPED CONDITIONS

NEW ELEMENTARY SCHOOL WITH ASSOCIATED PARKING, PLAY AREAS, SITE UTILITIES, AND ATHLETIC FIELDS.

(PER SOIL SURVEY OF LANE COUNTY AREA, OREGON)

### 76 MALABON-URBAN LAND COMPLEX, DEEP AND WELL DRAINED.

### RECEIVING WATER BODIES NONE. ALL STORMWATER IS RETAINED ONSITE.

### GENERAL EROSION SEDIMENTATION CONTROL (ESC) NOTES

- STOCK PILES OF NATIVE SOILS AND/OR FILL MATERIALS SHALL NOT BE EXPOSED TO THE WEATHER WITHOUT PROVISIONS OF SECONDARY CONTAINMENT AND TREATMENT MEASURES AS OUTLINED BELOW.
- 2. SECONDARY CONTAINMENT SHALL CONSIST OF INSTALLED BIO BERM AND/OR CONTAINMENT DITCH AT TOE OF SLOPE AROUND STOCKPILE PERIMETER. BERM AND/OR DITCH SHALL BE OF SUFFICIENT SIZE TO CONTAIN STOCKPILED MATERIALS IN PLACE.
- STOCK PILES ON SITE DURING WET WEATHER SEASON (OCTOBER 15 THROUGH APRIL 30) SHALL BE COVERED WITH 6 MIL (MIN. THICKNESS) POLYETHYLENE PLASTIC SHEETING. SHEETING SHALL BE INSTALLED AND MAINTAINED TIGHTLY IN PLACE USING APPROVED ANCHORING SYSTEM ON A 10' (MAX) GRID SPACING IN ALL DIRECTIONS. ALL SEAMS BETWEEN ADJACENT SHEETS SHALL BE LAPPED 12" (MIN) AND TAPED OR WEIGHTED DOWN FULL LENGTH OF SEAM. FOR SEAMS PARALLEL TO THE SLOPE CONTOUR, THE UPHILL SHEET SHALL OVERLAP THE DOWNHILL SHEET. NO RUNOFF SHALL BE ALLOWED TO RUN UNDER THE PLASTIC COVERING.
- 4. DEMOLITION AND/OR CONSTRUCTION DEBRIS, WASTE AND GARBAGE PILES OR CONSTRUCTION MATERIALS CONTAINING TOXIC CONTAMINANTS SHALL NOT BE PLACED WITHIN 25 FEET OF ANY NATURAL DRAINAGE FEATURE, STORM DRAIN INLET STRUCTURE OR DESIGNATED PROTECTED AREA.
- 5. LOCATION OF CONSTRUCTION MATERIAL STORAGE AREAS AND DEBRIS, WASTE AND GARBAGE PILE AREAS SHALL BE PROVIDED BY THE CONTRACTOR TO THE CITY AT THE TIME OF THE INITIAL ESC CONTROL INSPECTION.

- STABILIZED CONSTRUCTION ENTRANCE(S) SHALL BE ESTABLISHED AS SOON AS POSSIBLE AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT INTO PUBLIC RIGHT-OF-WAY. EXISTING PAVED ACCESS MAY BE USED AS CONSTRUCTION ENTRANCE AS NOTED ON SHEET <u>COO1</u>.
- 2. ADDITIONAL ROCK SHALL BE ADDED PERIODICALLY, IF NECESSARY, TO MAINTAIN PROPER FUNCTION OF THE PAD.
- 3. INSTALL VEHICLE BARRIERS AT ANY SITE ENTRANCE NOT USED AS STABILIZED CONSTRUCTION ENTRANCE TO RESTRICT SITE ACCESS.
- 4. IF ESTABLISHED ENTRANCES DO NOT ADEQUATELY REMOVE DIRT AND MUD FROM VEHICLE WHEELS SUCH THAT MUD AND DIRT TRACKING IS EVIDENT OFF SITE, ADDITIONAL MEASURES MUST BE TAKEN. SUCH MEASURES MAY INCLUDE WHEEL WASHING BEFORE VEHICLES LEAVE THE SITE OR OTHER CONSTRUCTION TECHNIQUES/WORK OPERATION MODIFICATIONS.
- 5. WHEEL WASHING SHOULD BE DONE ON THE GRAVEL PAD AND WASH WATER SHOULD DRAIN THROUGH A SILT-TRAPPING STRUCTURE PRIOR TO LEAVING THE CONSTRUCTION SITE. REFER TO DETAIL 3/COO2, TRUCK WHEEL WASH.
- 6. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CLEAN UP ANY SEDIMENT/MUD TRACKED INTO ADJACENT RIGHT-OF-WAY.

### GENERAL NOTES 1. INSTALL BASIN INSERT BAGS OR CURB INLET SEDIMENT DAMS AT ALL INLET STRUCTURES.

- 2. THE FOLLOWING WERE REVIEWED AND DO NOT PERTAIN TO THIS PROJECT: A. THERE ARE NO NATURAL RESOURCE SITES. B. THERE ARE NO BORROW SITES. C. THERE ARE NO CONSERVATION ZONES.
- ALL ESC MEASURES WILL BE COMPLETED IN TWO PHASES.
- 4. SITE WORK WILL BE COMPLETED IN TWO PHASES.
- 5. EXPECTED TIME PERIOD OF LAND DISTURBING ACTIVITIES IS 5 MONTHS FOR PHASE 1 AND 20 MONTHS IN TOTAL

### SCHEDULE FOR CONSTRUCTION AND IMPLEMENTATION OF ESC CONTROLS 1. HOLD THE PRE-CONSTRUCTION MEETING.

- FLAG OR FENCE CLEARING LIMITS (AS STATED ON THE APPROVED PLANS).
- INSTALL ESC MEASURES PRIOR TO CONSTRUCTION.
- 4. CALL CITY EROSION PREVENTION SPECIALIST TO SCHEDULE AN ON-SITE INSPECTION OF ALL EROSION MEASURES AFTER INSTALLATION AND PRIOR TO COMMENCING SOIL DISTURBANCE OPERATIONS.
- 5. MAINTAIN ESC MEASURES IN ACCORDANCE WITH CITY OF EUGENE STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.
- PERFORM DAILY INSPECTIONS OF THE ESC FACILITIES AND MAINTAIN WRITTEN RECORDS OF INSPECTIONS.
- 7. UPDATE EROSION AND ESC MEASURES TO HANDLE MAJOR CHANGE IN SITE CONDITIONS.
- 8. COVER ALL AREAS THAT WILL BE UNWORKED FOR MORE THAN SEVEN DAYS DURING THE DRY SEASON OR TWO DAYS DURING THE WET SEASON WITH STRAW, WOOD FIBER MULCH, COMPOST, PLASTIC SHEETING, OR EQUIVALENT.
- 9. STABILIZE ALL AREAS WITHIN SEVEN DAYS OF REACHING FINAL GRADE.
- 10. SEED OR SOD ANY UNSTABILIZED DISTURBED AREAS TO REMAIN UNWORKED FOR MORE THAN 30 DAYS.
- 11. SWEEP STREETS ADJACENT TO CONSTRUCTION ENTRANCES A MINIMUM OF ONCE PER WEEK. USE OF WATER TRUCKS TO WASH DOWN STREETS IS NOT ALLOWED AFTER BEGINNING OF PAVEMENT PLACEMENT.
- 12. UPON COMPLETION OF THE PROJECT, STABILIZE ALL DISTURBED AREAS AND LEAVE ALL PHASE 1 BMP'S IN PLACE.

### DEQ STANDARD EROSION AND SEDIMENT CONTROL PLAN (ESCP) NOTES

- HOLD A PRE-CONSTRUCTION MEETING OF PROJECT CONSTRUCTION PERSONNEL THAT INCLUDES THE INSPECTOR TO DISCUSS EROSION AND SEDIMENT CONTROL MEASURES AND CONSTRUCTION LIMITS. (Schedule A.8.c.i.(3))
- 2. ALL INSPECTIONS MUST BE MADE IN ACCORDANCE WITH DEQ 1200-C PERMIT REQUIREMENTS.
- INSPECTION LOGS MUST BE KEPT IN ACCORDANCE WITH DEQ'S 1200—C PERMIT REQUIREMENTS.
- 4. RETAIN A COPY OF THE ESCP AND ALL REVISIONS ON SITE AND MAKE IT AVAILABLE ON REQUEST TO DEQ, AGENT, OR THE
- LOCAL MUNICIPALITY. DURING INACTIVE PERIODS OF GREATER THAN SEVEN (7) CONSECUTIVE CALENDAR DAYS, RETAIN THE ESCP AT THE CONSTRUCTION SITE OR AT ANOTHER LOCATION. (Schedule B.2.a).
- 5. ALL PERMIT REGISTRANTS MUST IMPLEMENT THE ESCP. FAILURE TO IMPLEMENT ANY OF THE CONTROL MEASURES OR PRACTICES DESCRIBED IN THE ESCP IS A VIOLATION OF THE PERMIT. (Schedule A.8.a)
- 6. THE ESCP MEASURES SHOWN ON THIS PLAN ARE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, UPGRADE THESE MEASURES AS NEEDED TO COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL EROSION AND SEDIMENT CONTROL REGULATIONS (Schedule A.8.c.ii(1)(c))
- SUBMISSIONS OF ALL ESCP REVISIONS IS NOT REQUIRED. SUBMITTAL OF THE ESCP REVISION IS ONLY UNDER SPECIFIC CONDITIONS. SUBMIT ALL NECESSARY REVISION TO DEQ OR AGENT. (Schedule A.12.c.iii)
- 8. PHASE CLEARING AND GRADING TO THE MAXIMUM EXTENT PRACTICAL TO PREVENT EXPOSED INACTIVE AREAS FROM BECOMING A SOURCE OF EROSION. (Schedule A.8.c.ii(1)(d))
- 9. IDENTIFY, MARK, AND PROTECT (BY FENCING OFF OR OTHER MEANS) CRITICAL RIPARIAN AREAS AND VEGETATION INCLUDING IMPORTANT TREES AND ASSOCIATED ROOTING ZONES, AND VEGETATION AREAS TO BE PRESERVED. IDENTIFY VEGETATIVE BUFFER ZONES BETWEEN THE SITE AND SENSITIVE AREAS (E.G., WETLANDS), AND OTHER AREAS TO BE PRESERVED, ESPECIALLY IN PERIMETER AREAS. (SCHEDULE A.8.c.i(1) & (2))
- PRESERVE EXISTING VEGETATION WHEN PRACTICAL AND RE-VEGETATE OPEN AREAS. RE-VEGETATE OPEN AREAS WHEN PRACTICABLE BEFORE AND AFTER GRADING OR CONSTRUCTION. IDENTIFY THE TYPE OF VEGETATIVE SEED MIX USED. (Schedule A.7.b.iii(1) and A.7.b.iii(3))
- 11. EROSION AND SEDIMENT CONTROL MEASURES INCLUDING PERIMETER SEDIMENT CONTROL MUST BE IN PLACE BEFORE VEGETATION IS DISTURBED AND MUST REMAIN IN PLACE AND BE MAINTAINED, REPAIRED, AND PROMPTLY IMPLEMENTED FOLLOWING PROCEDURES ESTABLISHED FOR THE DURATION OF CONSTRUCTION, INCLUDING PROTECTION FOR ACTIVE STORM DRAIN INLETS AND CATCH BASINS AND APPROPRIATE NON-STORMWATER POLLUTION CONTROLS. (Schedule A.7.d.1 and
- ESTABLISH CONCRETE TRUCK AND OTHER CONCRETE EQUIPMENT WASHOUT AREAS BEFORE BEGINNING CONCRETE WORK. (Schedule A.8.c.i.(6))
- 13. APPLY TEMPORARY AND/OR PERMANENT SOIL STABILIZATION MEASURES IMMEDIATELY ON ALL DISTURBED AREAS AS GRADING PROGRESSES AND FOR ALL ROADWAYS INCLUDING GRAVEL ROADWAYS. (Schedule A.8.c.ii.(2))
- 14. ESTABLISH MATERIAL AND WASTE STORAGE AREAS, AND OTHER NON-STORMWATER CONTROLS. (Schedule A.8.c.i.(7))
- 15. PREVENT TRACKING OF SEDIMENT ONTO PUBLIC OR PRIVATE ROADS USING BMP'S SUCH AS: GRAVELED (OR PAVED) EXITS AND PARKING AREAS, GRAVEL ALL UNPAVED ROADS LOCATED ONSITE, OR USE AN EXIT TIRE WASH. THESE BMP'S MUST BE IN PLACE PRIOR TO LAND-DISTURBING ACTIVITIES. (Schedule A.7.d.ii(1) and A.8.c.i(4))
- 16. WHEN TRUCKING SATURATED SOILS FROM THE SITE, EITHER USE WATER-TIGHT TRUCKS OR DRAIN LOADS ON SITE. (Schedule A.7.d.ii(3))
- 17. USE BMP'S TO PREVENT OR MINIMIZE STORMWATER EXPOSURE TO POLLUTANT FROM SPILLS; VEHICLE AND EQUIPMENT FUELING, MAINTENANCE, AND STORAGE; OTHER CLEANING AND MAINTENANCE ACTIVITIES; AND WASTE HANDLING ACTIVITIES. THESE POLLUTANTS INCLUDE FUEL, HYDRAULIC FLUID, AND OTHER OILS FROM VEHICLES AND MACHINERY, AS WELL AS DEBRIS, LEFTOVER PAINTS, SOLVENTS, AND GLUES FROM CONSTRUCTION OPERATIONS. (Schedule A.7.e.i(2))
- 18. IMPLEMENT THE FOLLOWING BMP'S WHEN APPLICABLE: WRITTEN SPILL PREVENTION AND RESPONSE PROCEDURES. EMPLOYEE TRAINING ON SPILL PREVENTION AND PROPER DISPOSAL PROCEDURES, SPILL KITS IN ALL VEHICLES, REGULAR MAINTENANCE SCHEDULE FOR VEHICLES AND MACHINERY, MATERIAL DELIVERY AND STORAGE CONTROLS, TRAINING AND SIGNAGE, AND COVERED STORAGE AREAS FOR WASTE AND SUPPLIES. (Schedule A.7.e.iii)
- 19. USE WATER, SOIL-BINDING AGENT OR OTHER DUST CONTROL TECHNIQUE AS NEEDED TO AVOID WIND-BLOWN SOIL. (Schedule
- 20. THE APPLICATION RATE OF FERTILIZERS USED TO RE-ESTABLISH VEGETATION MUST FOLLOW MANUFACTURER'S RECOMMENDATIONS TO MINIMIZE NUTRIENT RELEASES TO SURFACE WATERS. EXERCISE CAUTION WHEN USING TIME-RELEASE FERTILIZERS WITHIN ANY WATERWAY RIPARIAN ZONE. (Schedule A.9.b.iii)
- 21. IF A STORMWATER TREATMENT SYSTEM (FORE EXAMPLE, ELECTRO-COAGULATION, FLOCCULATION, FILTRATION, ETC.) FOR SEDIMENT OR OTHER POLLUTANT REMOVAL IS EMPLOYED, SUBMIT AN OPERATION AND MAINTENANCE PLAN (INCLUDING SYSTEM SCHEMATIC, LOCATION OF SYSTEM, LOCATION OF INLET, LOCATION OF DISCHARGE, DISCHARGE DISPÈRSION DEVICE DESIGN, AND A SAMPLING PLAN AND FREQUENCY) BEFORE OPERATING THE TREATMENT SYSTEM. OBTAIN PLAN APPROVAL BEFORE OPERATING THE TREATMENT SYSTEM. OPÉRATE AND MAINTAIN THE TREATMENT SYSTEM ACCORDING TO MANUFACTURER'S SPECIFICATIONS. (Schedule A.9.d)
- 22. TEMPORARILY STABILIZE SOILS AT THE END OF THE SHIFT BEFORE HOLIDAYS AND WEEKENDS, IF NEEDED. THE REGISTRANT IS RESPONSIBLE FOR ENSURING THAT SOILS ARE STABLE DURING RAIN EVENTS AT ALL TIMES OF THE YEAR. (Schedule
- 23. AT THE END OF EACH WORKDAY SOIL STOCKPILES MUST BE STABILIZED OR COVERED, OR OTHER BMP'S MUST BE IMPLEMENTED TO PREVENT DISCHARGES TO SURFACE WATERS OR CONVEYANCE SYSTEMS LEASING TO SURFACE WATERS.
- 24. CONSTRUCTION ACTIVITIES MUST AVOID OR MINIMIZE EXCAVATION AND CREATION OF BARE GROUND DURING WET WEATHER. (Schedule A.7.a.i)
- 25. SEDIMENT FENCE: REMOVE TRAPPED SEDIMENT BEFORE IT REACHES ONE THIRD OF THE ABOVE GROUND FENCE HEIGHT AND BEFORE FENCE REMOVAL. (Schedule A.9.c.i)
- 26. OTHER SEDIMENT BARRIERS (SUCH AS BIOBAGS): REMOVE SEDIMENT BEFORE IT REACHES TWO INCHES DEPTH ABOVE GROUND HEIGHT, AND BEFORE BMP REMOVAL. (Schedule A.9.c.ii)
- 27. CATCH BASINS: CLEAN BEFORE RETENTION CAPACITY HAS BEEN REDUCED BY FIFTY PERCENT. SEDIMENT BASINS AND SEDIMENT TRAPS: REMOVE TRAPPED SEDIMENTS BEFORE DESIGN CAPACITY HAS BEEN REDUCED BY FIFTY PERCENT AND AT COMPLETION OF PROJECT. (Schedule A.9.c.iii and iv)
- 28. WITHIN 24 HOURS, SIGNIFICANT SEDIMENT THAT HAS LEFT THE CONSTRUCTION SITE, MUST BE REMEDIATED. INVESTIGATE THE CAUSE OF THE SEDIMENT RELEASE AND IMPLEMENT STEPS TO PREVENT A RECURRENCE OF THE DISCHARGE WITHIN THE SAME 24 HOURS. ANY IN-STREAM CLEAN UP OF SEDIMENT SHALL BE PERFORMED ACCORDING TO THE OREGON DIVISION OF STATE LANDS REQUIRED TIME FRAME. (Schedule A.9.b.i)
- 29. THE INTENTIONAL WASHING OF SEDIMENT INTO STORM SEWERS OR DRAINAGE WAYS MUST NO OCCUR. VACUUMING OR DRY SWEEPING AND MATERIAL PICKUP MUST BE USED TO CLEANUP RELEASED SEDIMENTS. (Schedule A.9.b.ii)
- 30. THE ENTIRE SITE MUST BE TEMPORARILY STABILIZED USING VEGETATION OR A HEAVY MULCH LAYER, TEMPORARY SEEDING, OR OTHER METHOD SHOULD ALL CONSTRUCTION ACTIVITIES CEASE FOR 30 DAYS OR MORE. (Schedule A.7.f.i)
- 31. PROVIDE TEMPORARY STABILIZATION FOR THAT PORTION OF THE SITE WHERE CONSTRUCTION ACTIVITIES CEASE FOR 14 DAYS OR MORE WITH A COVERING OF BLOWN STRAW AND A TACKIFIER, LOOSE STRAW, OR ADEQUATE COVERING OF COMPOST MULCH UNTIL WORK RESUMES ON THAT PORTION OF THE SITE. (Schedule A.7.f.ii)
- 32. PROVIDE PERMANENT EROSION CONTROL MEASURES ON ALL EXPOSED AREAS. DO NOT REMOVE TEMPORARY SEDIMENT CONTROL PRACTICES UNTIL PERMANENT VEGETATION OR OTHER COVER OF EXPOSED AREAS IS ESTABLISHED. HOWEVER, DO REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AS EXPOSED AREAS BECOME STABILIZED. UNLESS DOING SO CONFLICTS WITH LOCAL REQUIREMENTS. PROPERLY DISPOSE OF CONSTRUCTION MATERIALS AND WASTE, INCLUDING SEDIMENT RETAINED BY TEMPORARY BMP'S. (Schedule A.7.b.iii(2) and A.8.c.iii)

### **FENCE** <u>2"x2" 14 GA. WIRE MESH</u> FABRIC SUPPORT OR EXTRA STRENGTH FABRIC WITHOUT WIRE. APPLY MESH/FABRIC TO UP-SLOPE SIDE OF FENCE.

- 1. MAX GROUND SLOPE (PERPENDICULAR TO FENCE): SUPPORTED FENCE - 1H:1V
- UNSUPPORTED FENCE 4H:1V 2. SYNTHETIC FILTER FABRIC SHALL CONTAIN ULTRAVIOLET RAY INHIBITORS AND STABILIZERS TO PROVIDE A MINIMUM OF 6 MONTHS OF EXPECTED USABLE CONSTRUCTION LIFE AT A TEMPERATURE RANGE OF 0°F TO 120°F.

3. FILTER FABRIC SHALL BE SPLICED TOGETHER ONLY AT SUPPORT POSTS WITH

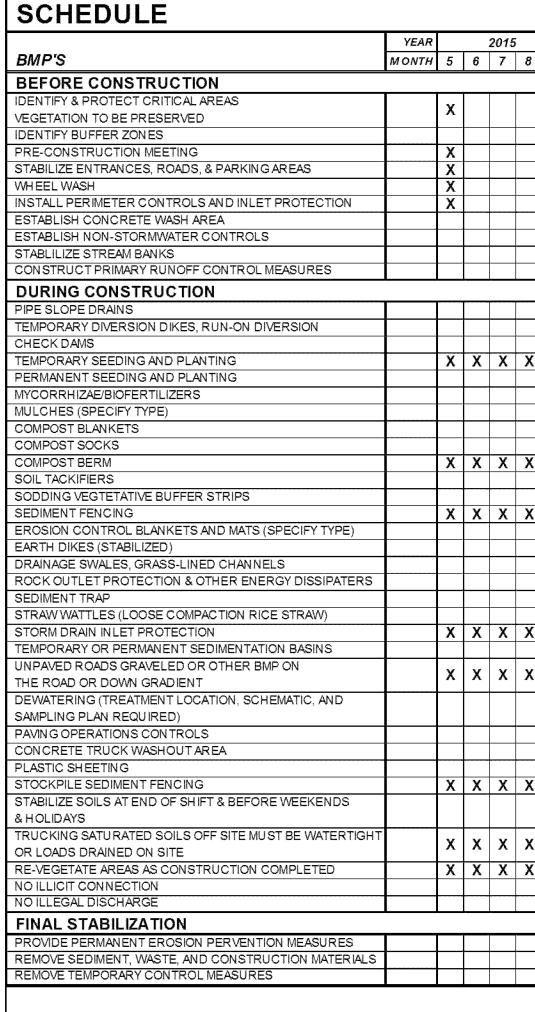
4. CONTINUOUS BIO BERM MAY BE INSTALLED AT UPHILL BASE OF FILTER FABRIC IN LIEU OF BURYING BOTTOM OF FABRIC. 5. USE STAPLES OR WIRE RINGS TO ATTACH FILTER FABRIC TO WIRE SUPPORT

A MINIMUM OF 6 INCH OVERLAP AND BOTH ENDS SECURED TO POST.

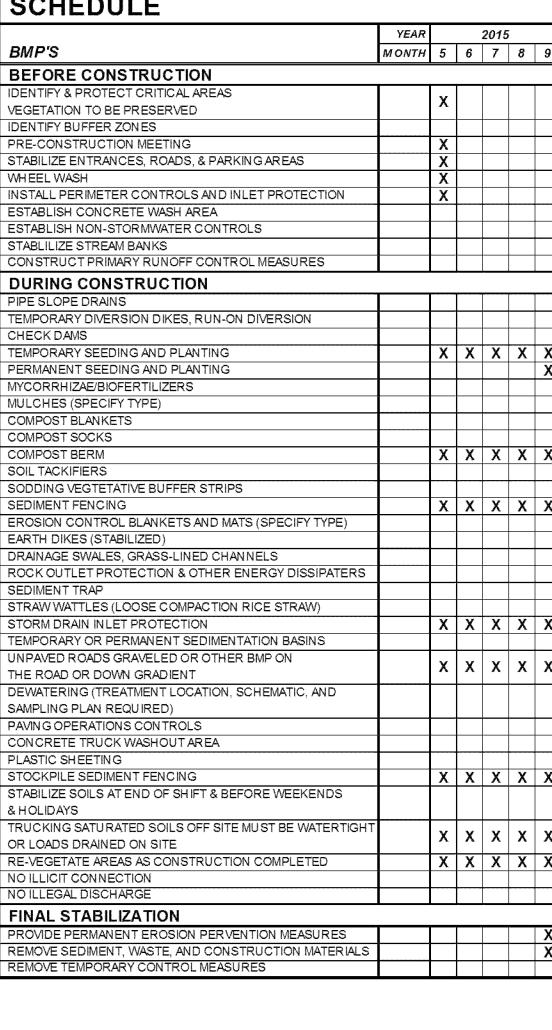


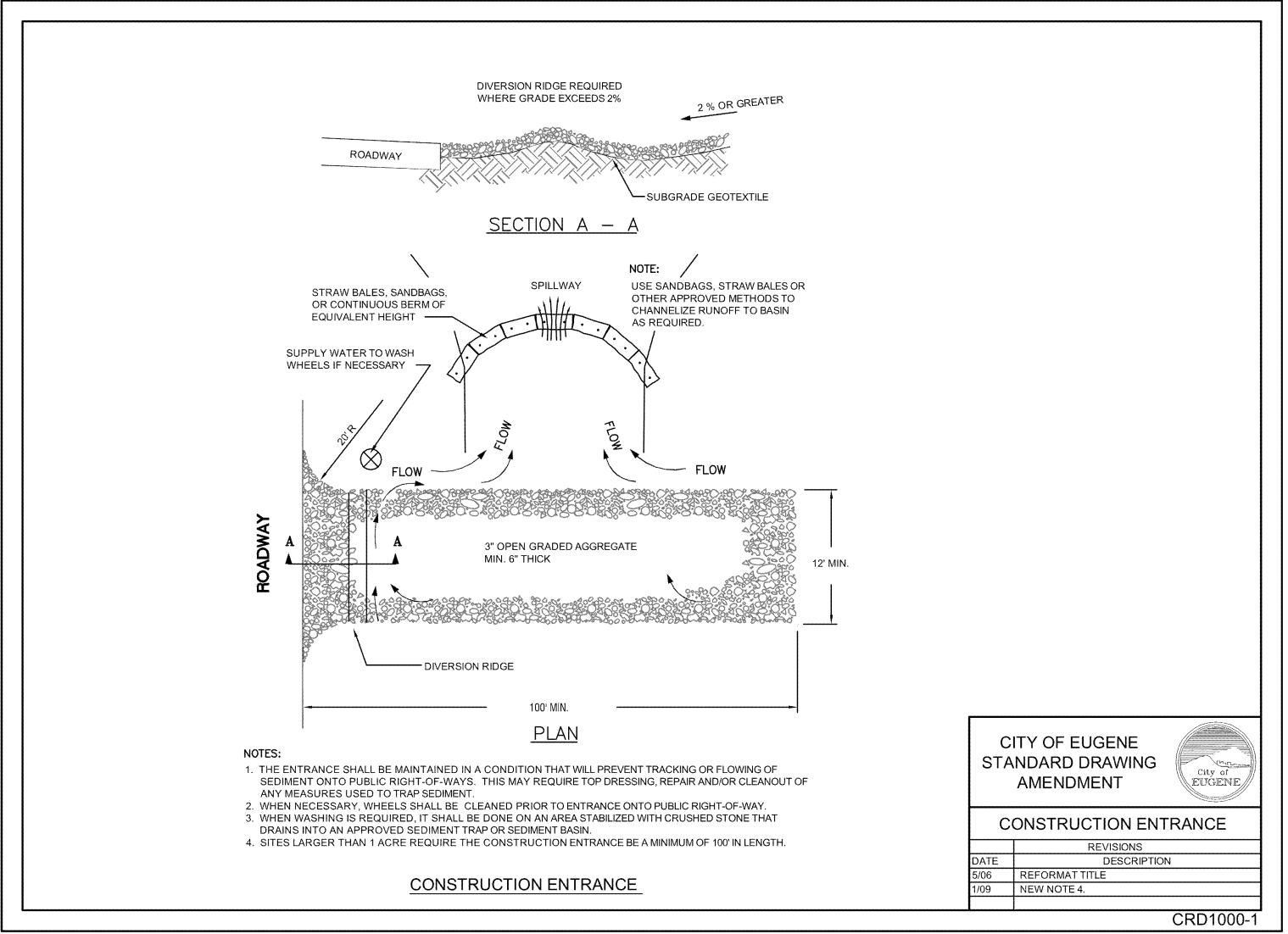
### CITY OF EUGENE CONSTRUCTION SITE MANAGEMENT PLAN (CSMP) NOTES

- PRIOR TO ANY GROUND DISTURBANCE ON THE SITE ONE INSPECTION WITH EROSION PREVENTION STAFF IS REQUIRED.
- THE CONSTRUCTION SITE MANAGEMENT PLAN DOES NOT AUTHORIZE CONSTRUCTION ACTIVITIES. GRADING, BUILDING, PEPI,
- AND OTHER PERMITS MAY BE REQUIRED. ALL OTHER NECESSARY APPROVALS SHALL BE OBTAINED.
- ISSUANCE OF AN EROSION PREVENTION PERMIT APPROVES PROTECTION MEASURES. NOT CONSTRUCTION OR GROUND DISTURBING ACTIVITIES. IT DOES NOT RELIEVE THE PERMIT HOLDER AND/OR THE CONTRACTOR FROM OTHER PERMITTING
- 4. CONSTRUCTION SHALL CONFORM TO THE CURRENT EDITION OF THE CITY AMENDED OREGON STANDARD SPECIFICATIONS FOR CONSTRUCTION AND CITY STANDARD DRAWINGS\* (\*REQUIRED FOR PUBLIC IMPROVEMENT PROJECTS ONLY).
- EROSION AND SEDIMENT CONTROL MEASURES, AND OTHER NATURAL RESOURCE PROTECTION FENCING AND BARRIERS, SHOWN ON THE CSMP ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING CONSTRUCTION, MEASURES SHALL BE UPGRADED, AS NEEDED OR AS DIRECTED BY THE CITY INSPECTOR.
- IMPLEMENTATION OF THE CSMP, INCLUDING CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF EROSION AND SEDIMENT CONTROL MEASURES AND PROTECTION FENCING, IS THE RESPONSIBILITY OF THE PERMIT HOLDER AND/OR THE CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND VEGETATION/LANDSCAPING IS ESTABLISHED AND
- BOUNDARIES OF THE CLEARING AND GRADING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED IN THE FIELD PRIOR TO CONSTRUCTION. DURING CONSTRUCTION, NO DISTURBANCE BEYOND THE FLAGGED CLEARING AND GRADING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE PERMIT HOLDER AND/OR THE CONTRACTOR FOR THE DURATION OF CONSTRUCTION. IN ADDITION, WETLAND AND RIPARIAN AREAS SHALL BE IDENTIFIED AND PROTECTED WITH APPROPRIATE FENCING AS NOTED ON CSMP PRIOR TO CONSTRUCTION AND SHALL NOT BE DISTURBED UNLESS THE PROPER PERMITS ARE OBTAINED.
- EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THIS CSMP MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DOES NOT ENTER THE STORMWATER SYSTEM, ROADWAYS, ADJACENT PROPERTY OR VIOLATE APPLICABLE WATER QUALITY STANDARDS. WHEN DESIGNING AND IMPLEMENTING MEASURES, THE PERMIT HOLDER AND/OR THE CONTRACTOR SHALL CONSIDER THE SEASONAL VARIATION OF RAINFALL, TEMPERATURE, AND OTHER CLIMATIC FACTORS RELATIVE TO THE TIMING OF LAND DISTURBANCE ACTIVITIES.
- EROSION AND SEDIMENT CONTROL MEASURES ON ACTIVE SITES SHALL BE INSPECTED AND MAINTAINED DAILY AND WITHIN 24 HOURS AFTER ANY STORM EVENT GREATER THAN 0.5 INCHES OF RAIN PER 24 HOUR PERIOD. ANY REQUIRED REPAIRS OR ADJUSTMENTS SHALL BE MADE IMMEDIATELY. THE EROSION AND SEDIMENT CONTROL MEASURES ON INACTIVE SITES SHALL BE INSPECTED A MINIMUM OF ONCE EVERY MONTH AND/OR WITHIN 48 HOURS FOLLOWING STORM EVENTS. ADDITIONALLY, SITES COVERED UNDER DEPARTMENT OF ENVIRONMENTAL QUALITY (DEQ) PERMITS (1200-C, 1200-CN) MUST COMPLY WITH THOSE PERMIT MONITORING AND RECORD-KEEPING REQUIREMENTS.
- 10. DURING THE WET WEATHER SEASON (OCTOBER 15 TO APRIL 30), ALL EXPOSED SOIL AND STOCKPILE AREAS SHALL BE COVERED, OR OTHERWISE PROTECTED BY A FACILITY (OR COMBINATION OF FACILITIES) THAT RESULT IN NO STORMWATER RUNOFF LEAVING THE SITE DURING A 5-YEAR STORM EVENT. FOR DEVELOPMENT SITES OVER 40 ACRES, THE DESIGN STORM SHALL BE A 10-YEAR STORM EVENT CONSISTENT WITH AN APPROVED CSMP.
- 11. ALL ADJACENT PROPERTIES, WATER FEATURES, AND RELATED NATURAL RESOURCES ARE TO BE KEPT FREE OF DEPOSITS OR DISCHARGES OF SOIL, SEDIMENT OR CONSTRUCTION-RELATED MATERIAL FROM THE CONSTRUCTION SITE.
- 12. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PROTECTED FROM DAMAGE AT ALL TIMES. EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL VEGETATION HAS BEEN ESTABLISHED AND THE SITE IS PERMANENTLY STABILIZED. ANY MEASURES THAT ARE DAMAGED OR DESTROYED SHALL BE REPAIRED OR REPLACED IMMEDIATELY.
- 13. STABILIZE ALL DISTURBED AREAS WITHIN 50 FEET OF WATERWAYS, WETLANDS OR OTHER SENSITIVE AREAS WITHIN 7 DAYS OF EXPOSURE.
- 14. STREETS ADJACENT TO CONSTRUCTION ENTRANCES AND ALONG HAUL ROUTES SHALL BE SWEPT AS NEEDED OR WHEN DIRECTED BY THE CITY INSPECTOR TO ENSURE PUBLIC RIGHTS-OF-WAY ARE KEPT CLEAN AND FREE OF DEBRIS.
- 15. WHEN TRUCKING SATURATED SOILS TO OR FROM THE SITE, EITHER WATER-TIGHT TRUCKS SHALL BE USED OR LOADS SHALL BE DRAINED PRIOR TO TRANSPORT UNTIL DRIPPING HAS BEEN REDUCED TO NO MORE THAN ONE GALLON PER HOUR. SEDIMENT LADEN WATER WILL NOT BE ALLOWED TO ENTER THE STORMWATER SYSTEM.
- 16. EXTRACTED GROUND WATER FROM EXCAVATED TRENCHES SHALL BE DISPOSED OF IN A SUITABLE MANNER WITHOUT DISCHARGING SEDIMENT TO ADJACENT PROPERTIES, THE CITY'S STORMWATER SYSTEM, WATER FEATURES, OR RELATED NATURAL RESOURCES. DEWATERING SYSTEMS SHALL BE DESIGNED AND OPERATED SO AS TO PREVENT REMOVAL OF THE NATURAL SOILS AND SO THAT THE GROUNDWATER LEVEL OUTSIDE THE EXCAVATION IS NOT REDUCED TO THE EXTENT THAT WOULD DAMAGE OR ENDANGER ADJACENT STRUCTURES OR PROPERTY. APPROVAL OF THE DEWATERING SYSTEM DOES NOT GUARANTEE THAT IT WILL MEET THE OUTCOMES OR BE ACCEPTABLE FOR USE IN ALL SITUATIONS. MODIFICATIONS TO THE SYSTEM WILL BE REQUIRED IF THE OUTCOMES CANNOT BE MET. AT NO TIME WILL SEDIMENT LADEN WATER BE ALLOWED TO LEAVE THE CONSTRUCTION SITE.
- 17. A SUPPLY OF MATERIALS NECESSARY TO MEET THE OUTCOMES AND IMPLEMENT THE CSMP OR OTHER EROSION PRACTICES UNDER ALL WEATHER CONDITIONS SHALL BE MAINTAINED AT ALL TIMES ON THE CONSTRUCTION SITE.
- 18. NO HAZARDOUS SUBSTANCES, SUCH AS PAINTS, THINNERS, FUELS AND OTHER CHEMICALS SHALL BE RELEASED ONTO THE SITE, ADJACENT PROPERTIES, OR INTO WATER FEATURES, THE CITY'S STORMWATER SYSTEM, OR RELATED NATURAL
- 19. NO DISCHARGE INTO THE CITY'S STORMWATER SYSTEM OR RELATED NATURAL RESOURCES OF CONSTRUCTION RELATED CONTAMINANTS RESULTING FROM ACTIVITIES SUCH AS, BUT NOT LIMITED TO, CONCRETE SAWING, CLEANING OR WASHING OF EQUIPMENT, TOOLS, OR VEHICLES, SHALL OCCUR.
- 20. ALL WORK PERFORMED BY UTILITY COMPANIES FOR THIS PROJECT. INCLUDING PLACEMENT OF APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES, FINISHED GRADING, SEEDING, MULCHING AND CLEAN UP IS GOVERNED BY THE CONDITIONS AND REQUIREMENTS OF THIS CSMP. COMPLIANCE WITH THESE REQUIREMENTS IS THE RESPONSIBILITY OF THE PERMIT



BMP MATRIX / ESCP IMPLEMENTATION



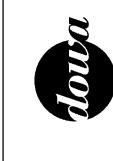
















CONTINUOUS

BARK/MULCH BIO BERM

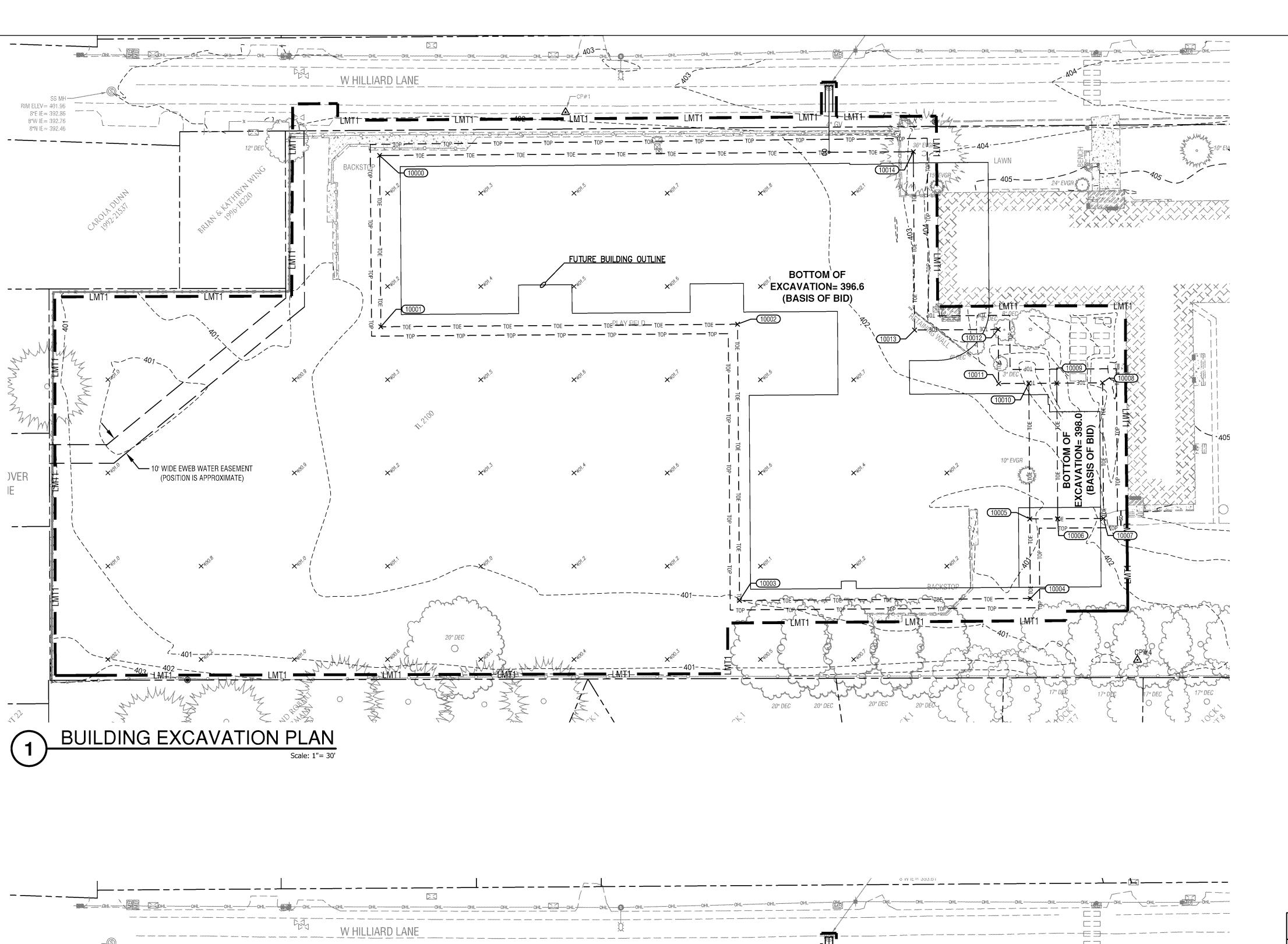
SLOPES LESS THAN 5% - 24"-36" WIDE BY 12"-18" HIGH

COMPOST MULCH SHALL BE MEDIUM-GRADE, MIXED YARD DEBRIS.

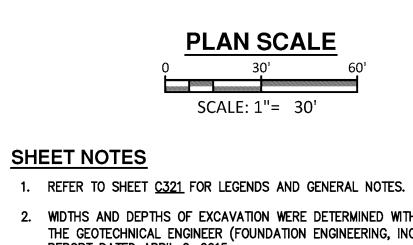
SLOPES GREATER THAN 5% - 36"-48" WIDE BY 18"-24" HIGH

BARK MULCH SHALL BE STANDARD COMMERCIAL PRODUCT, MEDIUM-COURSE

GROUND BARK. BARK SHALL BE GROUND FIR BARK, FREE FROM WEEDS AND SEED.

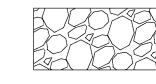


POINT	NORTHING	EASTING	DESCRIPTION
10000	119880.73	174825.59	BTM EXC
10001	119788.90	174826.24	BTM EXC
10002	119790.26	175017.57	BTM EXC
10003	119642.10	175018.62	BTM EXC
10004	119643.20	175174.61	BTM EXC
10005	119685.87	175174.31	BTM EXC
10006	119685.97	175189.31	BTM EXC
10007	119686.15	175213.87	BTM EXC
10008	119758.84	175213.35	BTM EXC
10009	119758.66	175188.80	BTM EXC
10010	119758.56	175173.80	BTM EXC
10011	119758.44	175157.60	BTM EXC
10012	119787.48	175157.39	BTM EXC
10013	119787.16	175112.52	BTM EXC
10014	119882.76	175111.84	BTM EXC

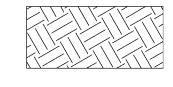


- 2. WIDTHS AND DEPTHS OF EXCAVATION WERE DETERMINED WITH INFORMATION PROVIDED BY THE GEOTECHNICAL ENGINEER (FOUNDATION ENGINEERING, INC.). REFER TO THE ORIGINAL REPORT DATED APRIL 2, 2015.
- 3. THE TOP OF OF BUILDING EXCAVATION SLOPE LOCATION SHOWN IS APPROXIMATE AND IS BASED ON THE GEOTECHNICAL ENGINEER'S RECOMMENDED 1:1 CUT SLOPES AND 5.0 FOOT SETBACK FROM EXISTING BUILDINGS AND FOUNDATIONS TO TOP OF CUT SLOPES. 5.0 FOOT SETBACK SHALL BE INCREASED TO 10 FEET IF THE EXCAVATION IS EXPOSED FOR MORE THAN ONE WEEK.
- 4. THE BOTTOM OF EXCAVATION IS SPECIFIED AS ELEVATION 396.6 FOR BIDDING PURPOSES. THE CONTRACTOR SHALL EXCAVATE TO THE DEPTHS REQUIRED BY THE GEOTECHNICAL ENGINEER AND PER THE EARTH MOVING SPECIFICATION. EXCAVATION AND EARTHWORK BELOW ELEVATION 396.6 WILL BE PAID AS AN ADDITION TO THE CONTRACT.
- 5. BUILDING PAD MATERIAL SHALL BE PLACED AS SHOWN BEYOND THE LIMITS OF THE BUILDING EXCAVATION TO PROVIDE A WORKING PAD.
- 6. FOR THE BUILDING EXCAVATION, NATIVE SOILS MAY BE SIDE CAST AND MOISTURE CONDITIONED DIRECTLY ADJACENT TO THE EXCAVATION TRENCH PROVIDED THE MOISTURE CONDITIONING IS COMPLETE AND THE SOILS ARE PLACED BACK IN THE EXCAVATION WITHIN 2 DAYS. EROSION CONTROL STOCKPILE REQUIREMENTS APPLY TO NATIVE SOILS EXCAVATED AND MOISTURE CONDITIONED IN THIS MANNER.
- 7. COORDINATE WITH GEOTECHNICAL ENGINEER ON EXCAVATION APPROACH AND SEQUENCING REQUIREMENTS FOR THE EXCAVATION ADJACENT TO THE EXISTING BUILDING BETWEEN POINTS 10007 AND 10008 SHOWN IN DETAIL 1, BUILDING EXCAVATION PLAN.
- 8. REMOVE EXCESS STOCKPILED SOIL FROM SITE.
- 9. "GRANULAR SITE FILL PER BID ALLOWANCE No. 2" IS TO PROVIDE MAKEUP FOR THE DIFFERENCE BETWEEN INSITU AND COMPACTED DENSITIES OF THE NATIVE MATERIAL BENEATH THE BUILDING PAD.

### PAVEMENT LEGEND



**BUILDING PAD AND WORKING PAD** 12" (MIN) SELECT FILL OVER, 12" (MIN) SELECT FILL OR GRANULAR SITE FILL OVER, 6" (MIN) GRANULAR SITE FILL PER BID ALLOWANCE No. 2 OVER, GEOTEXTILE FABRIC OVER, APPROVED SUBGRADE



**WORKING PAD** 12" (MIN) SELECT FILL OVER, 12" (MIN) SELECT FILL OR GRANULAR SITE FILL OVER, GEOTEXTILE FABRIC OVER, APPROVED SUBGRADE

— SC — — SC — — PAVEMENT REMOVAL SAWCUT LINE

HORIZONTAL LAYOUT TABLE					
POINT	NORTHING	EASTING	DESCRIPTION		
10100	119889.80	174816.53	TPAD		
10101	119775.34	174817.34	TPAD		
10102	119776.66	175003.67	TPAD		
10103	119635.00	175004.67	TPAD		
10104	119636.30	175188.66	TPAD		
10105	119641.30	175188.63	TPAD		
10106	119641.53	175221.69	TPAD		

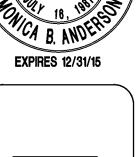
119794.71 119891.94

174816.53	TPAD
174817.34	TPAD
175003.67	TPAD
175004.67	TPAD
175188.66	TPAD
175188.63	TPAD
175221.69	TPAD
175220.60	TPAD
175119.97	TPAD
175119.28	TPAD

					,,
	6	119676.72	175424.75	404.49	SET NAIL W/ WASHER
	7	119690.73	175361.10	406.31	SET NAIL W/ WASHER
	8	119698.46	175284.80	404.58	SET NAIL W/ WASHER
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CP 1	, , , , , , , , , , , , , , , , , , ,	an annum munim			
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CP 4		<b>A</b> :	×	Million XMIII	
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	4	mm <u>ume</u> s-m <u>um</u> mm			
				SAFEOR LANE	
	1			or the state of th	
CONTROL POINT MAP AND TABLE					















P: 541-686-8478 F: 541-345-5303

SUITE 1100 - OFFICE 55 PORTLAND, OR 97204

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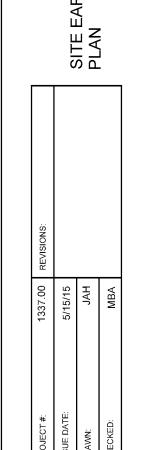


**SURVEY CONTROL TABLE** 

119903.91 174925.29 402.44 SET NAIL W/ WASHER 2 | 119901.70 | 175742.64 | 404.90 | SET NAIL W/ WASHER 3 119604.79 175696.21 405.13 SET NAIL W/ WASHER 4 | 119610.27 | 175232.09 | 401.13 | SET NAIL W/ WASHER 5 | 119685.62 | 175496.26 | 405.00 | SET NAIL W/ WASHER

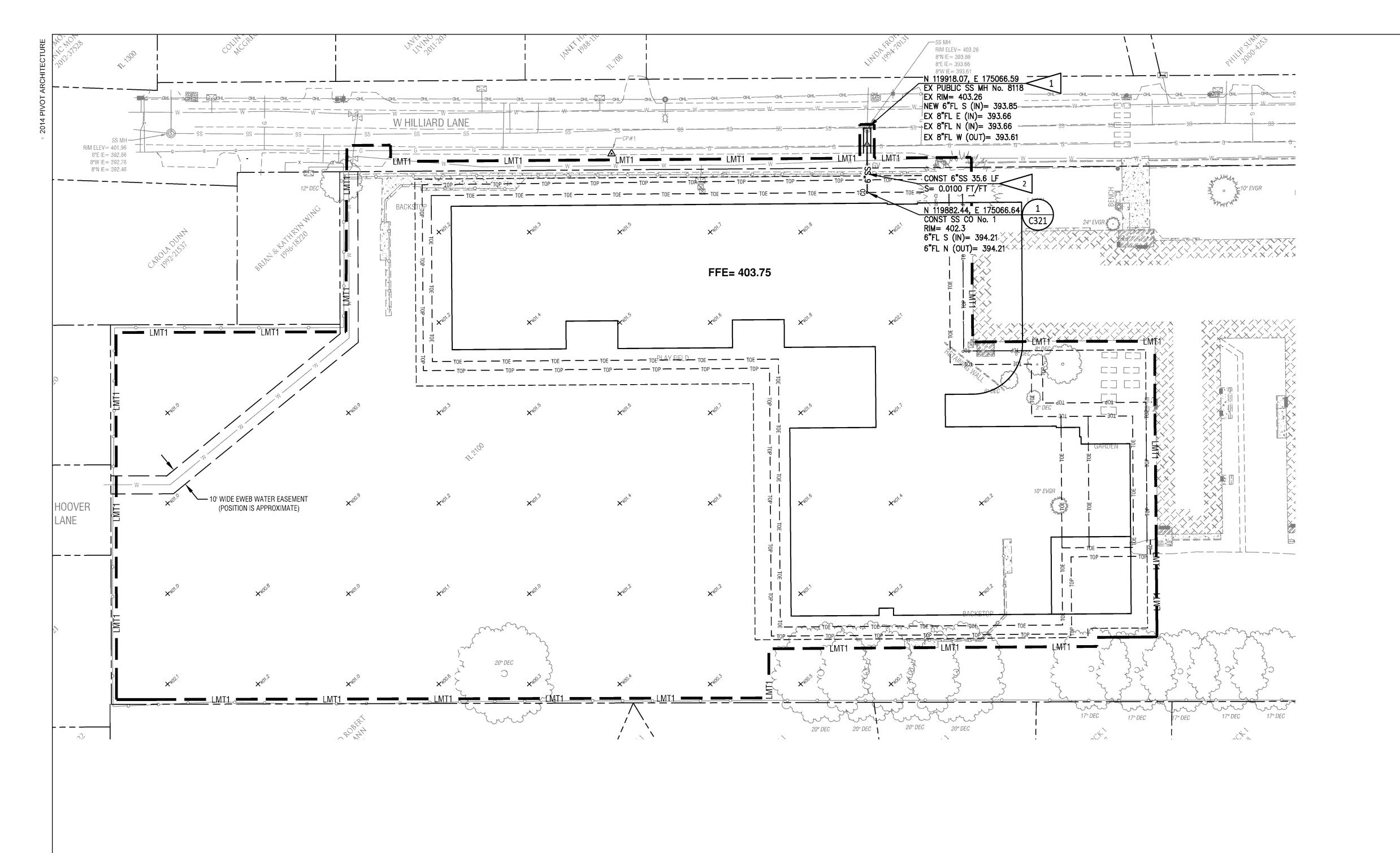
CP# NORTHING EASTING ELEVATION DESCRIPTION

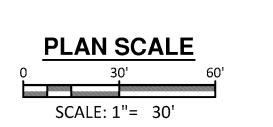




8"E IE= 392.86 8"N IE = 392.46

(POSITION IS APPROXIMATE)





### SHEET NOTES

- 1. REFER TO SHEET <u>C321</u> FOR LEGENDS AND GENERAL NOTES.
- 3. CONTRACTOR SHALL SCHEDULE A PRE—CONSTRUCTION MEETING WITH ENGINEER AND LANE COUNTY PUBLIC WORKS AND SUBMIT A TRAFFIC CONTROL PLAN TO LANE COUNTY PUBLIC WORKS FOR REVIEW AND APPROVAL PRIOR TO START OF SANITARY SEWER CONSTRUCTION. CONTRACTOR SHALL PROVIDE A WORK SCHEDULE FOR SANITARY SEWER CONSTRUCTION AT PRE—CONSTRUCTION MEETING WITH ENGINEER AND LANE COUNTY PUBLIC WORKS.

2. REFER TO SHEET <u>DOO2</u>, CIVIL SITE DEMOLITION PLAN, FOR DEMOLITION INFORMATION.

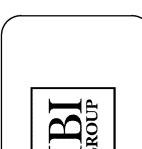
4. CONTRACTOR SHALL COORDINATE WITH LANE COUNTY PUBLIC WORKS FOR REPLACEMENT OF ANY ROADWAY STRIPING REMOVED DURING CONSTRUCTION.

### **CONSTRUCTION NOTES**

- 1. CONNECTION SIMILAR TO CITY OF EUGENE STD DWG RD338. CORE DRILL EXISTING MANHOLE WALL FOR NEW PIPE PENETRATION. GROUT WATER TIGHT ON INTERIOR OF MANHOLE. MODIFY CHANNEL AND FORM SMOOTH FINISH TO MATCH NEW/EXISTING PIPE. PIPE TO BE FLUSH WITH INTERIOR MANHOLE WALL. STREET SAWCUT AND TRENCH REPAIR PER DETAIL 2/C321.
- 2. CONST STD 6" PVC WASTEWATER PIPE PER CITY OF EUGENE STD DWG No. RD300. STREET SAWCUT AND TRENCH REPAIR PER DETAIL 2/C321.









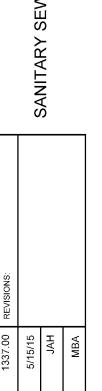




D/EL CAMINO DEL RIO EARTHWORK PACK

SENE SCHOOL DISTRICT 4J
MEST HILLIARD LANE, EUGENE OR 97404
/ER ROAD/EL CAMINO I





| PROJECT#: 1337.00 REVISIO | PROJECT#: 5/15/15 | DRAWN: JAH | CHECKED: MBA | CHECKED: | | CHECK

C03

- BASIS OF BEARING: BASED ON THE OREGON COORDINATE REFERENCE SYSTEM, EUGENE ZONE. ALL DISTANCES ARE GROUND DISTANCES AND ARE EXPRESSED IN INTERNATIONAL FEET. SEE SURVEY METADATA FOR MORE INFORMATION.
- BASIS OF ELEVATION: THE BENCHMARK USED FOR THIS SURVEY WAS CITY OF EUGENE BENCHMARK RR0849, A BRASS DISC IN THE TOP OF CURB AT THE SW INTERSECTION OF RIVER ROAD AND
- HILLIARD LANE, WITH A PUBLISHED ELEVATION OF 404.27' (NAVD 88 DATUM). 4. THE CONTRACTOR SHALL LOCATE AND MARK ALL EXISTING PROPERTY AND STREET MONUMENTS PRIOR TO CONSTRUCTION. ANY MONUMENTS DISTURBED DURING CONSTRUCTION OF THE PROJECT SHALL BE REPLACED BY A REGISTERED LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE. THE MONUMENTS SHALL BE REPLACED WITHIN A MAXIMUM OF 90 DAYS, AND THE COUNTY SURVEYOR SHALL BE NOTIFIED IN WRITING AS REQUIRED BY ORS 209.150.
- 5. LOCATIONS OF EXISTING UTILITIES ARE ASSUMED FROM INFORMATION AVAILABLE AND ARE NOT GUARANTEED TO BE COMPLETE AND ACCURATE. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION OF EXISTING UTILITIES.
- 6. PRIOR TO CONSTRUCTION, POTHOLE AND VERIFY LOCATION AND ELEVATION OF EXISTING SANITARY UTILITIES AT CONNECTION POINT SHOWN ON PLANS, AND OF OTHER UTILITIES AT CROSSINGS WITH NEW UTILITIES. NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN PLANS AND FIELD CONDITIONS.
- 7. CONTRACTOR SHALL NOTIFY EACH UNDERGROUND UTILITY PRIOR TO EXCAVATING, BORING, OR POTHOLING. ATTENTION: OREGON LAW REQUIRES THE CONTRACTOR TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN O.A.R. 952-001-0010 952-001-0090. THE CONTRACTOR MAY OBTAIN COPIES OF THE RULES BY CALLING THE
- CENTER. (NOTE: THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS 1-800-332-2344) 8. CONTRACTOR SHALL MAKE THE NECESSARY ARRANGEMENTS AND COMPLY WITH REQUIREMENTS AND SPECIFICATIONS OF ANY RESPECTIVE UTILITY COMPANY FOR UTILITIES TO BE CUT, MOVED, RELOCATED, OR RE-CONNECTED TO AN EXISTING FACILITY.
- 9. CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH ANY SERVING UTILITY COMPANY INSTALLING UTILITIES ON SITE. CONSTRUCTION OF OTHER UTILITIES MAY OCCUR AT SAME TIME ON SITE.
- 10. CONTRACTOR SHALL COORDINATE WITH PLUMBING INSPECTOR PRIOR TO CONNECTION OF PRIVATE SANITARY SEWER PIPING TO EXISTING PUBLIC SANITARY SEWER SYSTEM.
- 11. QUANTITIES SHOWN ARE FOR THE PURPOSE OF IDENTIFYING LENGTHS. ACTUAL QUANTITIES MAY VARY. CONTRACTOR TO PROVIDE QUANTITIES NEEDED FOR LAYOUT OF SYSTEM AT NO ADDITIONAL COST TO THE OWNER.
- 12. CONTRACTOR SHALL PROVIDE AND INSTALL FITTINGS AS REQUIRED TO COMPLETE PIPE CONNECTIONS AND TRANSITIONS PER PLAN, AND TO CONFORM TO TRENCHING REQUIREMENTS AND SITE
- 13. MANHOLE AND CLEANOUT RIM ELEVATIONS ARE APPROXIMATE. FINAL ELEVATIONS MAY VARY AND SHALL MATCH FINISHED ELEVATIONS OF ADJACENT SURFACES.
- 14. TRACER WIRE SHALL ENTER ALL MANHOLE AND CLEANOUT STRUCTURES. EXTEND TRACER WIRE INTO STRUCTURE FAR ENOUGH TO PROVIDE ADEQUATE FREE WIRE TO EXTEND END OF WIRE 24" ABOVE/OUTSIDE OF STRUCTURE TO FACILITATE TESTING. COIL AND SECURE TRACER WIRE WITHIN EASY REACH OF STRUCTURE OPENING. VERIFY WIRE IS CLEAR OF ALL FILL MATERIAL IN CLEANOUT AND VALVE BOX STRUCTURES.
- 15. ALL SANITARY SEWER LATERAL CONNECTIONS TO BE CONSTRUCTED USING WYE FITTINGS OR MANHOLES.
- 16. CAP AND MARK ALL SANITARY SEWER PIPE ENDS WITH A 2"x4" BOARD STUCK IN GROUND. END OF BOARD SHALL BE PAINTED GREEN AND EXTEND MINIMUM 18" ABOVE GROUND SURFACE.
- 17. WATER PIPES CROSSING SANITARY SEWER AND/OR STORM DRAINAGE PIPING: WATER PIPES CROSSING SEWER OR DRAINAGE PIPING CONSTRUCTED OF CLAY OR MATERIALS THAT ARE NOT APPROVED FOR USE WITHIN A BUILDING SHALL BE LAID A MINIMUM OF 12" ABOVE THE SEWER OR DRAIN PIPE. WHERE MINIMUM SEPARATION CANNOT BE MET, SANITARY SEWER AND/OR STORM DRAIN LINE SHALL BE CONSTRUCTED OF MATERIAL APPROVED FOR USE UNDER BUILDINGS, WITH A FULL LENGTH OF PIPE CENTERED AT THE CROSSING POINT, AND EXTENDING 10' MIN EACH SIDE OF CROSSING.
- 18. REFER TO SHEET <u>COO1</u>, EROSION CONTROL PLAN, FOR EROSION SEDIMENT CONTROL MEASURES AND ADDITIONAL CONSTRUCTION REQUIREMENTS.
- 19. CONTRACTOR SHALL INCLUDE DEMOLITION OF EXISTING PRIVATE STORM DRAIN, SANITARY SEWER, AND WATER UTILITIES. REMOVE EXISTING STRUCTURES WHERE ENCOUNTERED. CUT AND CAP EXPOSED ENDS OF EXISTING PIPES ENCOUNTERED. (ABANDON EXISTING PIPE IN PLACE IN ALL AREAS EXCEPT UNDER NEW BUILDINGS. REMOVE EXISTING PIPES BENEATH NEW BUILDINGS.)

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	3.0' DOOR UNLESS OTHERWISE NOTED	AD SQ	SQUARE AREA DRAIN
×	WATER VALVE	ELEC	ELECTRIC
⊠	WATER METER	FFE	FINISHED FLOOR ELEVATION
$\boxtimes$	IRRIGATION VALVE	FND	FOUND
BFP ⊠	BACK FLOW PREVENTER	SD	STORM DRAIN
+∱+	FIRE HYDRANT	SS	SANITARY SEWER
×	ANODE	W	WATER
	AREA DRAIN (ROUND)	gir Marke	CONIFEROUS TREE
	AREA DRAIN (SQUARE)	Anger Land	OOMI ENGOG THEE
	GUTTER INLET OR CATCH BASIN	₹ • }	BROADLEAF TREE
0	STORM DRAIN MANHOLE		PROPERTY LINE
д	UTILITY POLE		EASEMENT LINE
~	GUY ANCHOR		5' CONTOUR INTERVAL
*	LIGHT POLE		1' CONTOUR INTERVAL
<b>≔</b> •	LIGHT POLE WITH ARM		HATCH DENOTES BUILDING
EM	ELECTRIC METER		HATCH DENOTES BUILDING OVERHEA
囨	ELECTRIC TRANSFORMER		HATCH DENOTES ASPHALT PAVEMEN
E	ELECTRIC VAULT	4, 4	HATCH DENOTES CONCRETE
©	CLEANOUT		PAVEMENT PAINT STRIPE OR MARKI
<b>©</b>	SANITARY SEWER MANHOLE	<del></del>	CHAIN LINK FENCE
G	GAS METER	——— Е ———— Е ———	UNDERGROUND ELECTRIC LINE
•	SIGN	G G	UNDERGROUND GAS LINE
•	BOLLARD		UNDERGROUND STORM DRAIN LINE
•	FLAG POLE		UNDERGROUND SANITARY SEWER L
0	POLE	w w	UNDERGROUND WATER LINE
<u>MB</u>	MAIL BOX		OVERHEAD COMBINED UTILITY LINE
<del>\$</del>	BASKETBALL HOOP		
	ADA PARKING		

SYMBOL	ABBR.	DESCRIPTION	ABBR.	DESCRIPTION	ABBR.	DESCRIPTION
6"SS	SS	SANITARY SEWER WITH SIZE	BLDG	BUILDING	REQD	REQUIRED
	·	PIPE WITH FLOW DIRECTION ARROW	ВТМ	ВОТТОМ	RIM	STRUCTURE RIM ELEVATION
LMT	LMT	LIMITS OF CONSTRUCTION	CONST	CONSTRUCT	S=	SLOPE=
— - sc sc	sc	PAVEMENT REMOVAL SAWCUT LINE	DIA	DIAMETER	SHT	SHEET
- — TOE — — TOE — —	TOE	BUILDING EXCAVATION — TOE	ELEV	ELEVATION	STD	STANDARD
<b>-</b> — TOP — — TOP — —	TOE	BUILDING EXCAVATION - TOP	ESC	EROSION SEDIMENTATION CONTROL	TPAD	TOP OF BUILDING/WORKING PAI
0 <b>O</b>	со	STANDARD CLEANOUT	EX	EXISTING	TYP	TYPICAL
10	DET	DETAIL REFERENCE -	EXC	EXCAVATION		
C321		DETAIL # OVER SHEET #	FFE	FINISHED FLOOR ELEVATION		
12	_	CONSTRUCTION NOTE WITH	FL	FLOWLINE		
		REFERENCE NUMBER	LF	LINEAR FEET		
A	_	SECTION REFERENCE — SECTION # OVER SHEET #	MAX	MAXIMUM		
C321		SECTION # OVER SHEET #	MIN	MINIMUM		













CAST IRON VALVE BOX TOP SECTION AND COVER. SLIP TYPE WITH TOP FLANGE. HEAVY DUTY IN PAVEMENT AREAS. COVER MARKED PER SPECIFICATIONS	SET TOP TO MATCH FINISHED GRADE FINISHED GRADE
	SEE NOTE 3  6" MIN THK CRUSHED  POOL PROVERHAMED
RISER SECTION LENGTH AS REQD SEE NOTE 2  45° BEND PE x PE	ROCK BACKFILL UNDER VALVE BOX IN LANDSCAPED AREAS  MECHANICAL PLUG
EXTENSION WYE	MECHANICAL PLUG  (AT PIPE END ONLY)
(FLOW)	UTILITY MAIN PIPE EXTENSION AS REQD SEE PLAN FOR PIPE LOCATION, DIA AND SLOPE
LATERAL CONNECTION TO MAIN — SIZES PER PLAN	HORIZONTAL AND VERTICAL LOCATION AS SHOWN ON PLANS

- NOTES

  1. TRACER WIRE SHALL ENTER STRUCTURE WITH RISER PIPE. PROVIDE ENOUGH FREE WIRE TO TAKE THE TESTING. WEREY FREE FND OF WIRE IS EXTEND 24" ABOVE FINISHED GRADE TO FACILITATE TESTING. VERIFY FREE END OF WIRE IS WITHIN EASY REACH OF OPENING IN TOP SECTION.
- 2. RISER PIPE SIZE: 4", 6", AND 8" DIA MAIN - 4" DIA RISER PIPE
- 3. ADJUST END OF RISER PIPE TO MAINTAIN 3" MIN AND 6" MAX CLEARANCE BETWEEN END PIPE
- AND BOTTOM OF VALVE BOX LID.
- 10" DIA AND LARGER MAIN 6" DIA RISER PIPE.

### LANE COUNTY "T"-CUT FOR COLLECTOR AND ARTERIAL ROADS (40 MPH or Less) 10 ft. MIN. PATCH WIDTH Tack Coat Required (See notes 8 & 9) Existing **↓** HMAC See Note 4

Trench Width Varies Drawing is not to scale.

Existing Undisturbed Asphalt or Concrete Gutter Bar **GENERAL NOTES:** 

1. See Std. Dwg. RD300 for Trench Backfill, Bedding, Pipe Zone and Multiple Installations.

2. See Std. Dwg. RD302 for Street Cuts on Local and Residential roads.

3. Controlled Low Strength Materials (CLSM) backfill material is required unless otherwise directed. 4. 12 inch "T" Cut requirement may be waived when CLSM backfill is used.

5. Joints in the travel lane are to be at the curb & gutter and/or at the nearest longitudinal joint outside a wheel path. 6. All cuts in pavement shall be full depth saw cuts. A minimum compacted thickness of 2 inches or the thickness of the removed pavement, whichever is greater. Pavement to be compacted in 2 inch lifts.

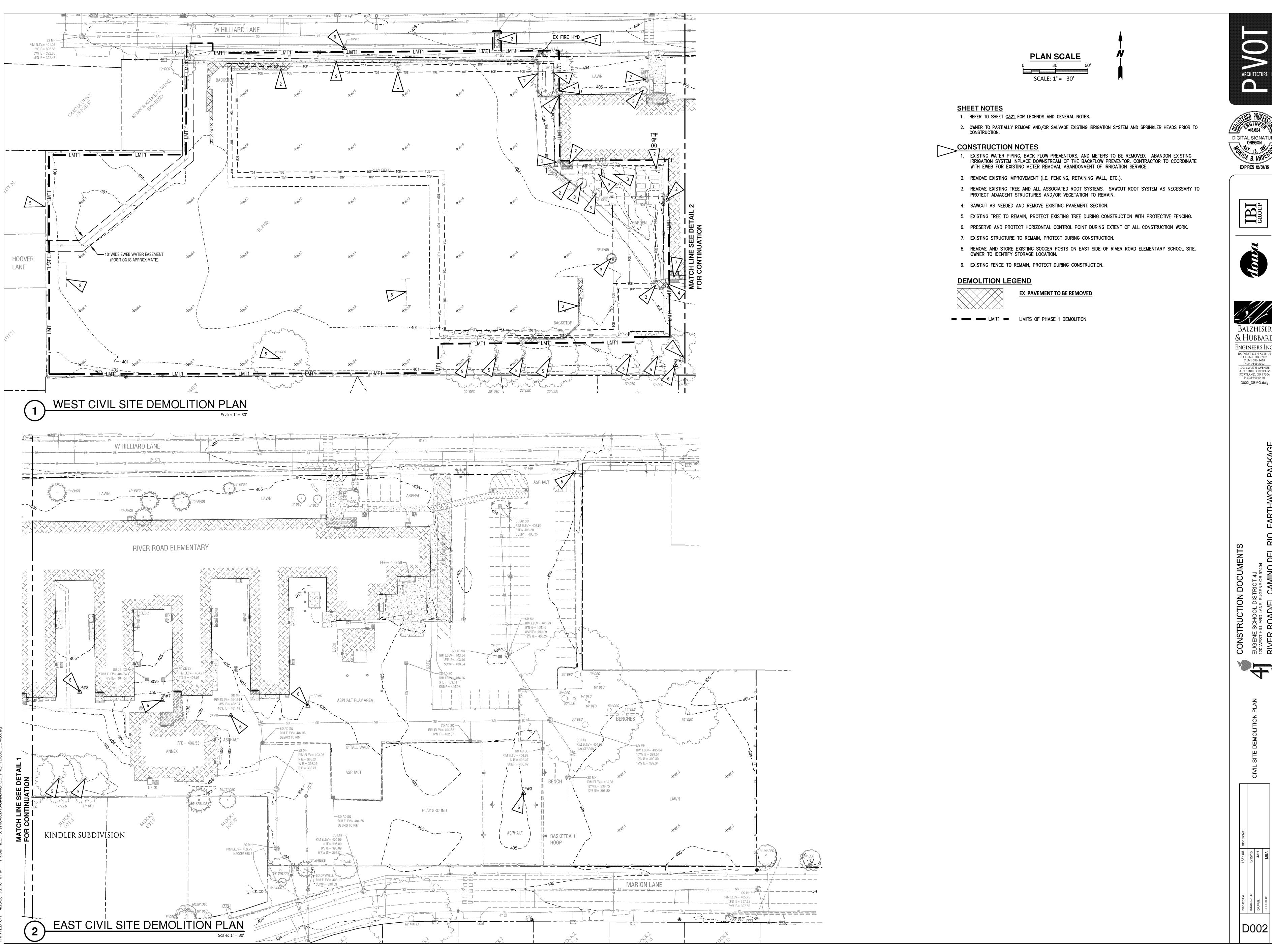
7. Cut areas shall be cold patched at the end of the workday and the patch maintained. Cold patched areas shall be hot patched within 10 days. All cold patch material shall be excavated prior to hot patch restoration.

8. Pavement grinding shall conform to Oregon Standard Specifications for Construction, Section 00620, Cold Plane Pavement Removal. Pavement surface shall be uniformly milled using equipment that is capable of accurately establishing profile grades within a tolerance of 1/4" by reference from either the existing pavement or independent 9. Asphalt emulsion tack coat shall be used to seal the asphalt to the edges of the existing asphalt. All cut areas shall

be sealed with an ODOT approved polymer asphalt sealant. 10. All existing pavement markings and legends are to be restored with like kind.

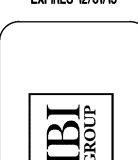
11. The road shoulder and pavement edge shall be restored to match the previous condition. 12. Applicant shall accept responsibility for pavement stress or settlement of the "T" Cut restoration section for a period

NOTE: FOR THIS PROJECT THE APPLICANT IS THE CONTRACTOR.





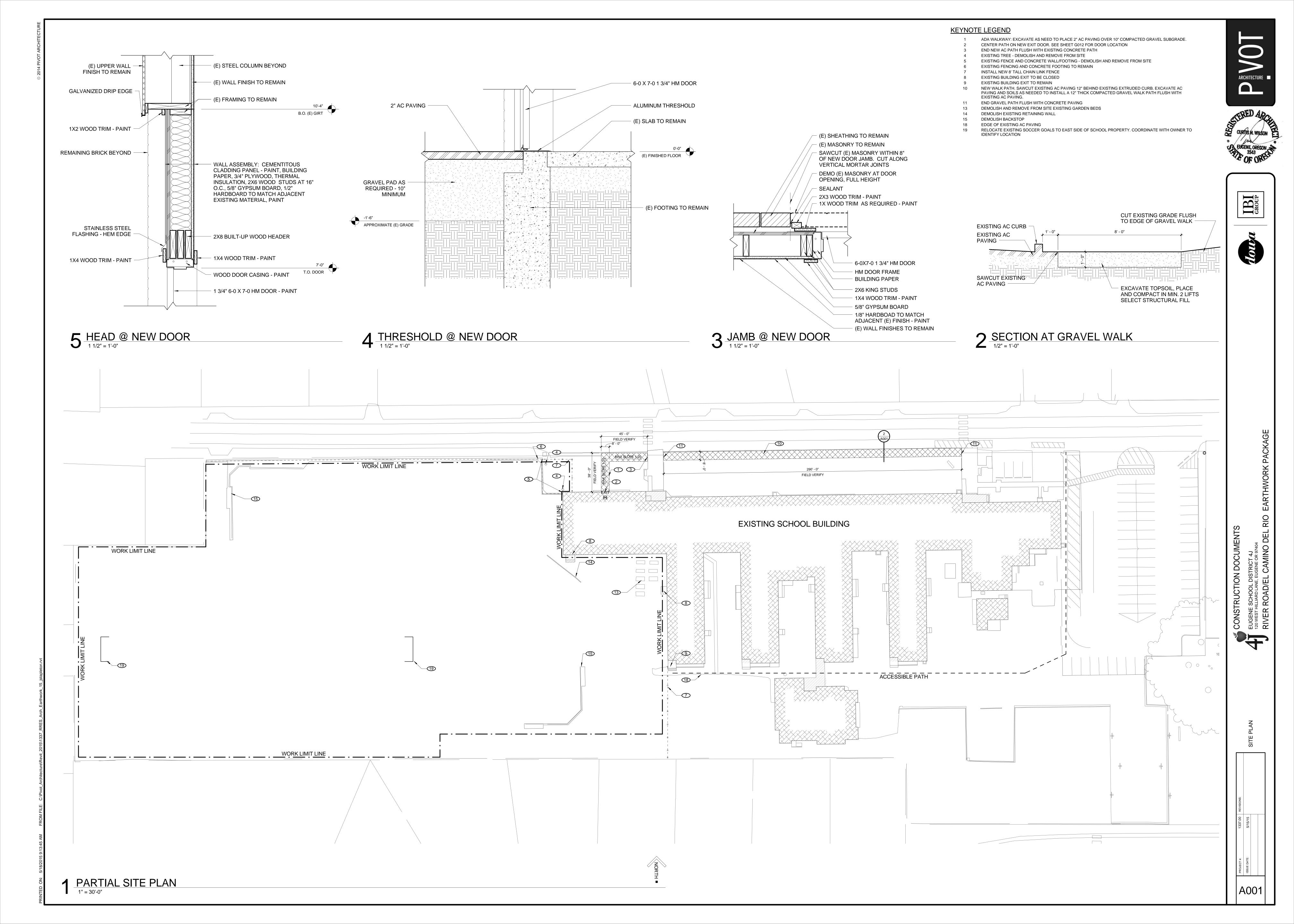


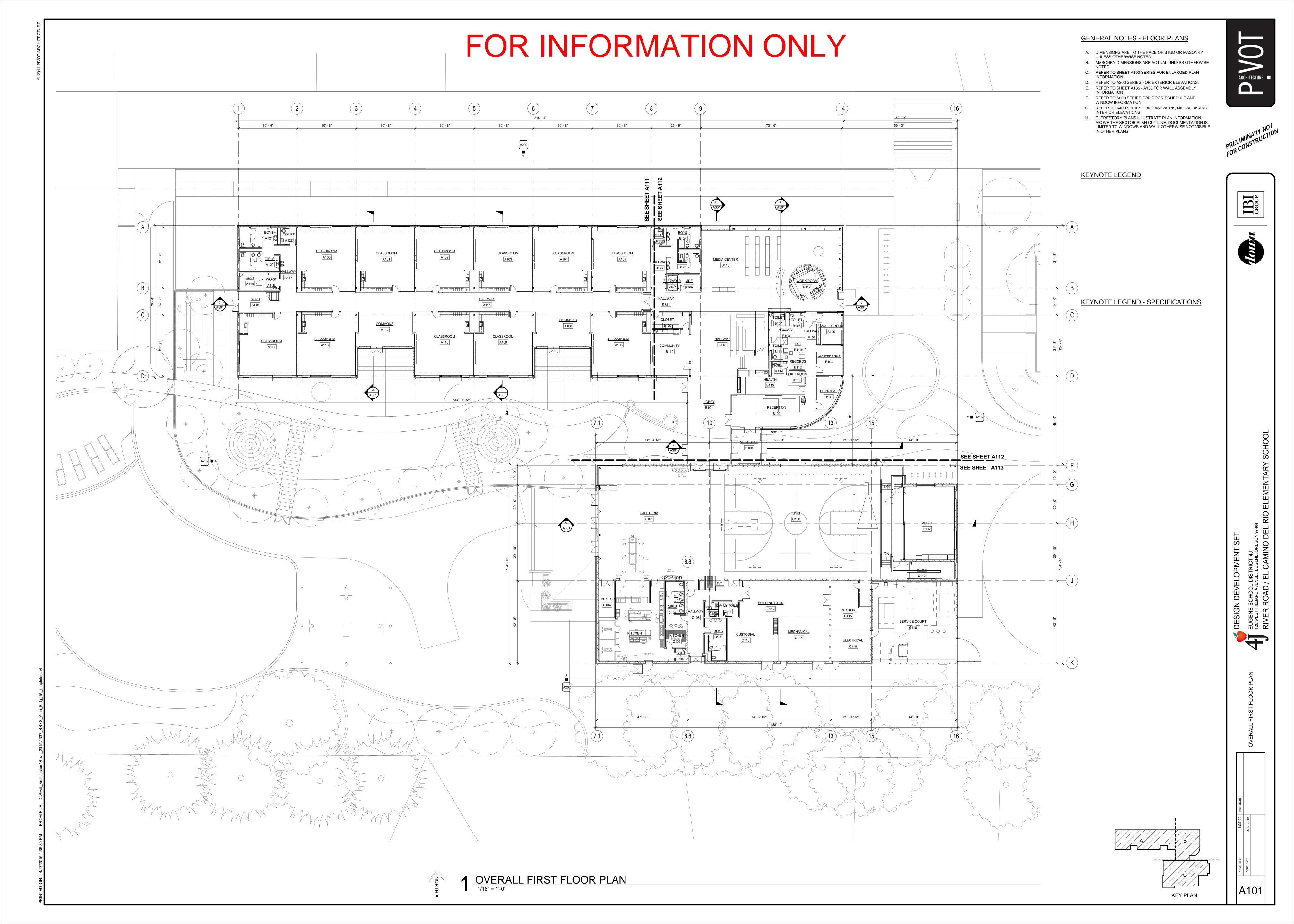












### **GENERAL NOTES - FLOOR PLANS**

- A. DIMENSIONS ARE TO THE FACE OF STUD OR MASONRY UNLESS OTHERWISE NOTED.
- B. MASONRY DIMENSIONS ARE ACTUAL UNLESS OTHERWISE
- C. REFER TO SHEET A100 SERIES FOR ENLARGED PLAN
- D. REFER TO A200 SERIES FOR EXTERIOR ELEVATIONS. E. REFER TO SHEET A135 - A138 FOR WALL ASSEMBLY
- F. REFER TO A500 SERIES FOR DOOR SCHEDULE AND WINDOW INFORMATION
- INTERIOR ELEVATIONS H. CLERESTORY PLANS ILLUSTRATE PLAN INFORMATION ABOVE THE SECTOR PLAN CUT LINE. DOCUMENTATION IS LIMITED TO WINDOWS AND WALL OTHERWISE NOT VISIBLE





